

**Supplemental DR Exhibits**  
**Apartments and Early Learning**  
**Elm Park PUD**  
**11-05-24**

<b><u>Exhibit</u></b>		<b><u>Description</u></b>
<b>8</b>		EPA Preliminary Engineering
<b>9</b>		EPA Preliminary Architectural
<b>10</b>		EPA Stormwater Report
<b>11</b>		EPA Lighting Plans
<b>12</b>		ELF Preliminary Engineering
<b>13</b>		ELF Preliminary Architectural
<b>14</b>		ELF Stormwater Report
<b>15</b>		ELF Lighting Plans

**EXHIBIT 8**

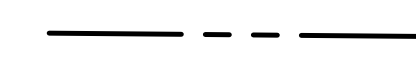
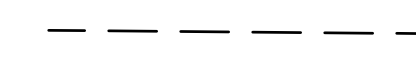
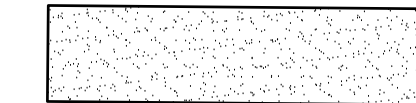
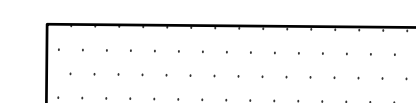
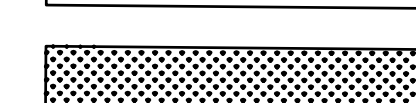




**ELM PARK APARTMENTS**

**PRELIMINARY ENGINEERING**

**SHEET NOTES**

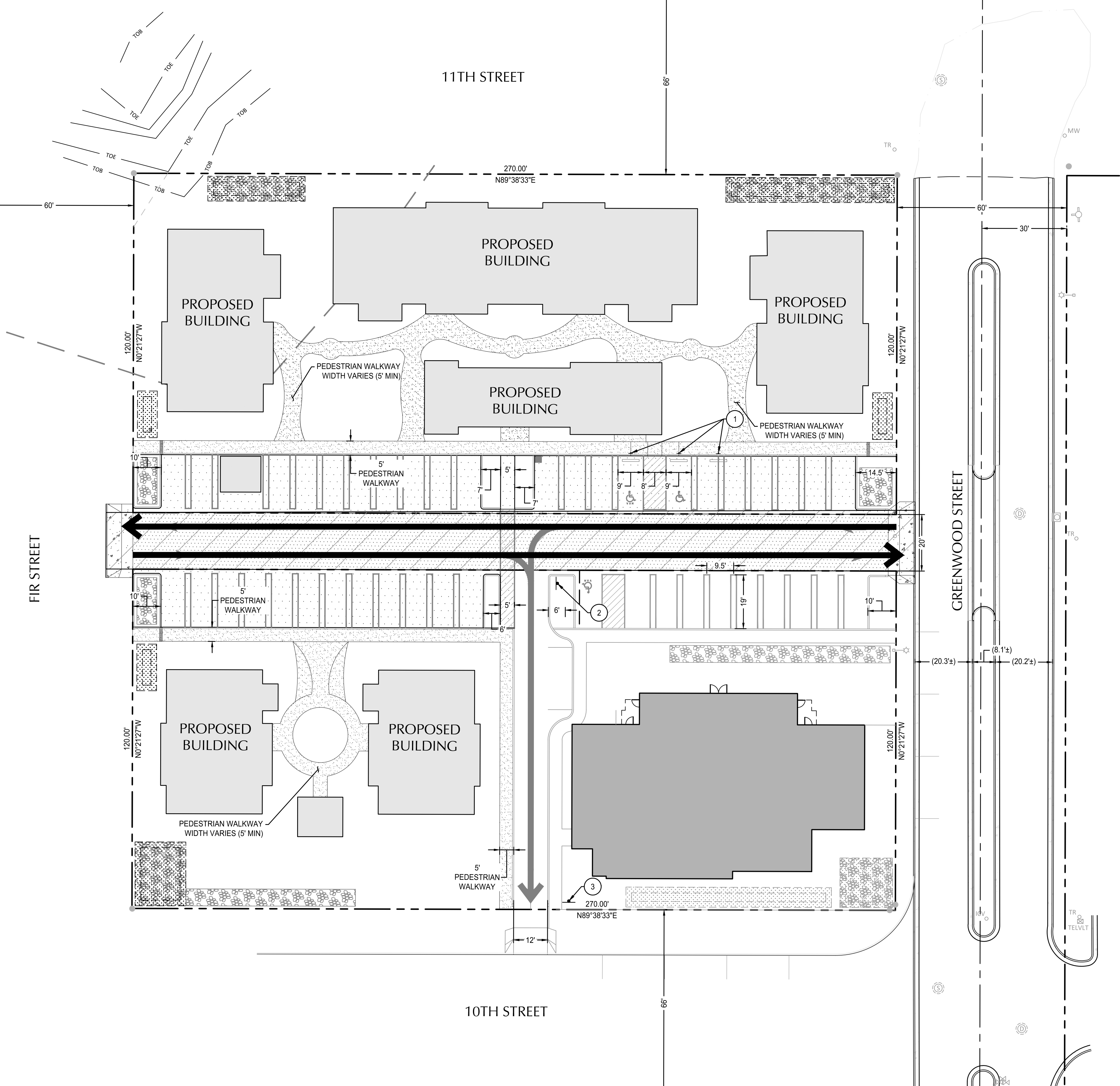
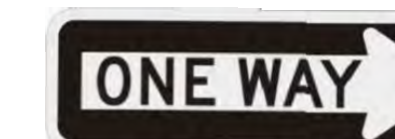
1. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF WALL.
2. ALL SIDEWALKS FOR PEDESTRIAN CIRCULATION ARE CONCEPTUAL ONLY.
3. ALL PUBLIC STREETS ARE CLASSIFIED AS LOCAL STREETS.

**SHEET LEGEND**

-  PROPERTY LINE
-  SAWCUT LINE
-  CONCRETE SIDEWALK
-  STANDARD ASPHALT PAVEMENT
-  STORMWATER MANAGEMENT FACILITY
-  PROPOSED FIRE ACCESS PATH
-  PROPOSED PUBLIC ALLEY
-  PROPOSED PRIVATE ALLEY
-  SIGN LEGEND

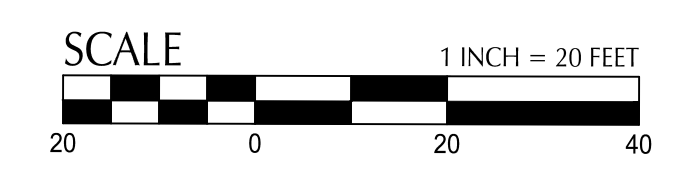
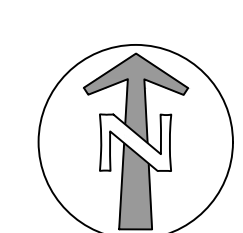
**# SIGN**

- 1 ADA PARKING SIGN. SEE DETAIL 10/C4.0
- 2 ONE WAY SIGN PER MUTCD R6-1. 36"x12". SEE BELOW
- 3 DO NOT ENTER SIGN PER MUTCD R5-1. 30"x30". SEE BELOW



File: C:\p\2024\04\00153-Coastal-Village\CAD\PL\HOUSING\PLD-INFO\240153-02PV.dwg TAB.C1.0  
24x36 Plotted: 11/1/24 at 2:32pm By: ABackus

REVISION	DATE	DESCRIPTION	BY



FOR INFORMATION ONLY

JOB No.:	2400153
DESIGNED BY:	JBP
DRAWN BY:	MB
CHECKED BY:	AB
PLOT DATE:	11/1/24 2:32pm
PLOTTED BY:	ABackus
DWG NAME:	2400153-02PV.dwg
TAB NAME:	C1.0

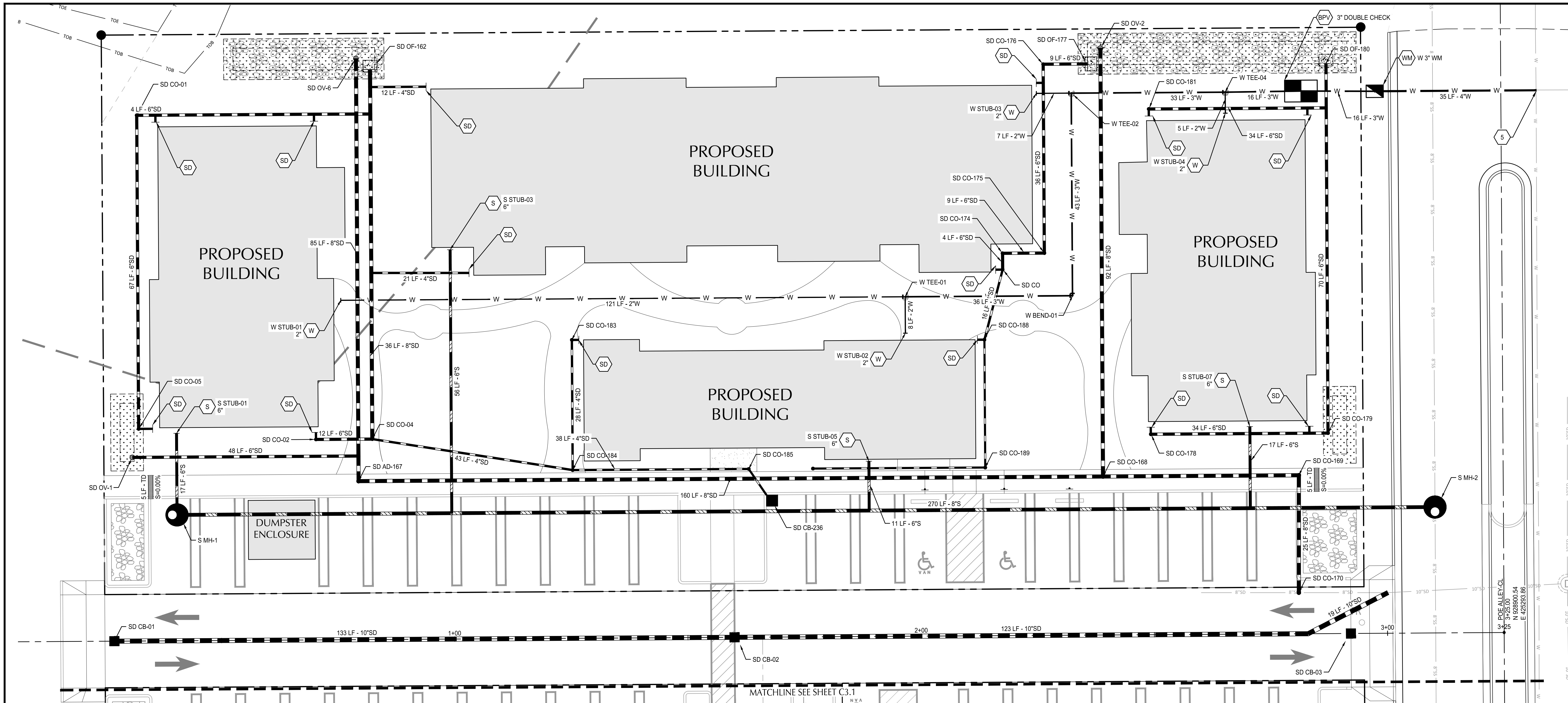
628 RADAR RD, YACHTS, OR 97498

OUR COASTAL VILLAGE FLORENCE  
ELM PARK APARTMENTS

ACCESS AND CIRCULATION PLAN

C1.0

SHEET NO.



**SHEET NOTES**

- NO PUBLIC UTILITY EASEMENTS ARE PROPOSED.
- PUBLIC IMPROVEMENTS FOR 10TH STREET AND FIR STREET ARE PROPOSED UNDER A SEPARATE CITY-LED PROJECT. DESIGN TO BE COMPLETE IN JANUARY 2025.
- PUBLIC IMPROVEMENTS PROPOSED FOR THIS PROJECT ARE REFLECTED ON THIS PLAN. NO OTHER PUBLIC IMPROVEMENTS ARE PROPOSED AS PART OF THIS PROJECT.

**UTILITY KEY NOTES**

NOTE	DESCRIPTION	DETAIL REF.
1	FILTRATION RAIN GARDEN.	
2	INFILTRATION RAIN GARDEN.	
3	CONNECT TO EXISTING 10" STORM MAIN.	
4	CONNECT TO EXISTING 8" SANITARY MAIN.	
5	CONNECT TO EXISTING WATER MAIN.	
6	CONNECT TO FUTURE UTILITY MAIN	
7	SOAKAGE TRENCH	
WM	INSTALL WATER METER.	
BPV	BACKFLOW PREVENTION VAULT	
SD	CONNECT TO STORM DRAIN/ROOF DRAIN. SLOPE CONNECTING TO LEADER PIPE AT 2% MIN.	
S	CONNECT TO BUILDING WASTE LINE.	
W	CONNECT TO BUILDING COLD WATER SYSTEM.	

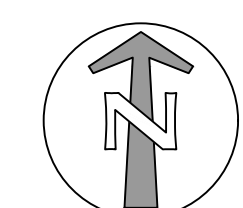
**UTILITY LABEL LEGEND**

STRUCTURE LABEL	STRUCTURE TYPE	PIPE LABEL
UTILITY TYPE (SD=STORM DRAINAGE, S=SANITARY SEWER, W=WATER, FP=FIRE PROTECTION)	CALLOUT DESCRIPTION	UTILITY LENGTH
STRUCTURE TYPE CALLOUT	CB CATCH BASIN	UTILITY SIZE
ID NUMBER (WHERE APPLICABLE)	CO CLEANOUT TO GRADE	UTILITY TYPE
N=XXXX.XX	MH MANHOLE	S=X.XX%
E=XXXX.XX	OF OUTFALL	
RIM=	PIV POST INDICATOR VALVE	
IE IN = XX.X	PLUG PLUG	
IE OUT = XX.X	STUB STUB	
	TB THRUST BLOCK	
	TD TRENCH DRAIN	
	TEE TEE CONNECTION	
	VB VERTICAL BEND	
	WM WATER METER	
	WYE WYE CONNECTION	

**STRUCTURE TYPE**

CALLOUT	DESCRIPTION	DETAIL REF.
CB	CATCH BASIN	
CO	CLEANOUT TO GRADE	
MH	MANHOLE	
OF	OUTFALL	
PIV	POST INDICATOR VALVE	
PLUG	PLUG	
STUB	STUB	
TB	THRUST BLOCK	
TD	TRENCH DRAIN	
TEE	TEE CONNECTION	
VB	VERTICAL BEND	
WM	WATER METER	
WYE	WYE CONNECTION	

REVISION	DATE	DESCRIPTION	BY



FOR INFORMATION ONLY

JOB No.:	2400153
DESIGNED BY:	JBP
DRAWN BY:	MB
CHECKED BY:	AB
PLOT DATE:	11/1/24 2:35pm
PLOTTED BY:	ABackus
DWG NAME:	2400153-03UT.dwg
TAB NAME:	C2.0

628 RADAR RD, YACHTS, OR 97498

OUR COASTAL VILLAGE FLORENCE  
ELM PARK APARTMENTS

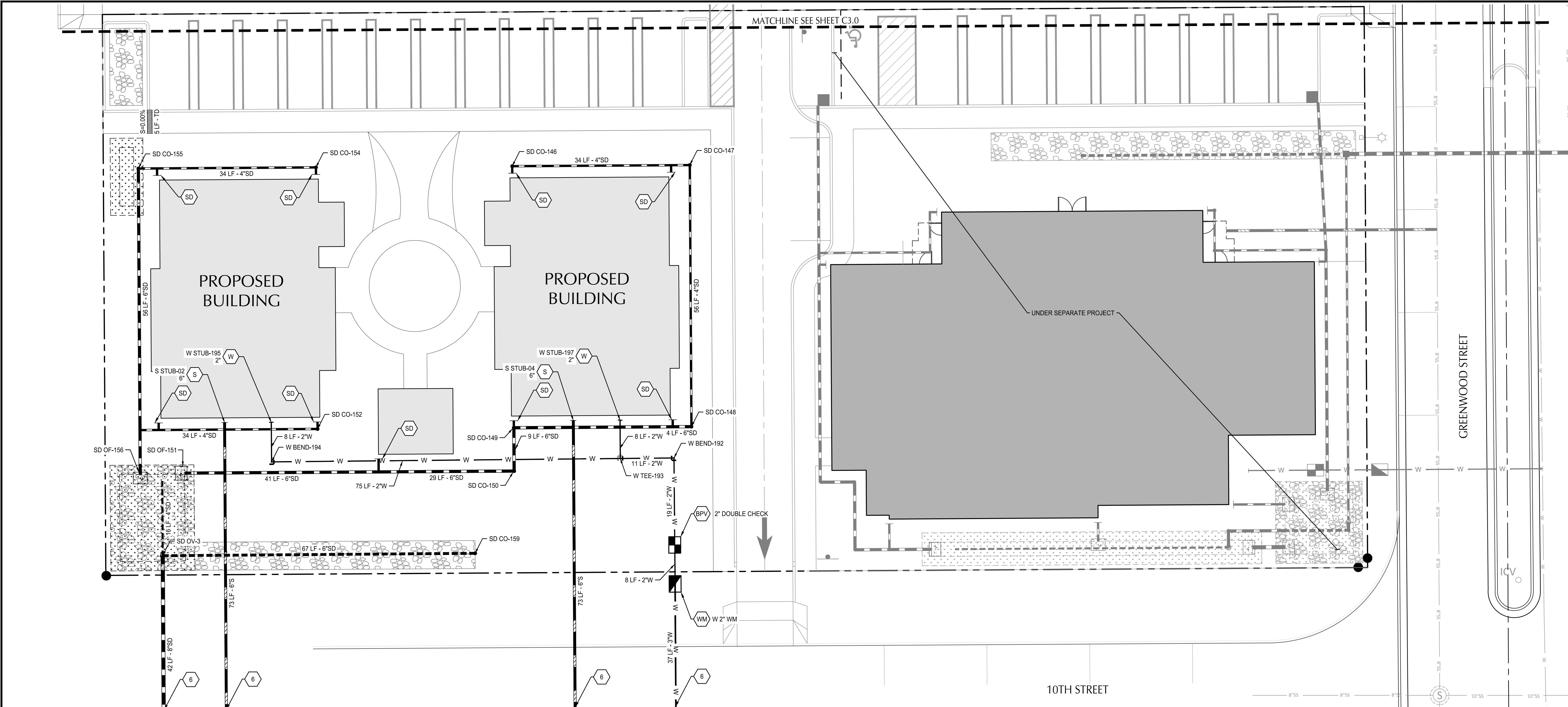
STORM AND UTILITY PLAN

C2.0

SHEET NO.

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Plotted: 11/1/24 at 2:35pm By: ABackus





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  - PUBLIC IMPROVEMENTS FOR 10TH STREET AND FIR STREET ARE PROPOSED UNDER A SEPARATE CITY-LED PROJECT. DESIGN TO BE COMPLETE IN JANUARY 2025.
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WM	INSTALL WATER METER.	
BPV	BACKFLOW PREVENTION VAULT	
SD	CONNECT TO STORM DRAIN/ROOF DRAIN. SLOPE CONNECTING TO LEADER PIPE AT 2% MIN.	
S	CONNECT TO BUILDING WASTE LINE.	
W	CONNECT TO BUILDING COLD WATER SYSTEM.	

**UTILITY LABEL LEGEND**

**STRUCTURE LABEL**

UTILITY TYPE (SD=STORM DRAINAGE, S=SANITARY SEWER, W=WATER, FP=FIRE PROTECTION)

STRUCTURE TYPE CALLOUT

ID NUMBER (WHERE APPLICABLE)

LOCATION (WHERE APPLICABLE)

STRUCTURE INFO (WHERE APPLICABLE)

**PIPE LABEL**

UTILITY LENGTH

UTILITY SIZE

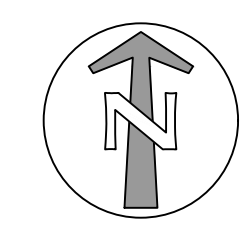
UTILITY TYPE

SLOPE (WHERE APPLICABLE)

**STRUCTURE TYPE**

CALLOUT	DESCRIPTION	DETAIL REF.
CB	CATCH BASIN	
CO	CLEANOUT TO GRADE	
MH	MANHOLE	
OF	OUTFALL	
PIV	POST INDICATOR VALVE	
PLUG	PLUG	
STUB	STUB	
TB	THRUST BLOCK	
TD	TRENCH DRAIN	
TEE	TEE CONNECTION	
VB	VERTICAL BEND	
WM	WATER METER	
WYE	WYE CONNECTION	

REVISION	DATE	DESCRIPTION	BY



FOR INFORMATION ONLY

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DRAWN BY:	MB
CHECKED BY:	AB
PLOT DATE:	11/1/24 2:35pm
PLOTTED BY:	ABackus
DWG NAME:	2400153-03UT.dwg
TAB NAME:	C2.1

628 RADAR RD, YACHTS, OR 97498

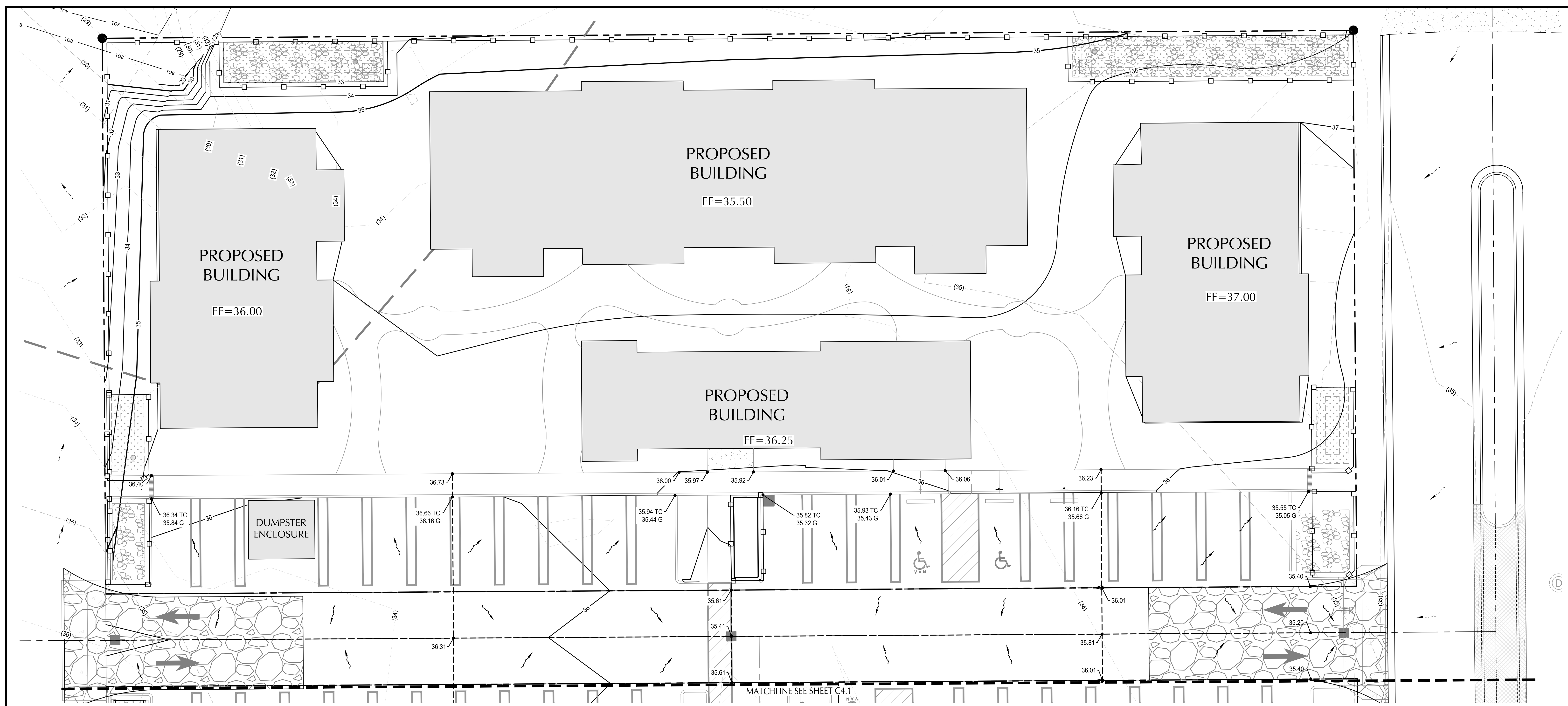
OUR COASTAL VILLAGE FLORENCE  
ELM PARK APARTMENTS

STORM AND UTILITY PLAN

SHEET NO.

**C2.1**

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Plotted: 11/1/24 at 2:35pm By: ABackus  
24x36



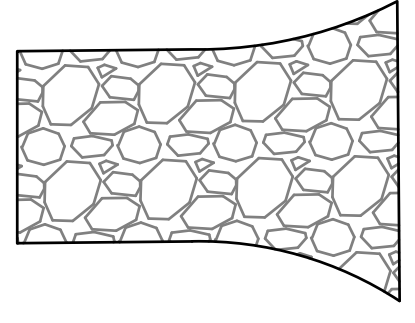
MATCHLINE SEE SHEET C4.1

**GRADING LABEL LEGEND**

CALLOUT	DESCRIPTION
X.X%	GRADING SLOPE AND DIRECTION (DOWNHILL)
[X.X%]	SLOPE ORIENTATION INDICATING DIRECTION OF MAXIMUM GRADE (DOWNHILL)
XX.XX XX	SPOT ELEVATION DESCRIPTION LISTED BELOW. NO DESCRIPTION MEANS TP OR TG
EG	EXISTING GRADE
FF	FINISHED FLOOR
FL	FLOW LINE
G	GUTTER
HP	HIGH POINT
LP	LOW POINT
RIM	RIM OF STRUCTURE
TC	TOP OF CURB
TG	TOP OF GROUND
TP	TOP OF PAVEMENT
(XXX.X±)	EXISTING GRADE (MATCH WHERE APPLICABLE)

**SHEET LEGEND**

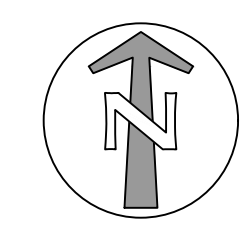
	PROPERTY LINE
	GRADE BREAK
	SAWCUT LINE
	EX. CONTOUR MINOR
	EX. CONTOUR MAJOR
	PROP. CONTOUR MINOR
	PROP. CONTOUR MAJOR
	EXTENT OF WORK
	SEDIMENT CONTROL FENCE. PLACE AT PROPERTY LINES, UNO (SHOWN OFFSET FOR CLARITY).
	DRAINAGE FLOW DIRECTION



ROCKED CONSTRUCTION ENTRANCE

File: O:\epc\240153-Coastal-Village\CAD\PILOT\HOUSING\IPUD-INFO\240153-04GD.dwg TAB C3.0  
 Plotted: 11/1/24 at 2:36pm By: ABackus

REVISION	DATE	DESCRIPTION	BY



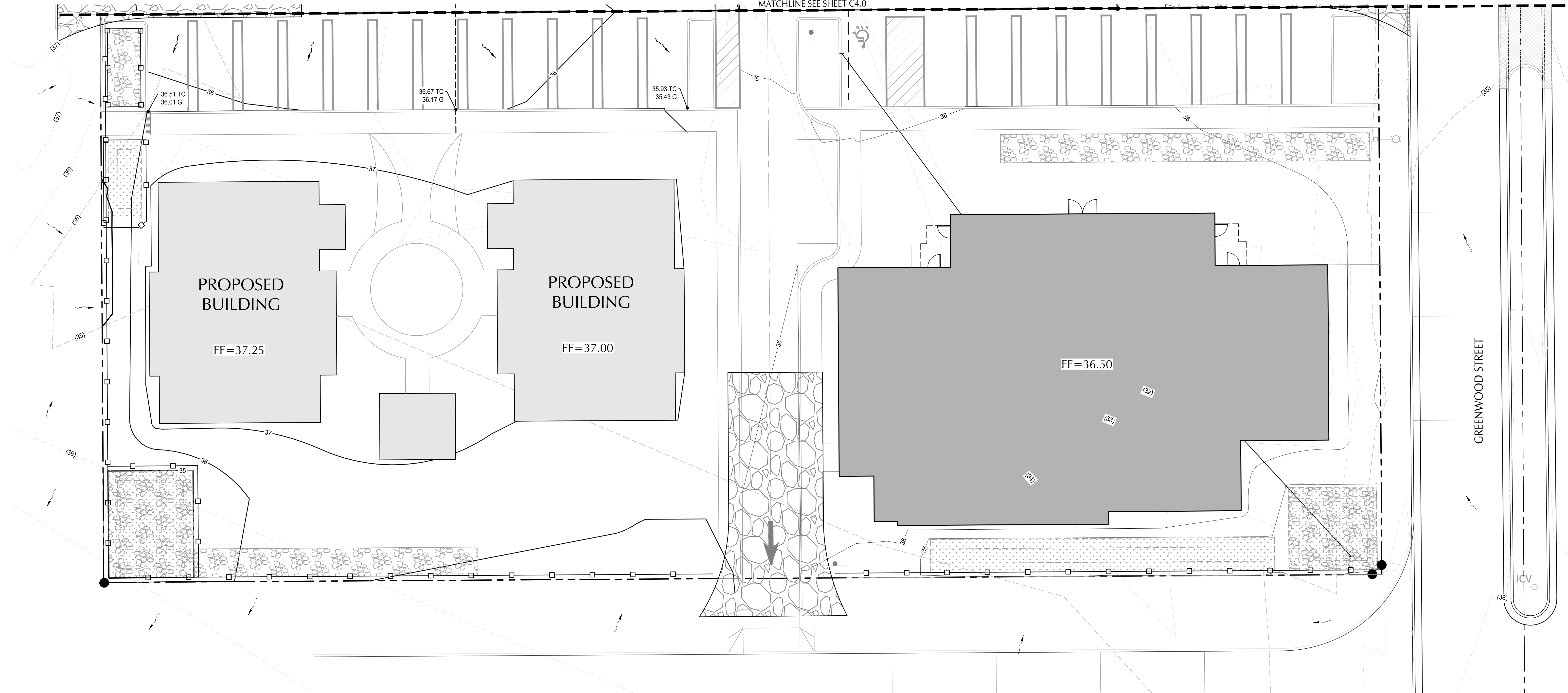
FOR INFORMATION ONLY

JOB No.:	2400153
DESIGNED BY:	JBP
DRAWN BY:	MB
CHECKED BY:	AB
PLOT DATE:	11/1/24 2:36pm
PLOTTED BY:	ABackus
DWG NAME:	2400153-04GD.dwg
TAB NAME:	C3.0

628 RADAR RD, YACHTS, OR 97498  
  
 OUR COASTAL VILLAGE FLORENCE  
 ELM PARK APARTMENTS  
  
**EROSION AND SEDIMENT CONTROL PLAN**

SHEET NO.  
**C3.0**

MATCHLINE SEE SHEET C4.0

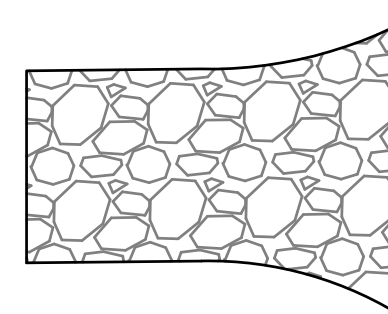


**GRADING LABEL LEGEND**

CALLOUT	DESCRIPTION
X.X%	GRADING SLOPE AND DIRECTION (DOWNHILL)
[X.X%]	SLOPE ORIENTATION INDICATING DIRECTION OF MAXIMUM GRADE (DOWNHILL)
XX.XX XX	SPOT ELEVATION DESCRIPTION LISTED BELOW. NO DESCRIPTION MEANS TP OR TG
EG	EXISTING GRADE
FF	FINISHED FLOOR
FL	FLOW LINE
G	GUTTER
HP	HIGH POINT
LP	LOW POINT
RIM	RIM OF STRUCTURE
TC	TOP OF CURB
TG	TOP OF GROUND
TP	TOP OF PAVEMENT
(XXX.X±)	EXISTING GRADE (MATCH WHERE APPLICABLE)

**SHEET LEGEND**

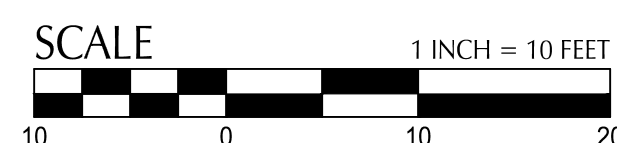
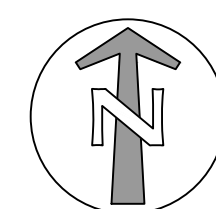
	PROPERTY LINE
	GRADE BREAK
	SAWCUT LINE
	EX. CONTOUR MINOR
	EX. CONTOUR MAJOR
	PROP. CONTOUR MINOR
	PROP. CONTOUR MAJOR
	EXTENT OF WORK
	SEDIMENT CONTROL FENCE. PLACE AT PROPERTY LINES, UNO (SHOWN OFFSET FOR CLARITY).
	DRAINAGE FLOW DIRECTION



ROCKED CONSTRUCTION ENTRANCE

File: O:\epc\2024\0153-Coastal-Village\CAD\PILOT\HOUSING\IPUD-INFO\240153-04GD.dwg TAB C3.1  
Plotted: 11/1/24 at 2:37pm By: ABackus

REVISION	DATE	DESCRIPTION	BY



FOR INFORMATION ONLY

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DRAWN BY:	MB
CHECKED BY:	AB
PLOT DATE:	11/1/24 2:37pm
PLOTTED BY:	ABackus
DWG NAME:	2400153-04GD.dwg
TAB NAME:	C3.1

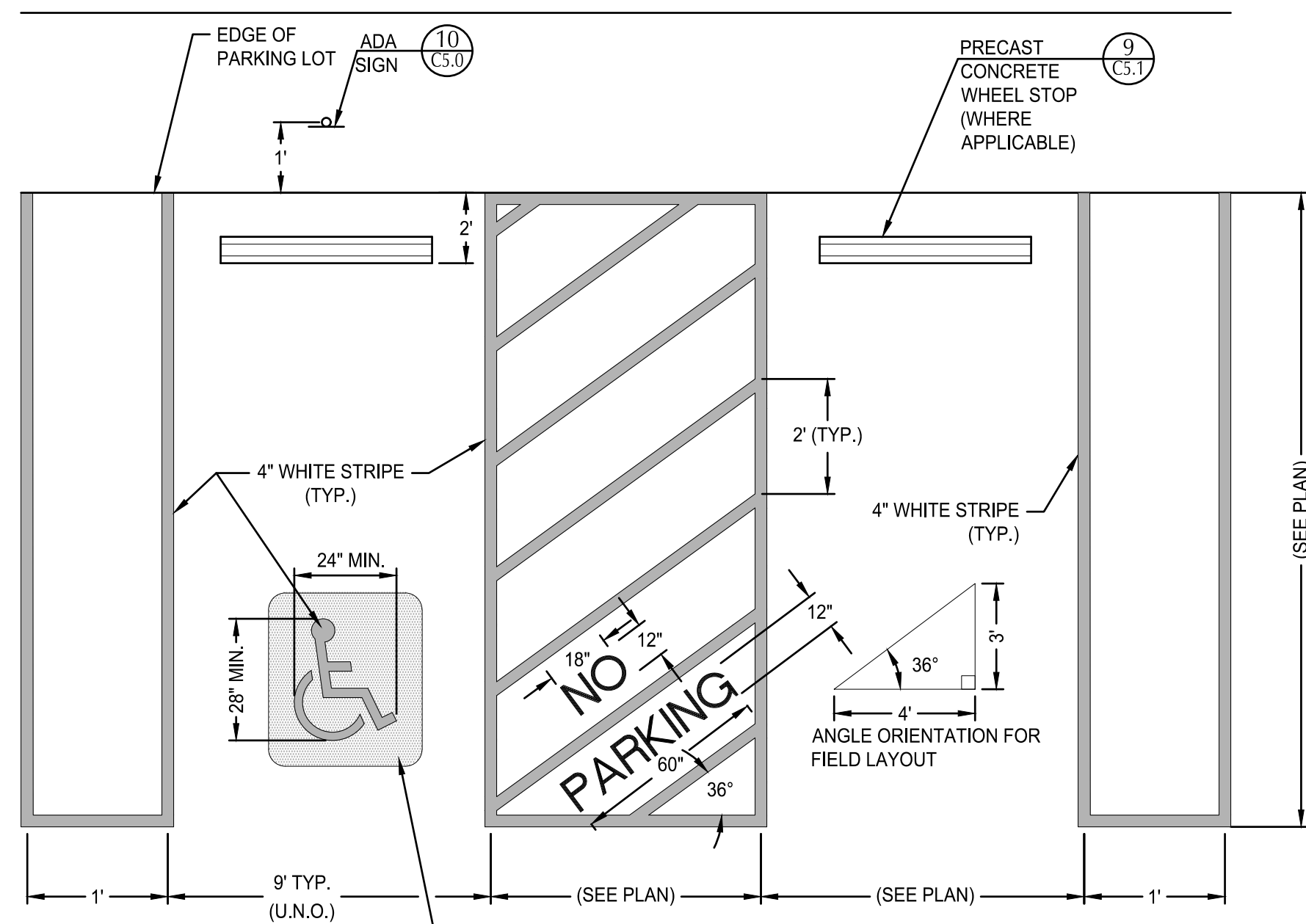
628 RADAR RD, YACHTS, OR 97498

OUR COASTAL VILLAGE FLORENCE  
ELM PARK APARTMENTS  
  
EROSION AND SEDIMENT CONTROL

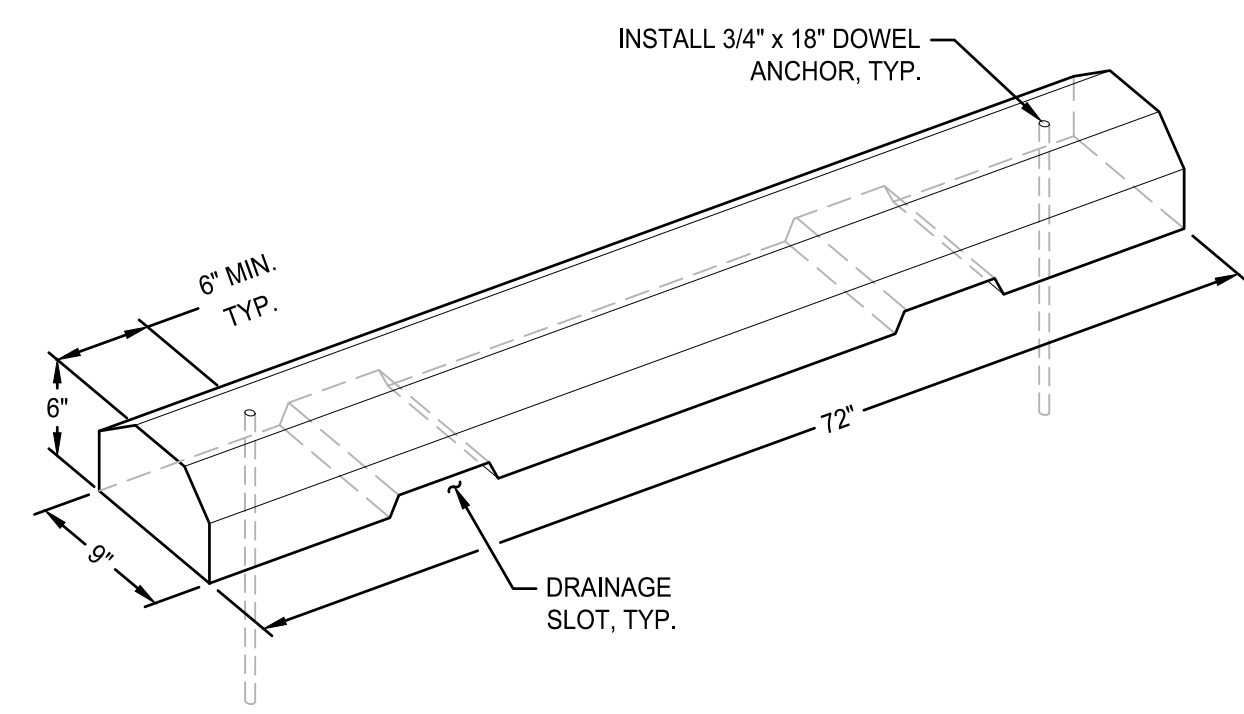
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C3.1

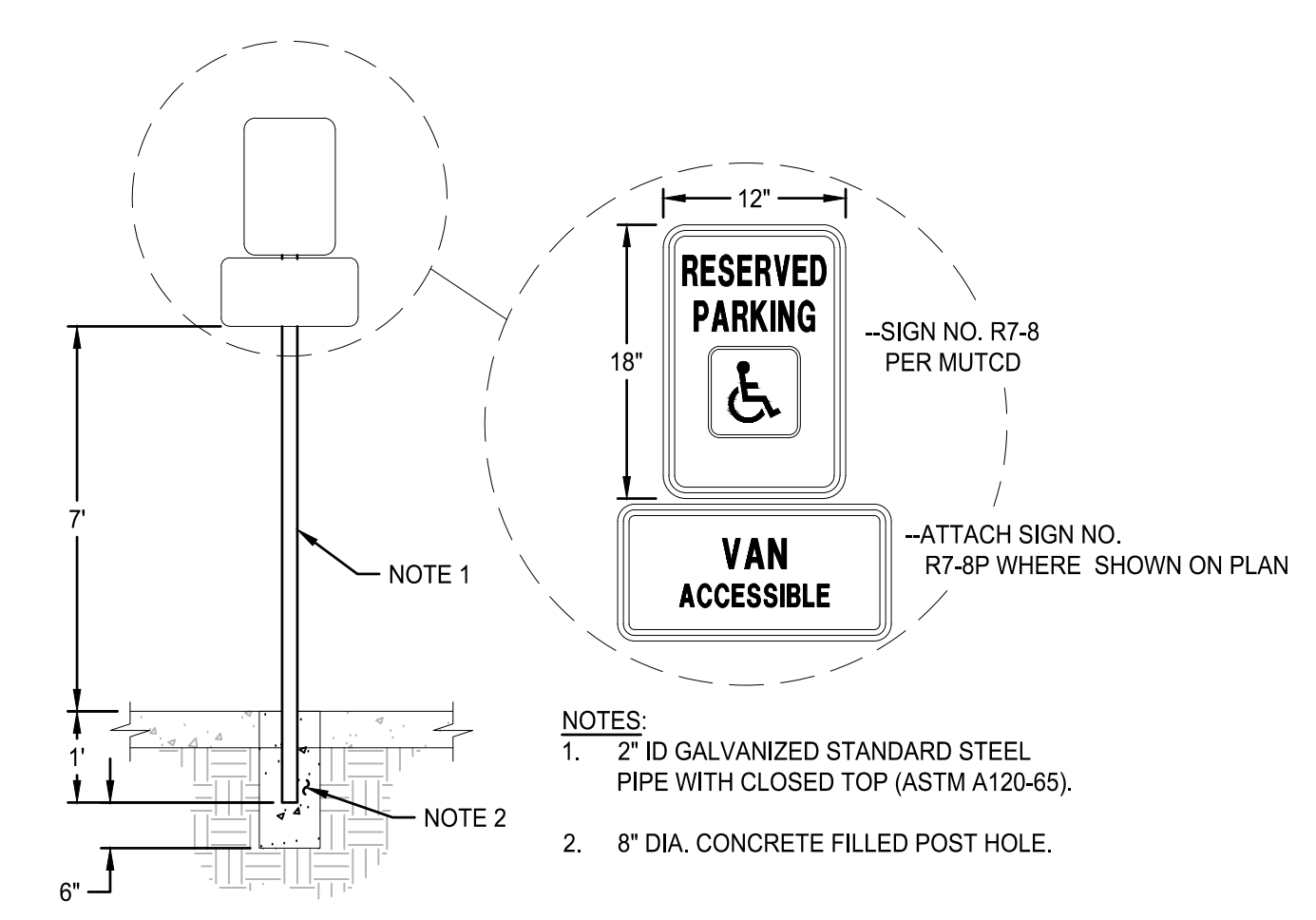




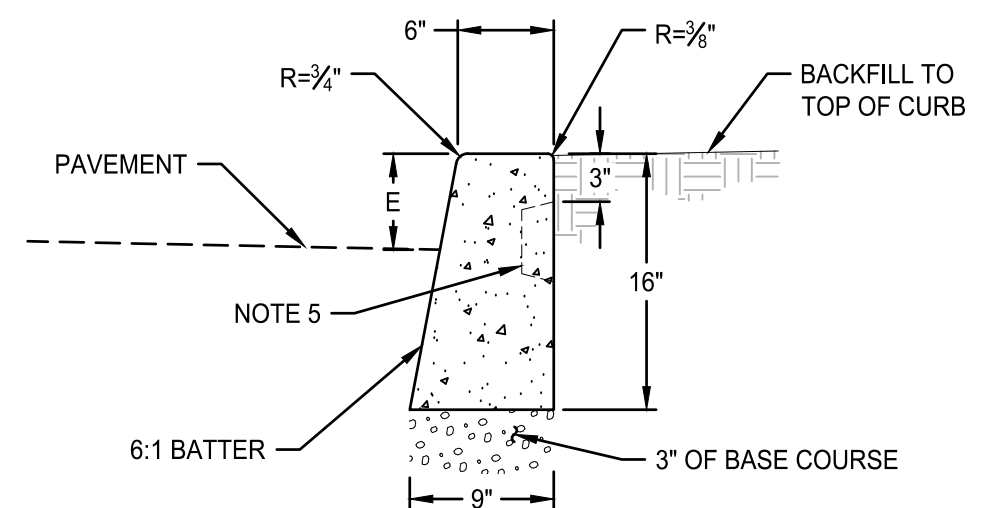
**8 TYPICAL PARKING STRIPING AND LAYOUT**  
SCALE: NTS



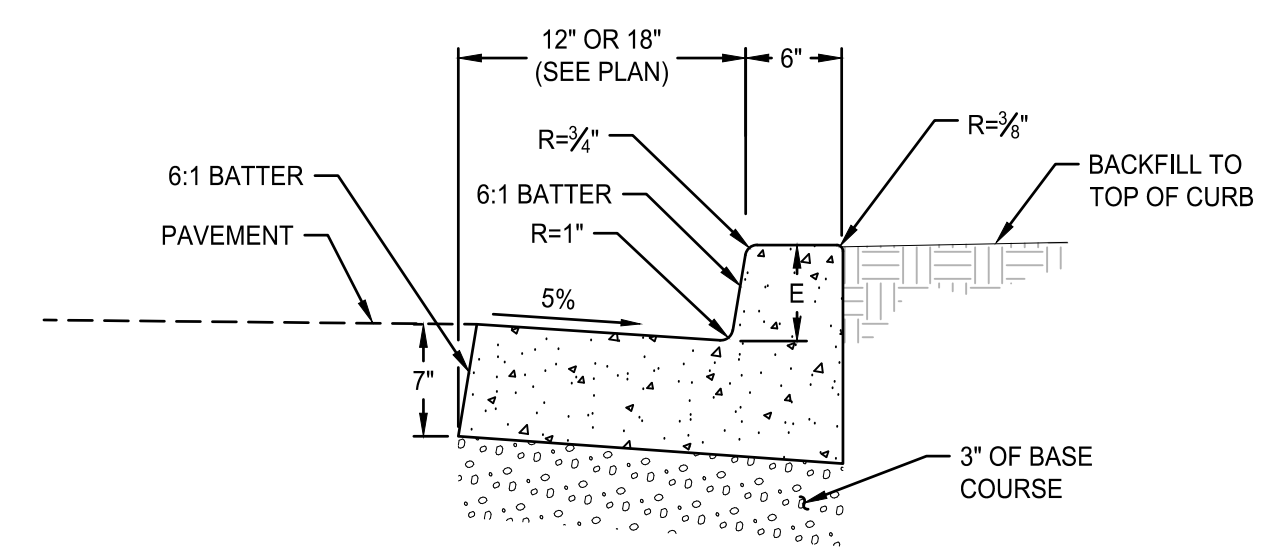
**9 PRECAST CONCRETE WHEEL STOP**  
SCALE: NTS



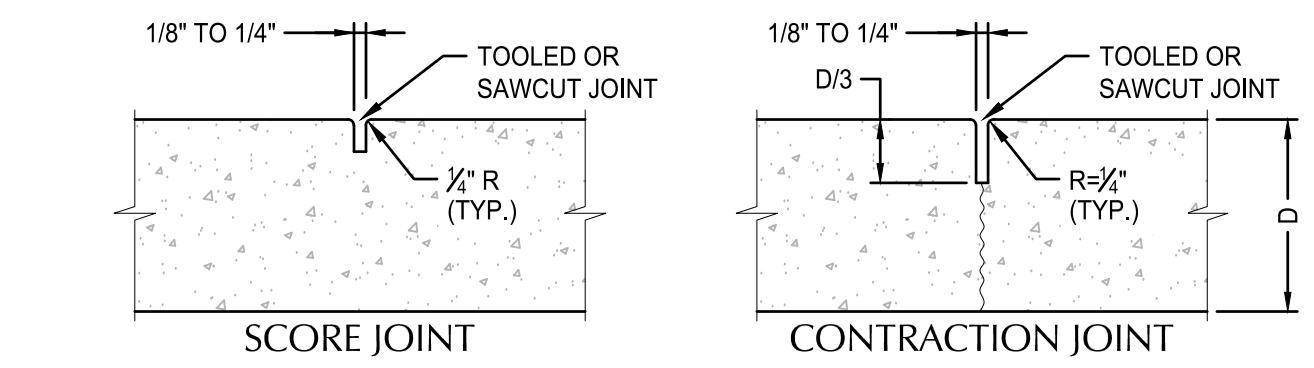
**10 ADA PARKING SIGN**  
SCALE: NTS



**5 CONCRETE CURB - STANDARD**  
SCALE: NTS



**6 CONCRETE CURB AND GUTTER**  
SCALE: NTS



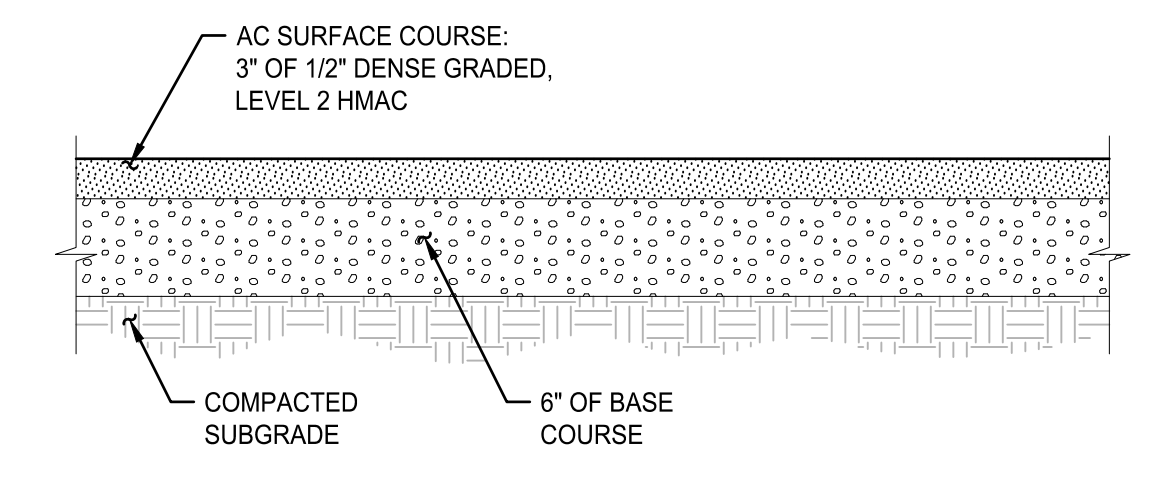
**JOINT INTERVALS TABLE**

TYPE	SPACING	OR AT...
SCORE	5' TYP.	LOCATIONS SHOWN ON PLANS
CONTRACTION	15' MAX.	END OF RAMPS AND DRIVEWAYS
EXPANSION/ISOLATION	200'	POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY OR OTHER FIXED OBJECTS

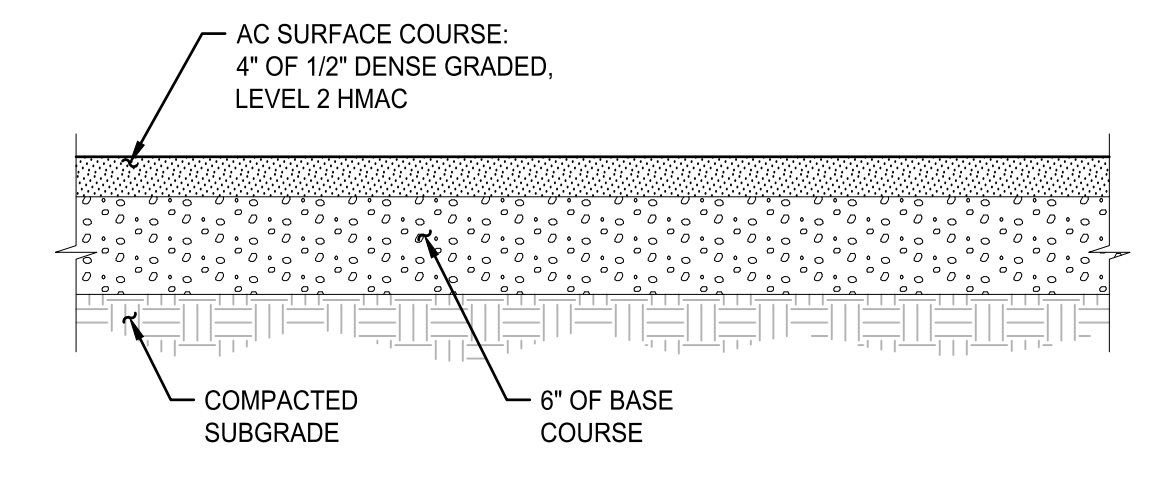
\* MONOLITHIC CURB AND SIDEWALK SHALL BE 45' MAX.

**NOTES:**  
1. CONTRACTION JOINTS MAY BE USED IN PLACE OF SCORE JOINTS.  
2. CONSTRUCTION COLD JOINTS MAY BE USED IN PLACE OF CONTRACTION JOINTS.  
3. PROVIDE MEDIUM BROOM FINISH WITH NO TOOL MARKS.

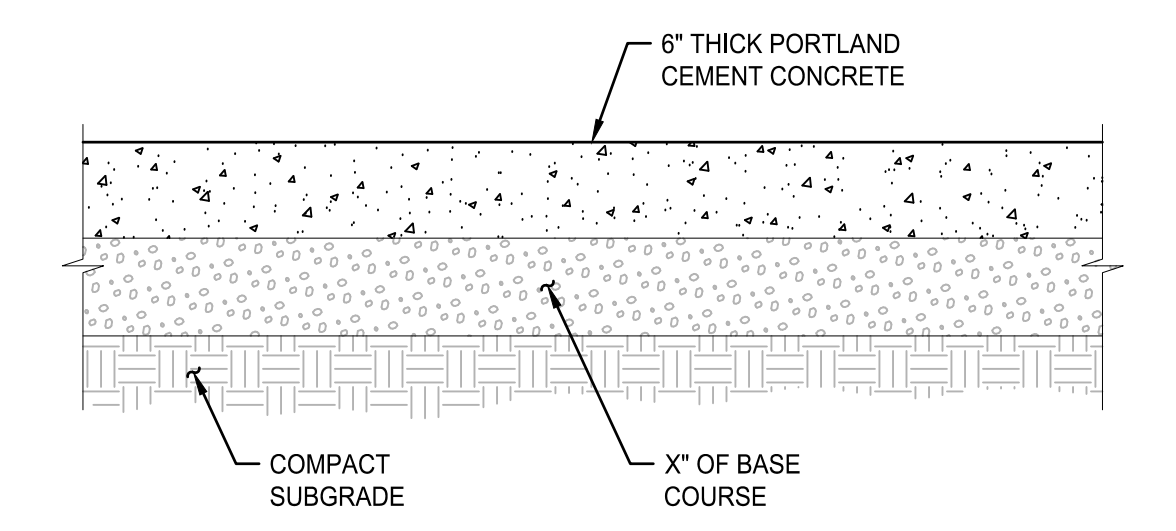
**7 TYP. SIDEWALK JOINTS**  
SCALE: NTS



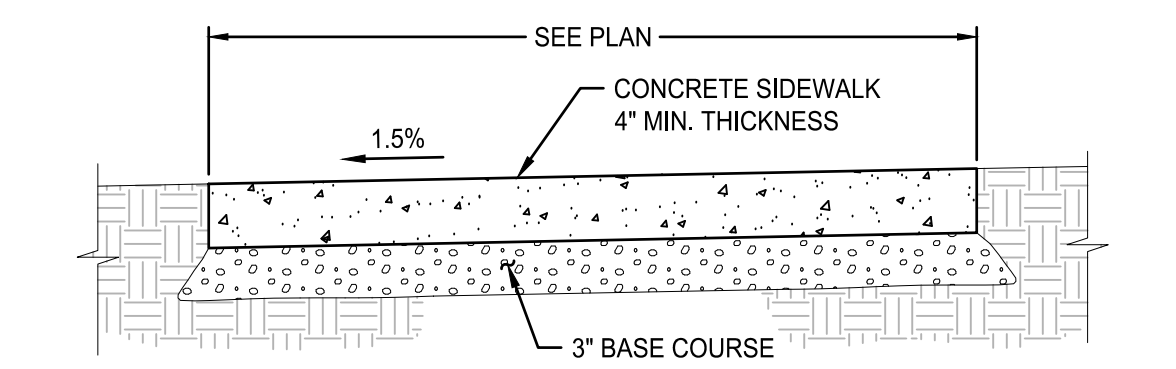
**1 LIGHT ASPHALT PAVEMENT SECTION**  
SCALE: NTS



**2 HEAVY ASPHALT PAVEMENT SECTION**  
SCALE: NTS



**3 CONCRETE PAVEMENT SECTION**  
SCALE: NTS



**4 TYP. CONCRETE SIDEWALK**  
SCALE: NTS

File: O:\cpl\2024\10153-Coastal-Village\CAD\PL\01\HOUSING\IPUD-INF\02400153-05DT.dwg TAECA4.0  
Plotted: 10/31/24 at 2:07pm By: jpresent

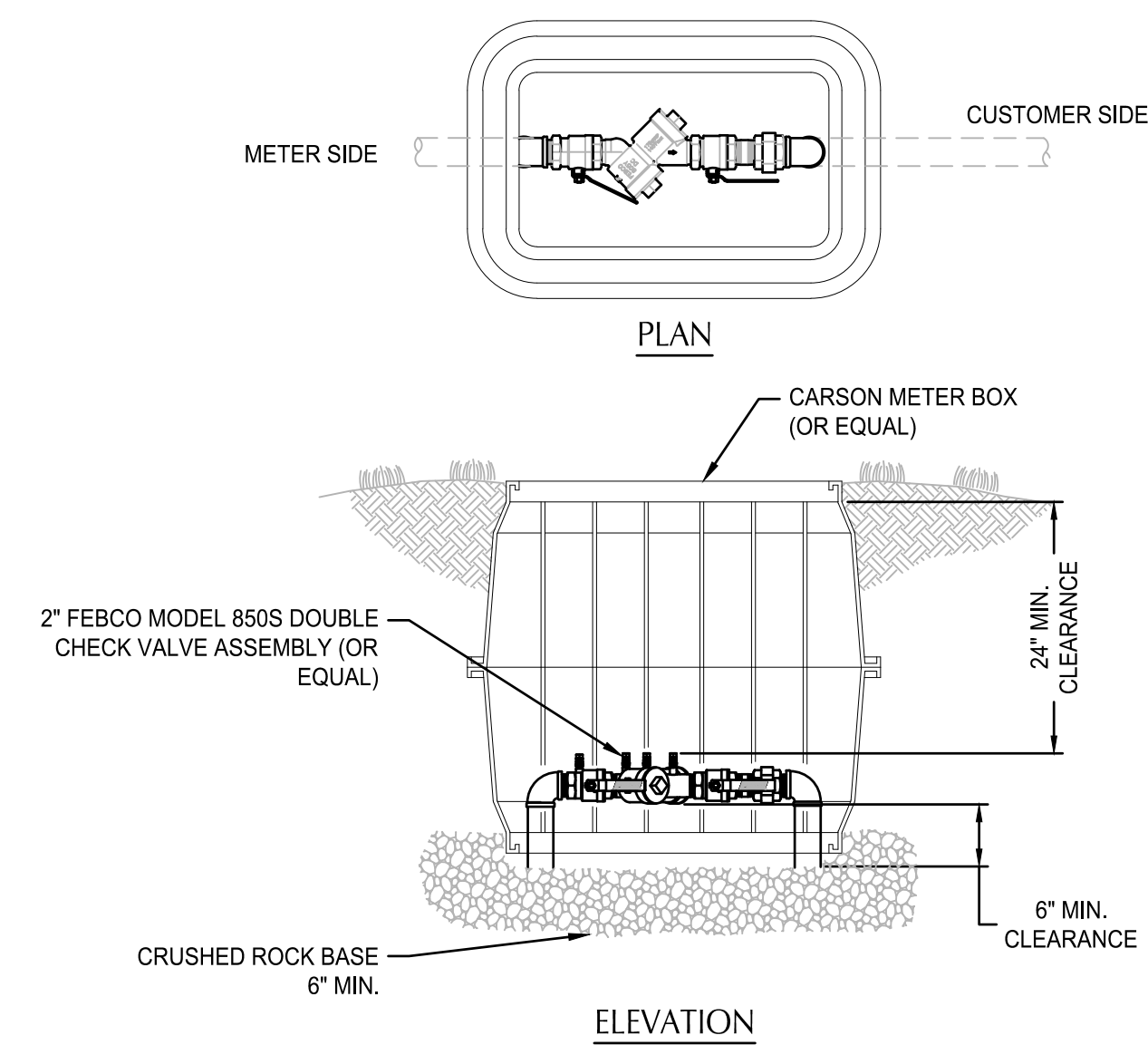
REVISION	DATE	DESCRIPTION	BY


<b>FOR INFORMATION ONLY</b>	JOB No.:	2400153
	DESIGNED BY:	JBP
	DRAWN BY:	MB
	CHECKED BY:	AB
	PLOT DATE:	10/31/24 2:07pm
	PLOTTED BY:	jpresent
	DWG NAME:	2400153-05DT.dwg
TAB NAME:	C4.0	

628 RADAR RD, YACHTS, OR 97498
OUR COASTAL VILLAGE FLORENCE ELM PARK APARTMENTS
CIVIL DETAILS

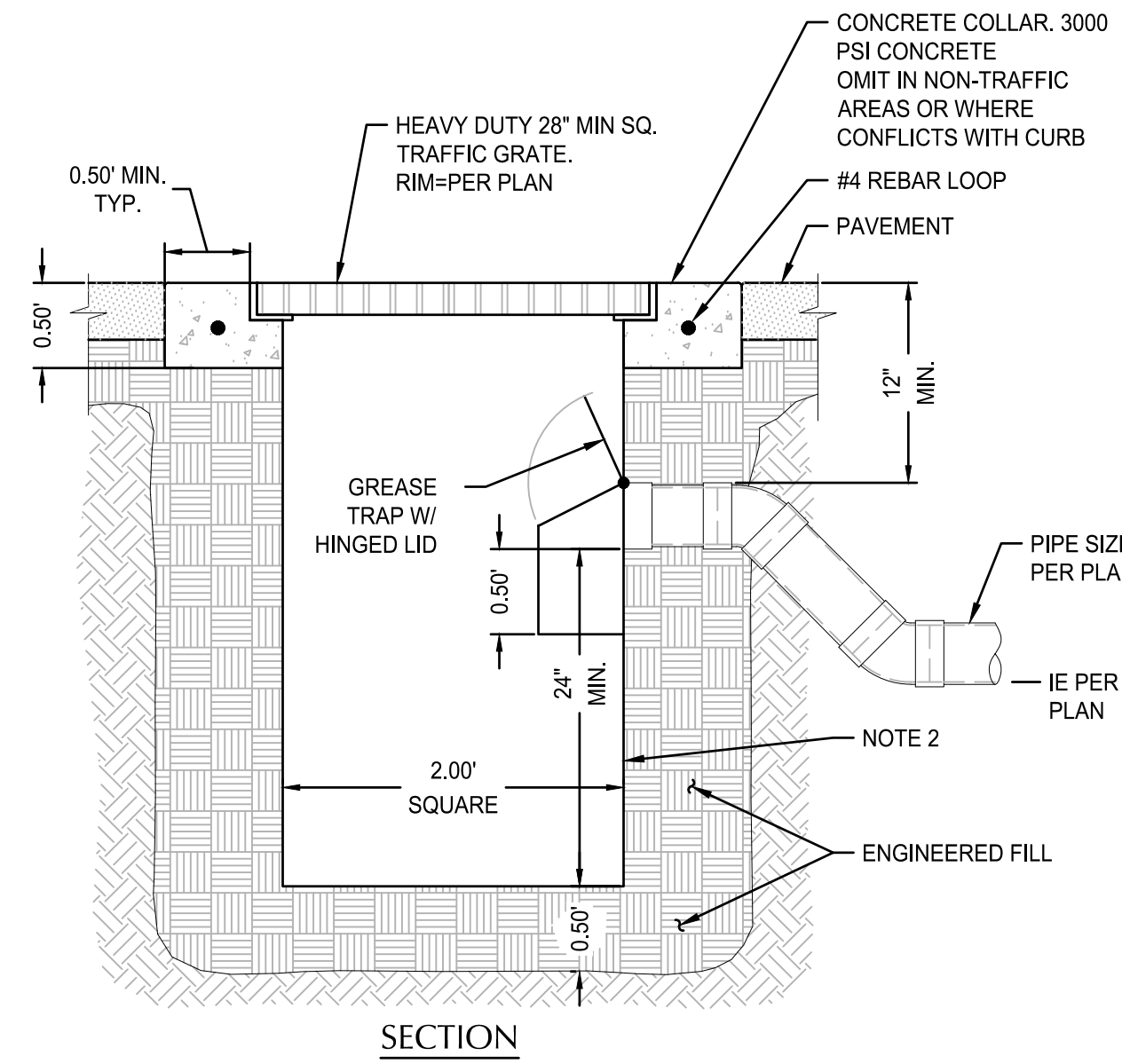
SHEET NO.  
**C4.0**





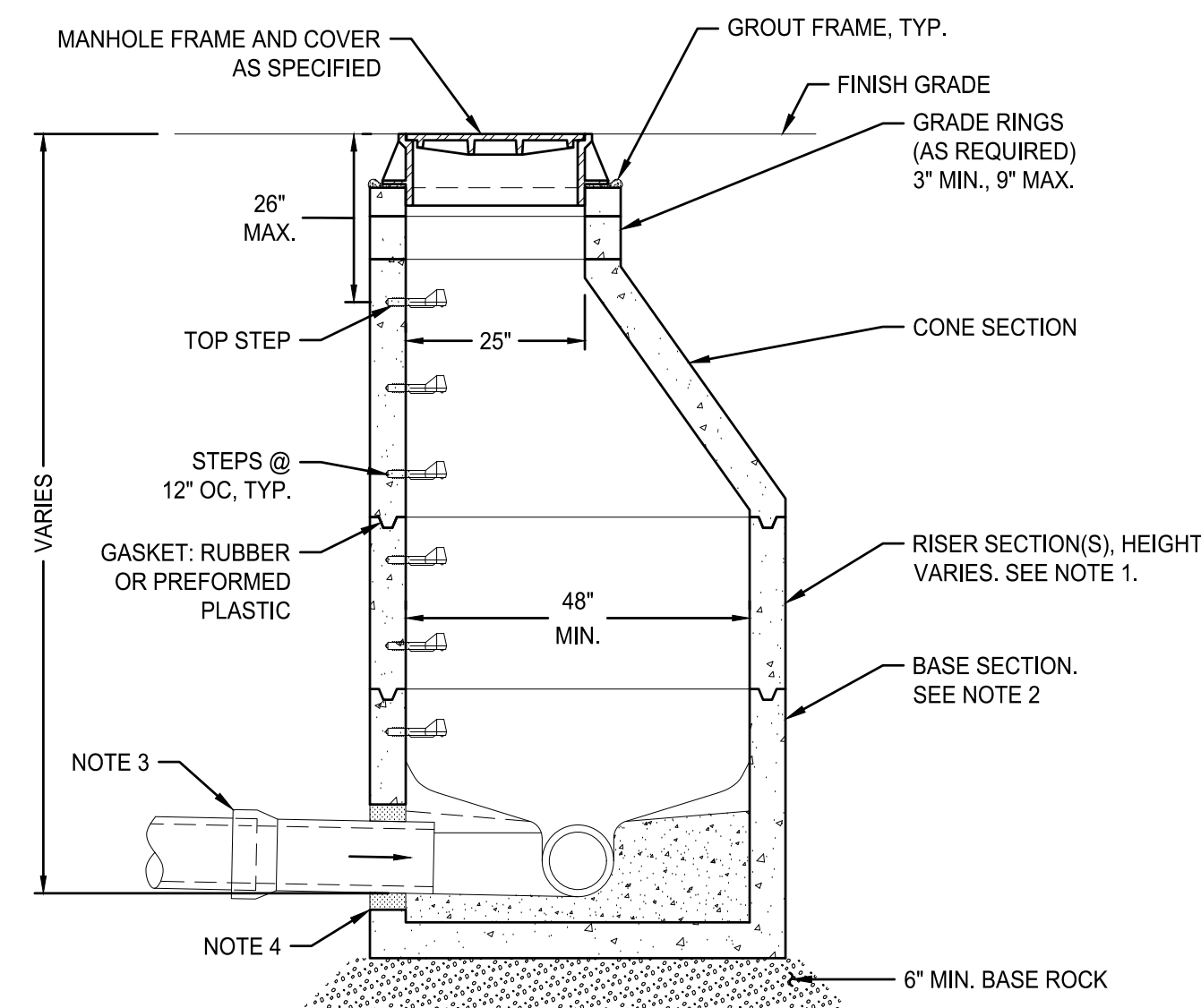
**NOTE:**  
INSTALLATION SHOWN IS ONLY A SUGGESTION. THE DISTANCE FROM BOTTOM OF DEVICE TO FINISH GRADE, FREEZE PROTECTION, AND CLEARANCE FOR TESTING & REPAIR ARE THE MAJOR CONSIDERATIONS FOR INSTALLATION. PLUGS TO BE INSTALLED IN TEST COCKS OF BELOW GROUND INSTALLATIONS (NO DISSIMILAR METALS). IF FREEZE PROTECTION IS PROVIDED, THE 24\"/>

**8** DOUBLE CHECK BACKFLOW ASSEMBLY  
SCALE: NTS



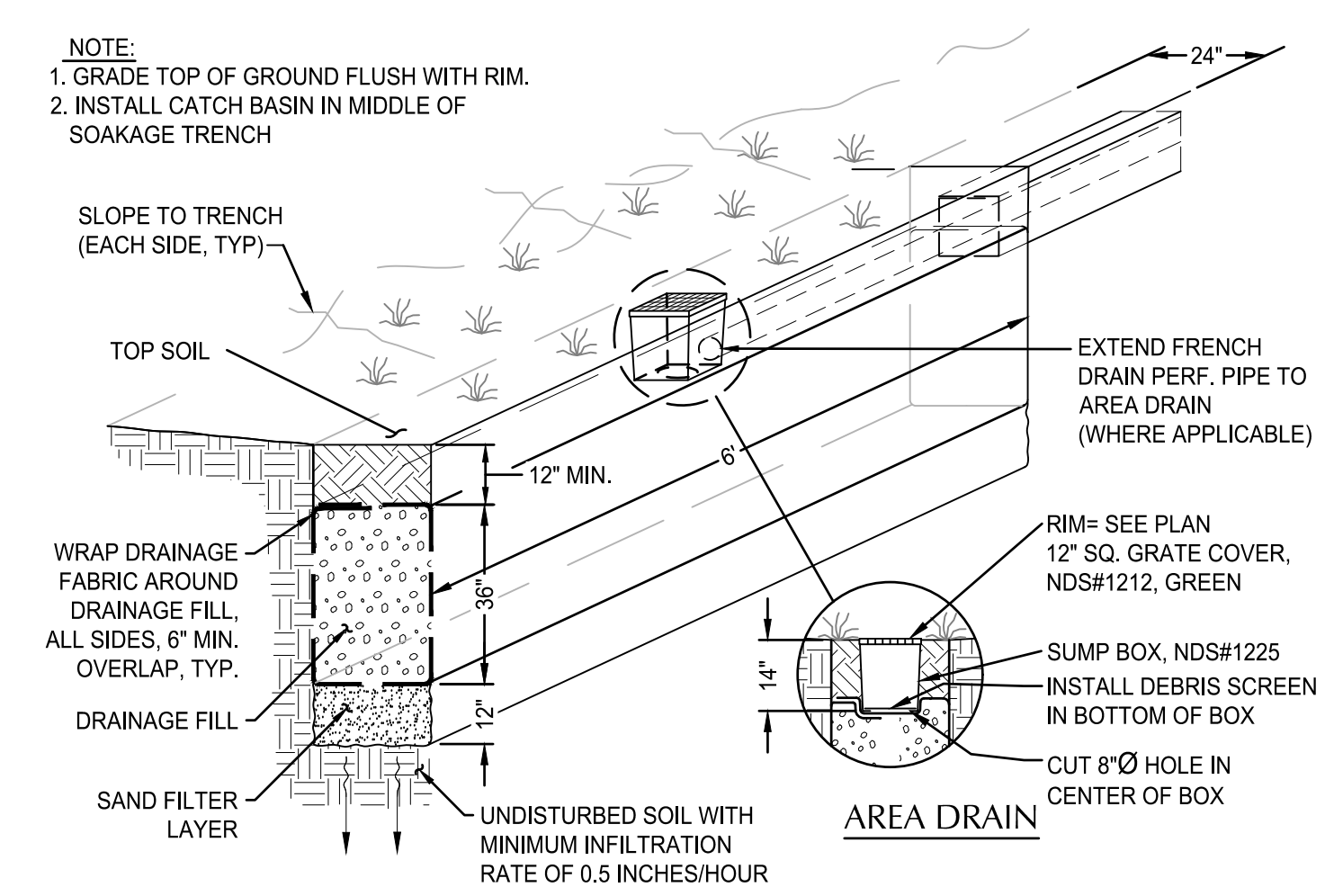
**NOTES:**  
1. CONTRACTOR TO WIDEN EXCAVATION AS REQUIRED TO OBTAIN COMPACTION WITH CONTRACTORS COMPACTION EQUIPMENT.  
2. 1/4\"/>

**6** TRAPPED CATCH BASIN  
SCALE: NTS

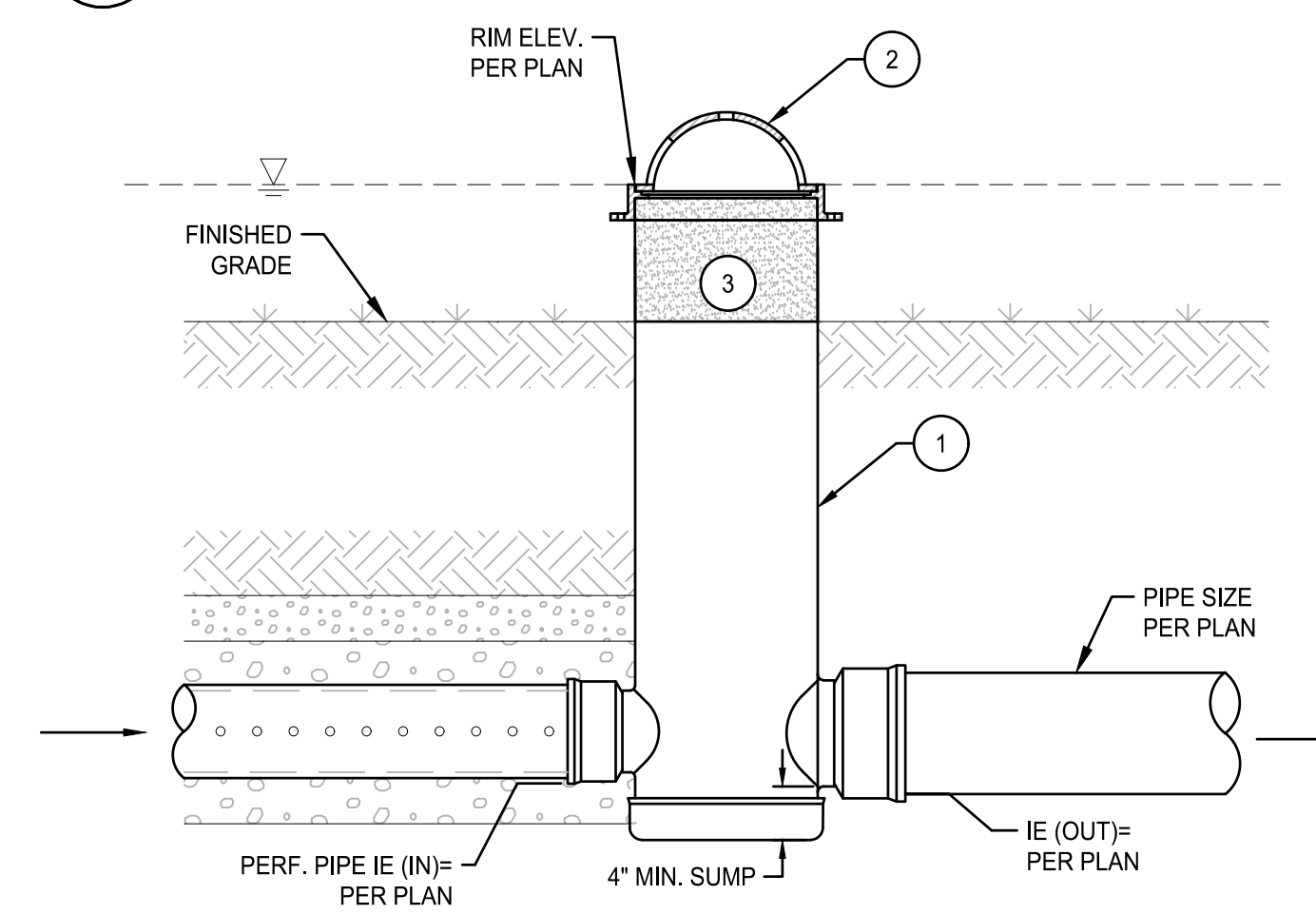


**NOTES:**  
1. ALL PRECAST SECTIONS SHALL CONFORM TO REQUIREMENTS OF ASTM C-478.  
2. MANHOLE BASE MAY BE PRECAST OR CAST IN PLACE.  
3. ALL CONNECTING PIPES SHALL BE WATER TIGHT AND HAVE FLEXIBLE, GASKETED AND UNRESTRAINED JOINT WITHIN 18\"/>

**7** STANDARD MANHOLE  
SCALE: NTS



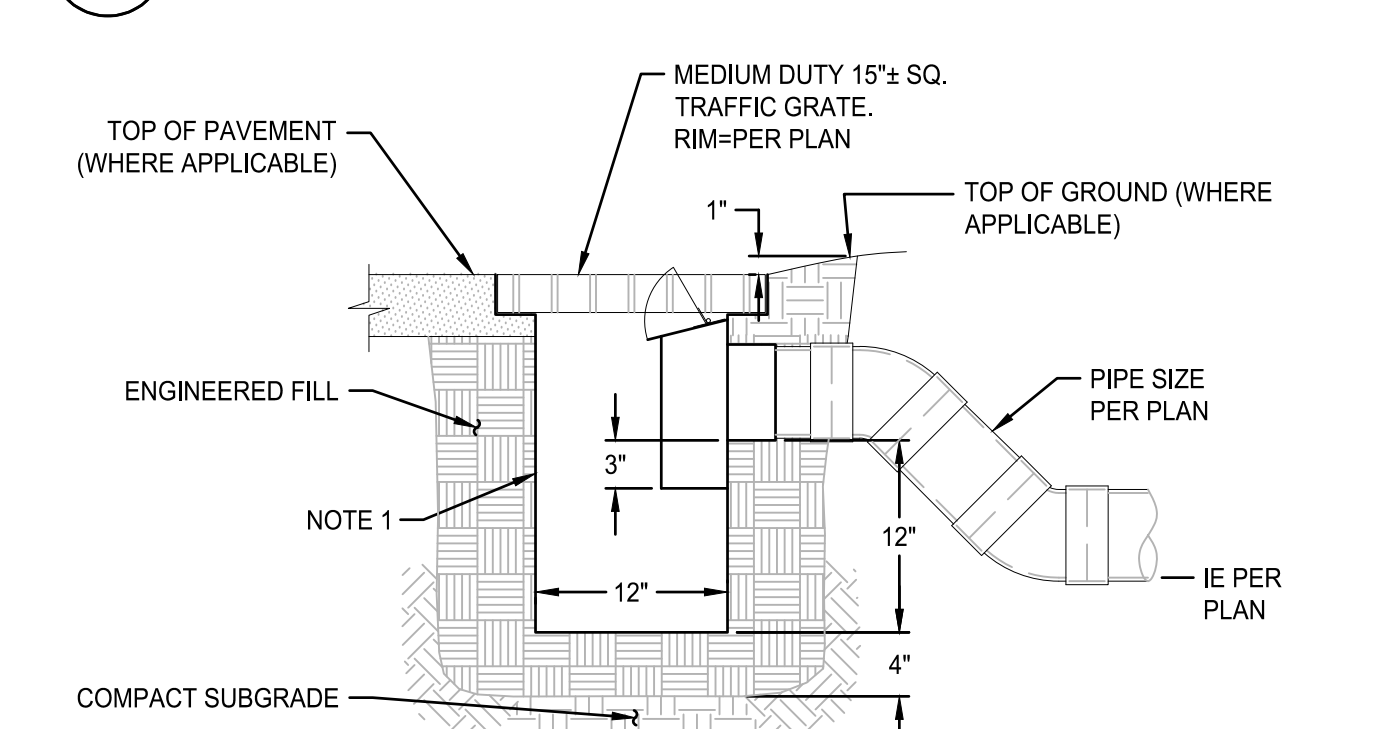
**3** SOAKAGE TRENCH  
SCALE: NTS



**(X) KEY NOTES**

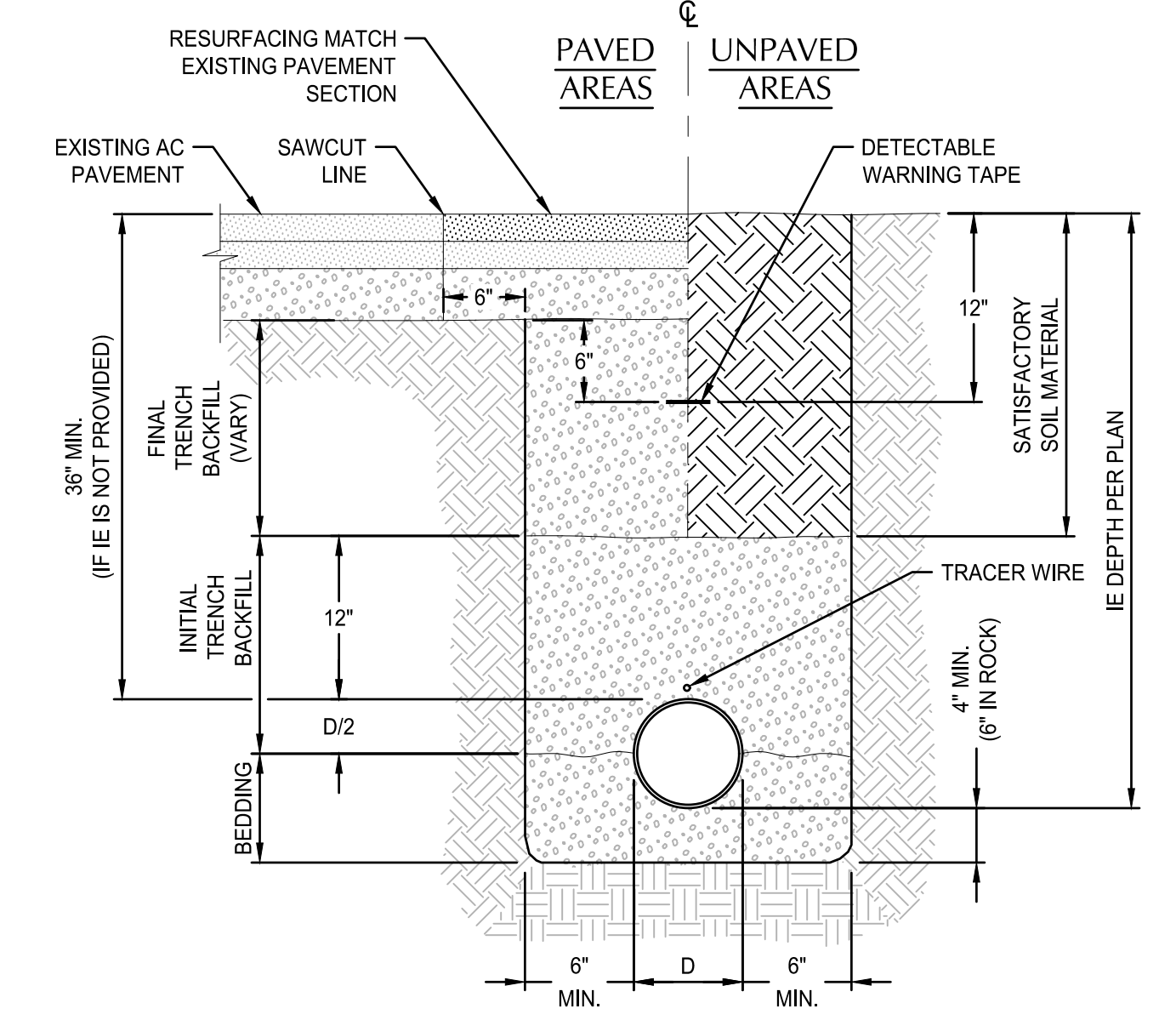
- 12\"/>

**4** OVERFLOW INLET - TYPE D2  
SCALE: NTS

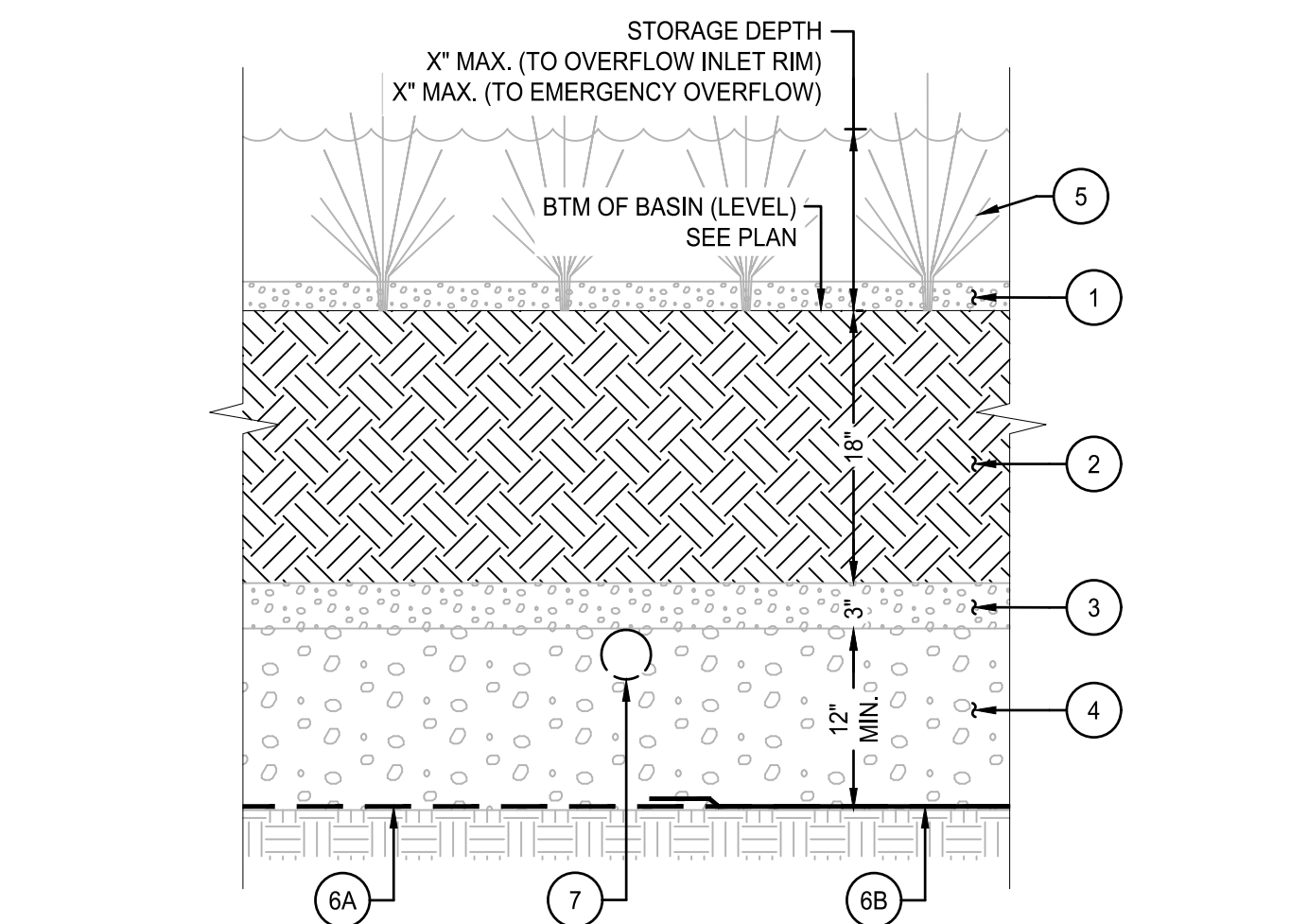


**NOTE:**  
1. 10 GAGE STEEL PLATE, BITUMINOUS COATED, AS MANUFACTURED BY GIBSON STEEL BASINS OR APPROVED EQUAL.

**5** TRAPPED AREA DRAIN  
SCALE: NTS



**1** TYPICAL PIPE BEDDING AND BACKFILL  
SCALE: NTS



**(X) KEY NOTES**

- INSTALL 2\"/>

**2** TYPICAL STORMWATER FACILITY SECTION  
SCALE: NTS

File: O:\cpl\2024\01-53-Coastal-Village\CAD\PL\OTH\Housing\IP-UD-INF\02400153-05DT.dwg TAB C4.1  
Plotted: 10/31/24 at 1:43pm By: jpresent

REVISION	DATE	DESCRIPTION	BY

FOR INFORMATION ONLY

JOB No.:	2400153
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DRAWN BY:	MB
CHECKED BY:	AB
PLOT DATE:	10/31/24 1:43pm
PLOTTED BY:	jpresent
DWG NAME:	2400153-05DT.dwg
TAB NAME:	C4.1

628 RADAR RD, YACHTS, OR 97498

OUR COASTAL VILLAGE FLORENCE  
ELM PARK APARTMENTS

CIVIL DETAILS

SHEET NO.

C4.1

**EXHIBIT 9**

**ELM PARK APARTMENTS**

**PRELIMINARY ARCHITECTURAL**



1 SITE PLAN  
1/16" = 1'-0"

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Revision Summary	
Revision Number	Revision Date

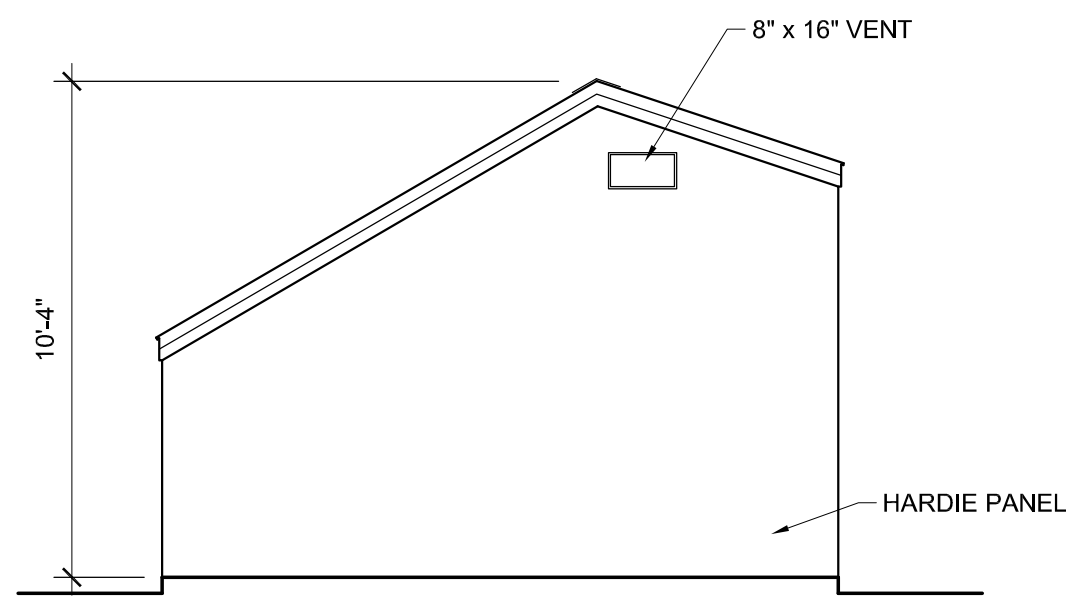
**ELM PARK, FLORENCE**  
10TH STREET & GREENWOOD AVENUE  
FLORENCE, OREGON 97439  
OUR COASTAL VILLAGE

SITE PLAN

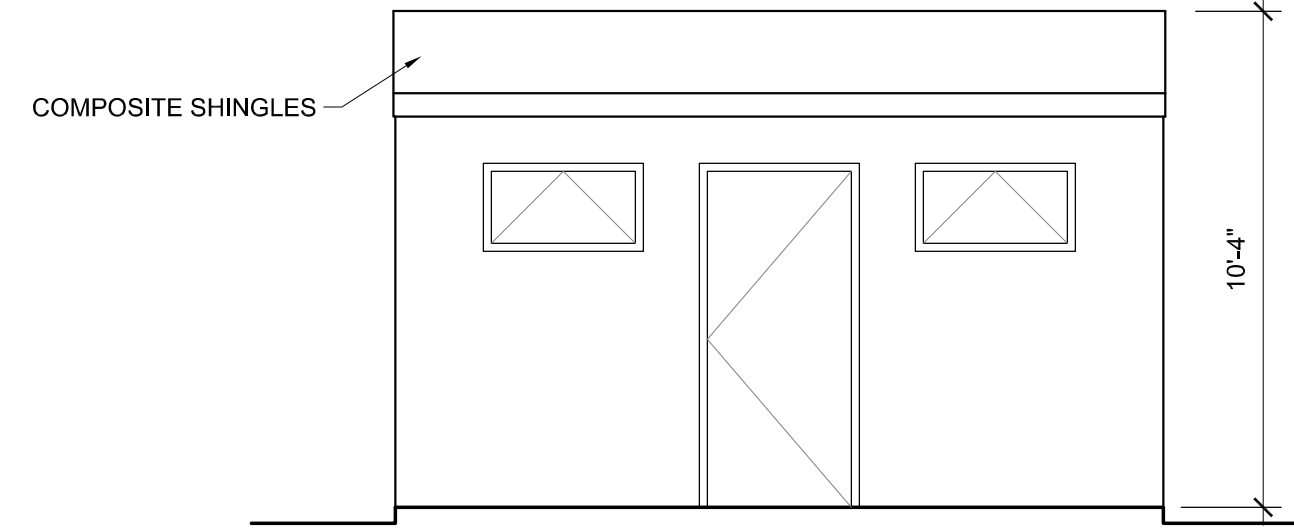
date 10-31-2024  
file 2420  
d.b. LWL

A001

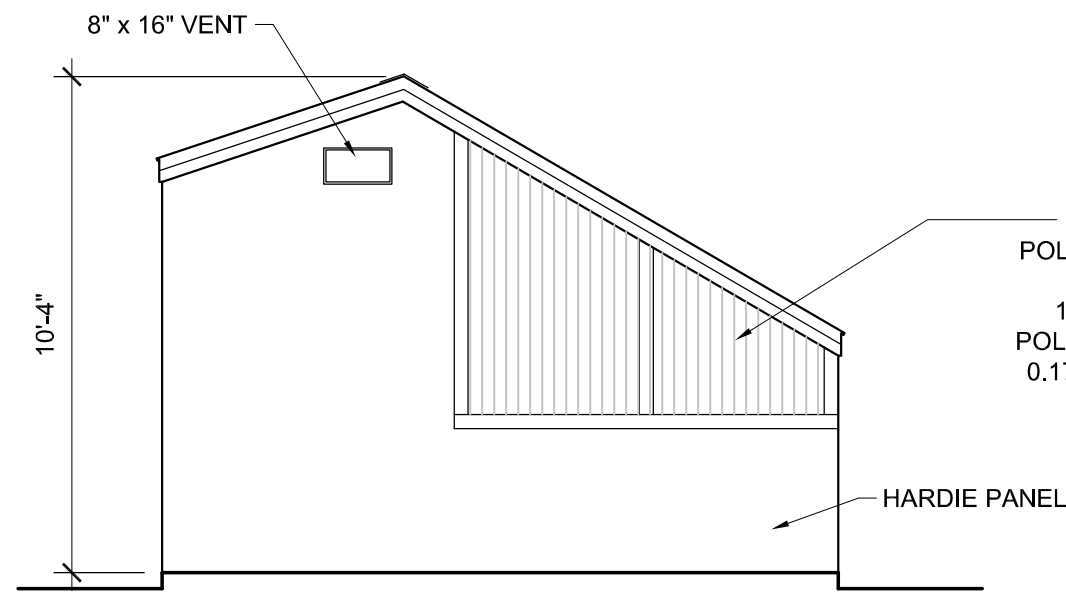




13 GREEN HOUSE EAST ELEVATION  
A002 1/4"=1'-0"



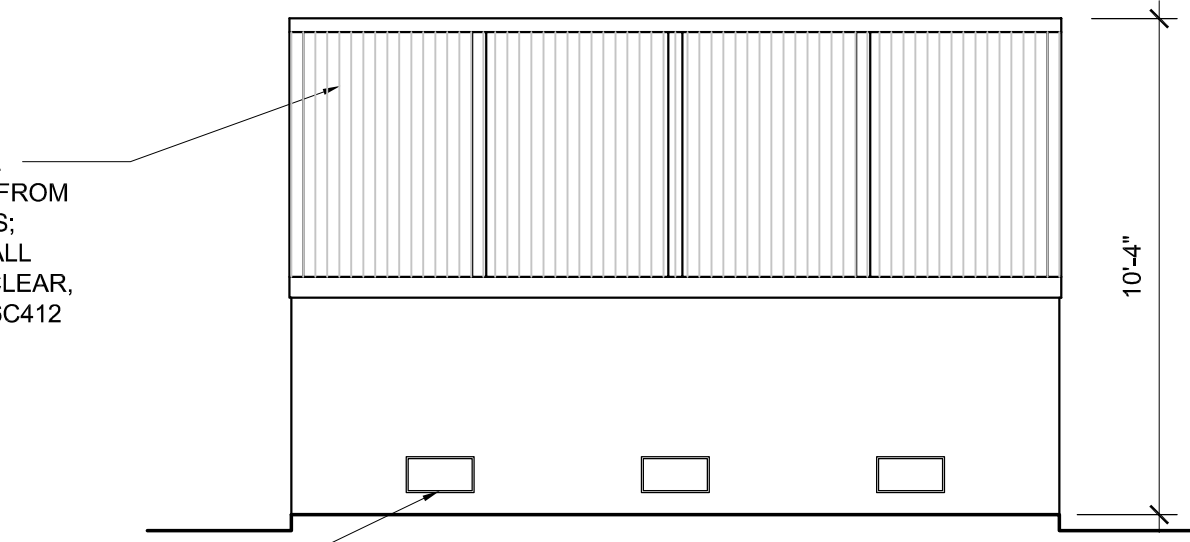
10 GREEN HOUSE NORTH ELEVATION  
A002 1/4"=1'-0"



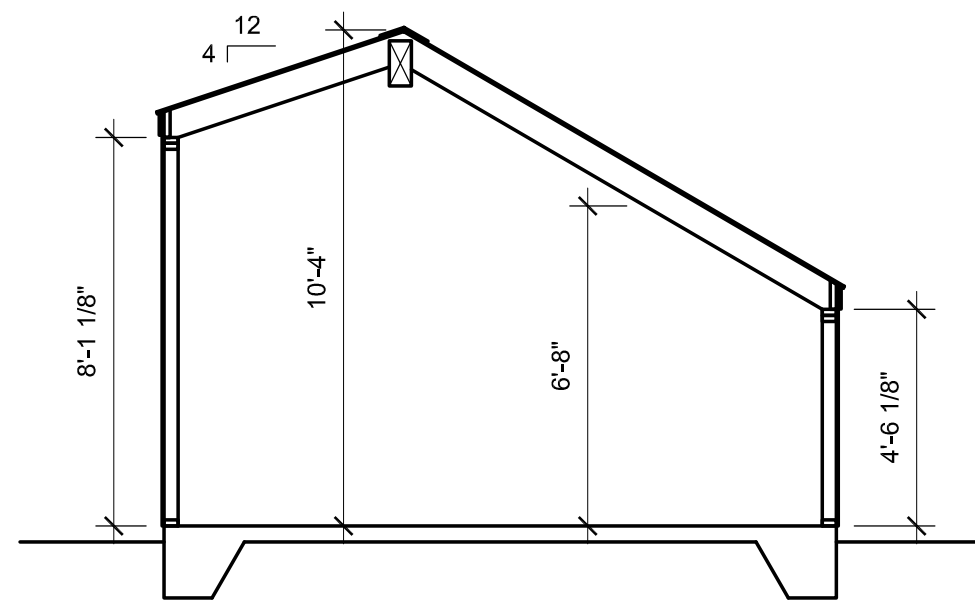
12 GREEN HOUSE WEST ELEVATION  
A002 1/4"=1'-0"

POLY GAL MULTI-WALL  
POLYCARBONATE PANELS FROM  
MULTI-CRAFT PLASTICS:  
16mm x 4' x 12' TRIPLEWALL  
POLYCARBONATE SHEET, CLEAR,  
0.177" PART NUMBER TW16C412

(3) 8' x 16' VENT @ 6" A.F.F.

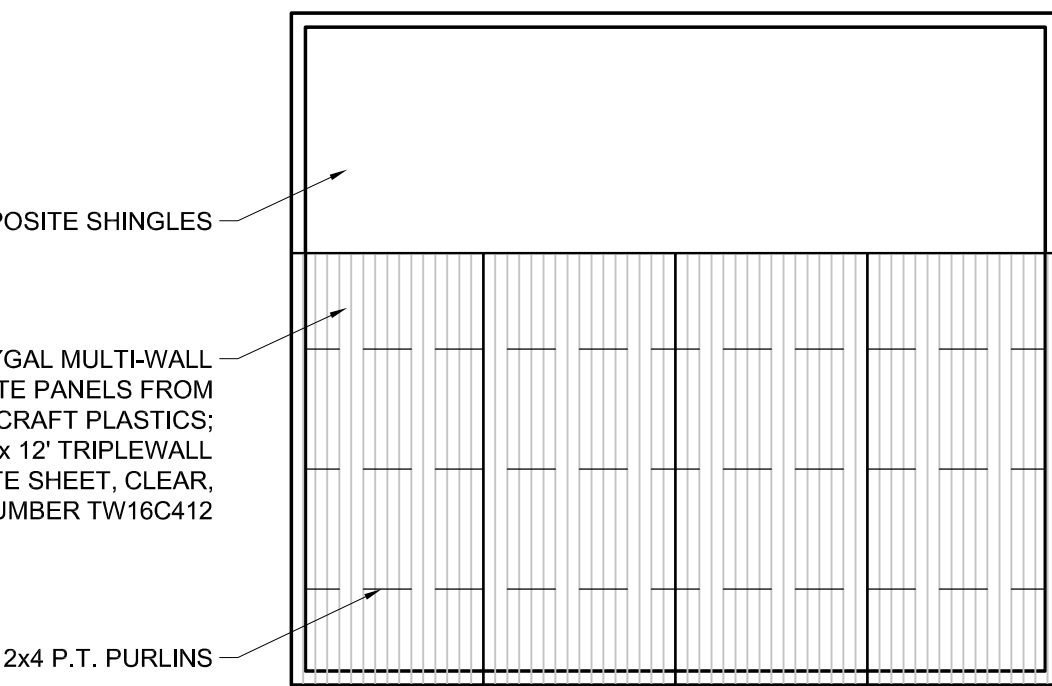


9 GREEN HOUSE SOUTH ELEVATION  
A002 1/4"=1'-0"

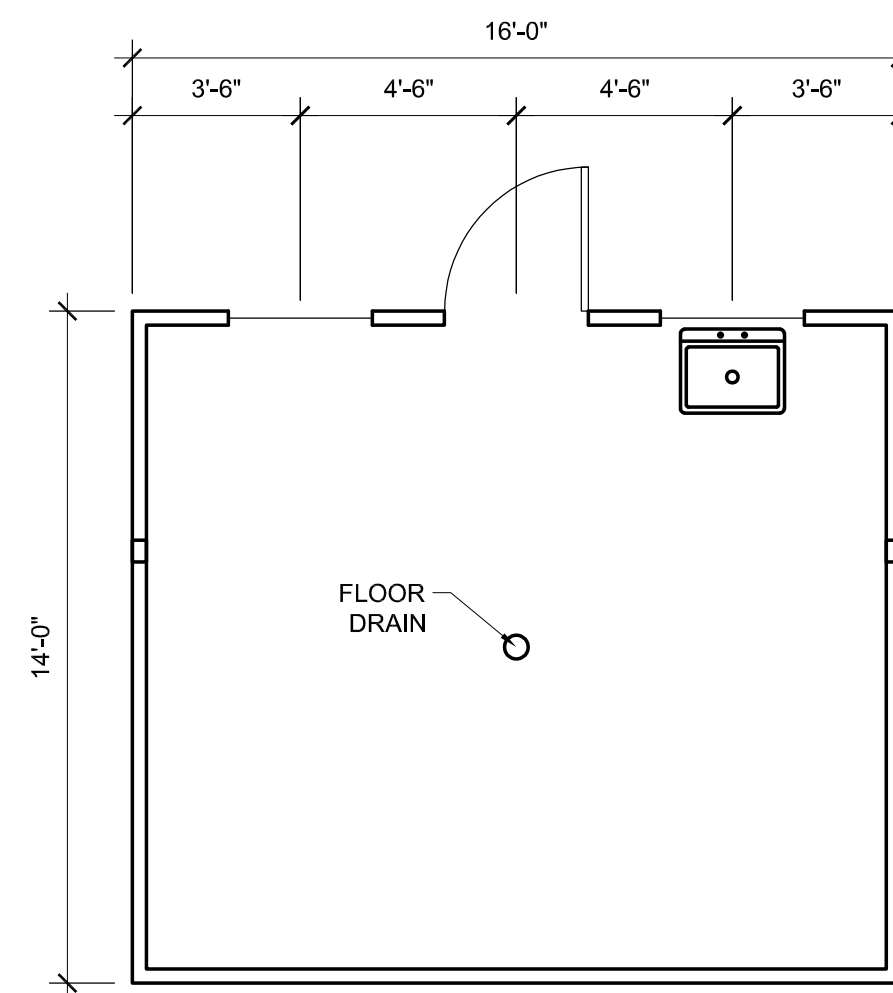


11 GREEN HOUSE SECTION  
A002 1/4"=1'-0"

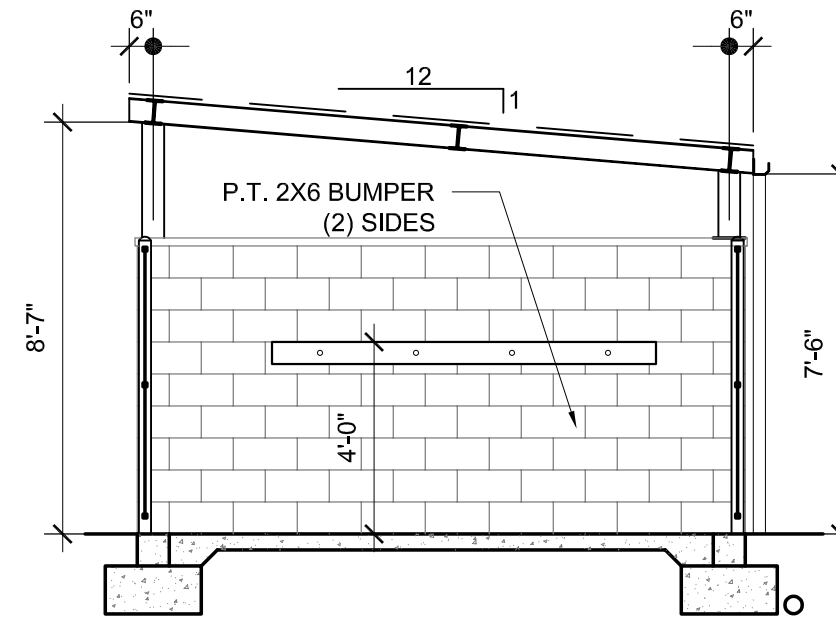
COMPOSITE SHINGLES  
POLY GAL MULTI-WALL  
POLYCARBONATE PANELS FROM  
MULTI-CRAFT PLASTICS:  
16mm x 4' x 12' TRIPLEWALL  
POLYCARBONATE SHEET, CLEAR,  
0.177" PART NUMBER TW16C412  
2x4 P.T. PURLINS



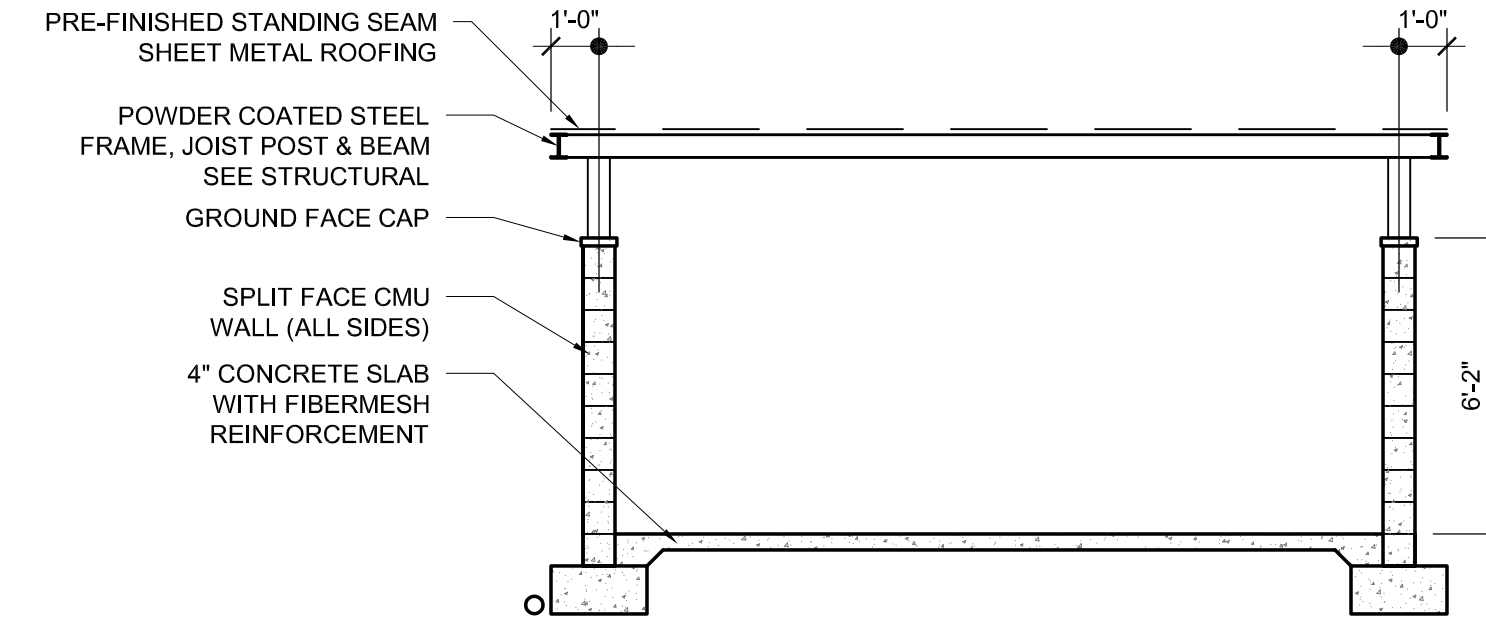
8 GREEN HOUSE ROOF PLAN  
A002 1/4"=1'-0"



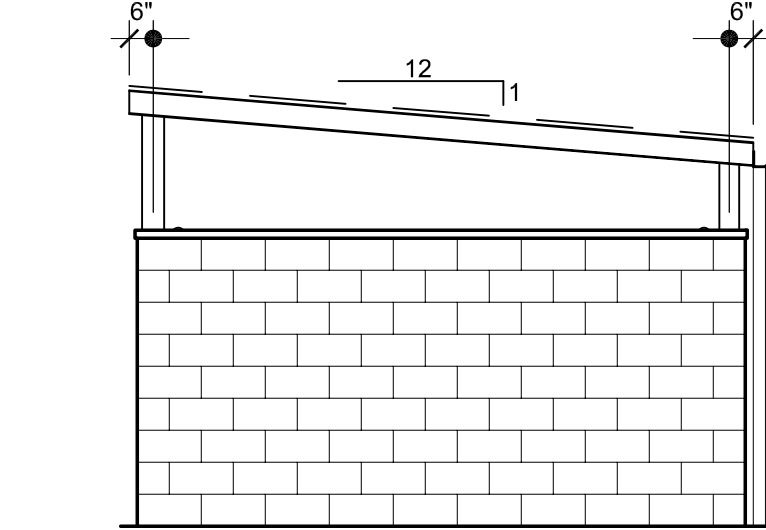
7 GREEN HOUSE PLAN  
A002 1/4"=1'-0"



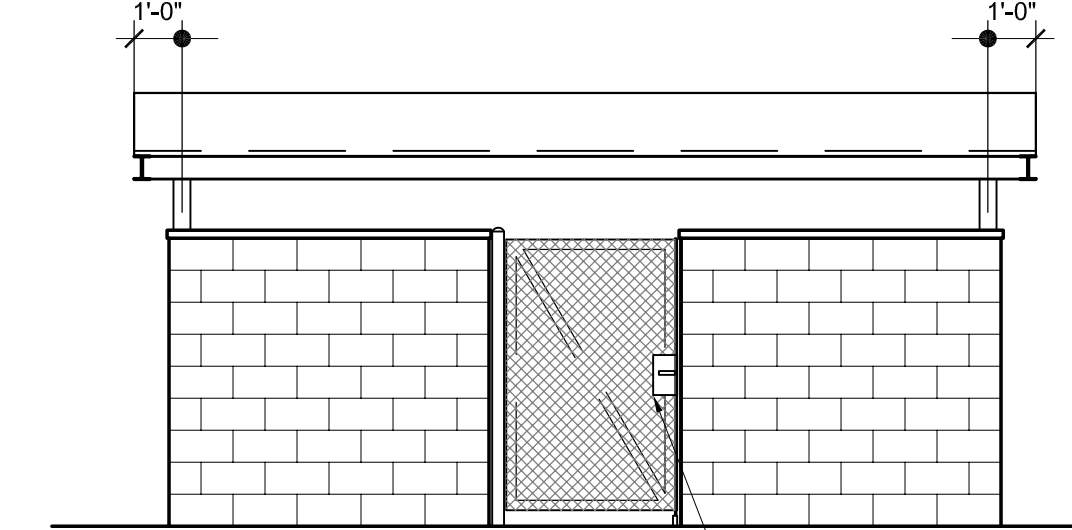
6 TRASH ENCL. SECTION  
A002 1/4"=1'-0"



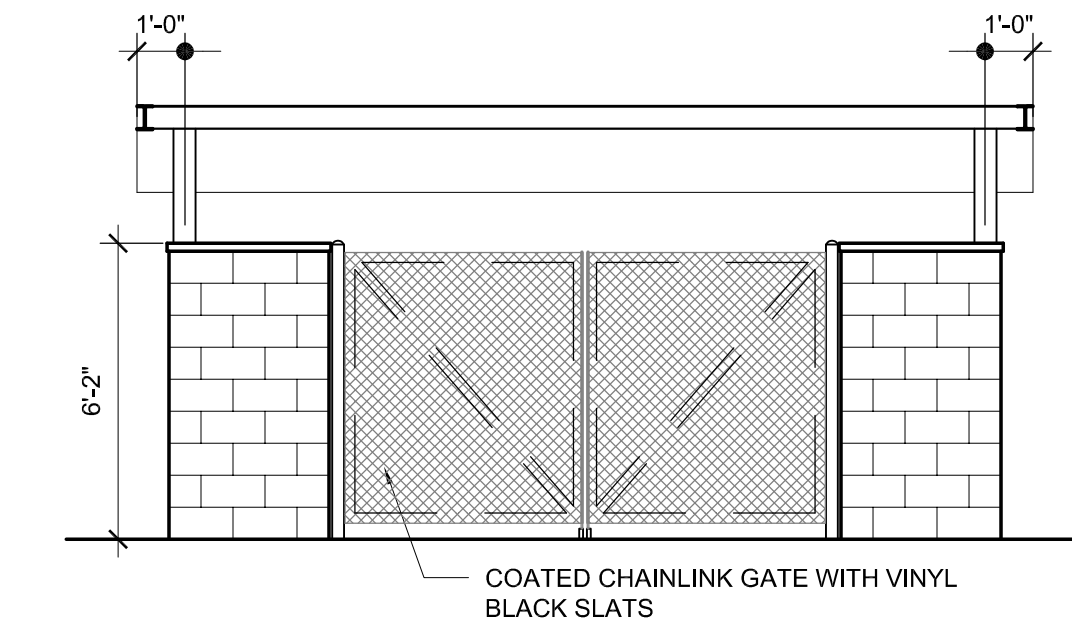
4 TRASH ENCLOSURE SECTION  
A002 1/4"=1'-0"



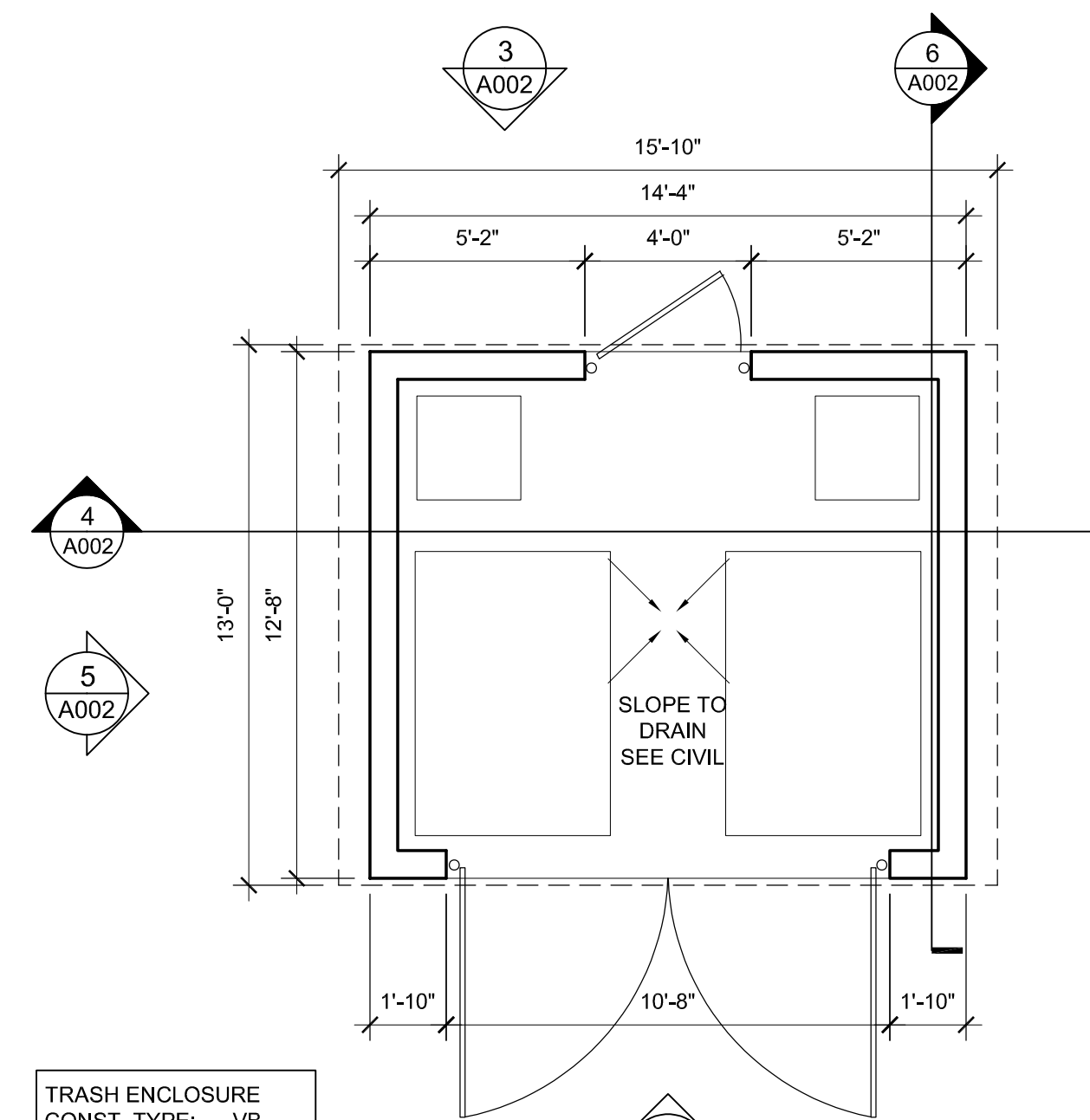
5 SIDE ELEVATION  
A002 1/4"=1'-0"



3 BACK ELEVATION  
A002 1/4"=1'-0"



2 FRONT ELEVATION  
A002 1/4"=1'-0"



TRASH ENCLOSURE  
CONST. TYPE: VB  
OCCUPANCY: U  
OCC. LOAD: 1

1 TRASH ENCLOSURE PLAN  
A002 1/4"=1'-0"

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Revision Summary	
Revision Number	Revision Date

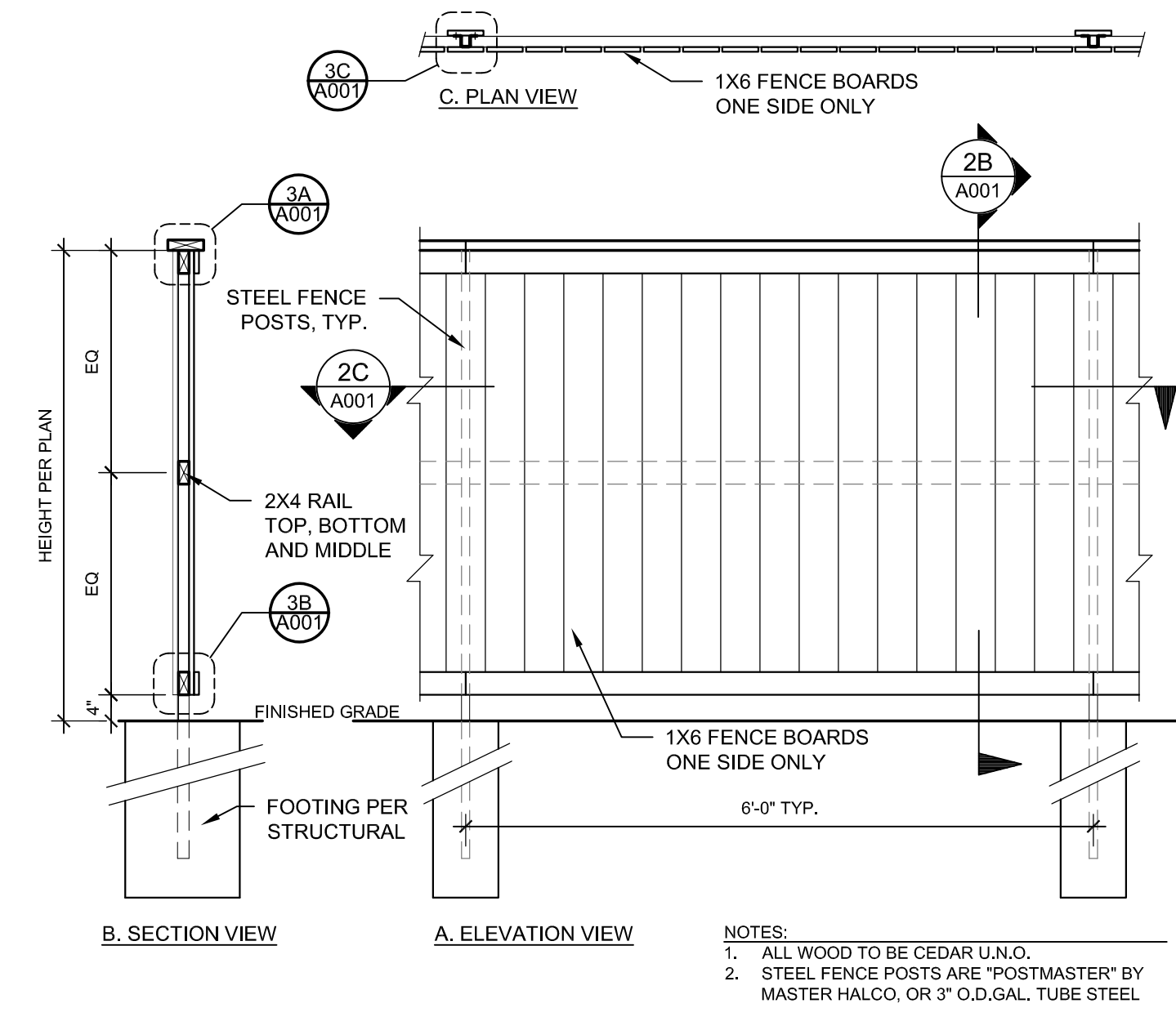
**ELM PARK, FLORENCE**  
10TH STREET & GREENWOOD AVENUE  
FLORENCE, OREGON 97439  
**OUR COASTAL VILLAGE**

**SITE DETAILS**  
TRASH ENCLOSURE,  
GREEN HOUSE

date 10-31-2024  
file 2420\_A002  
d.b. LWL

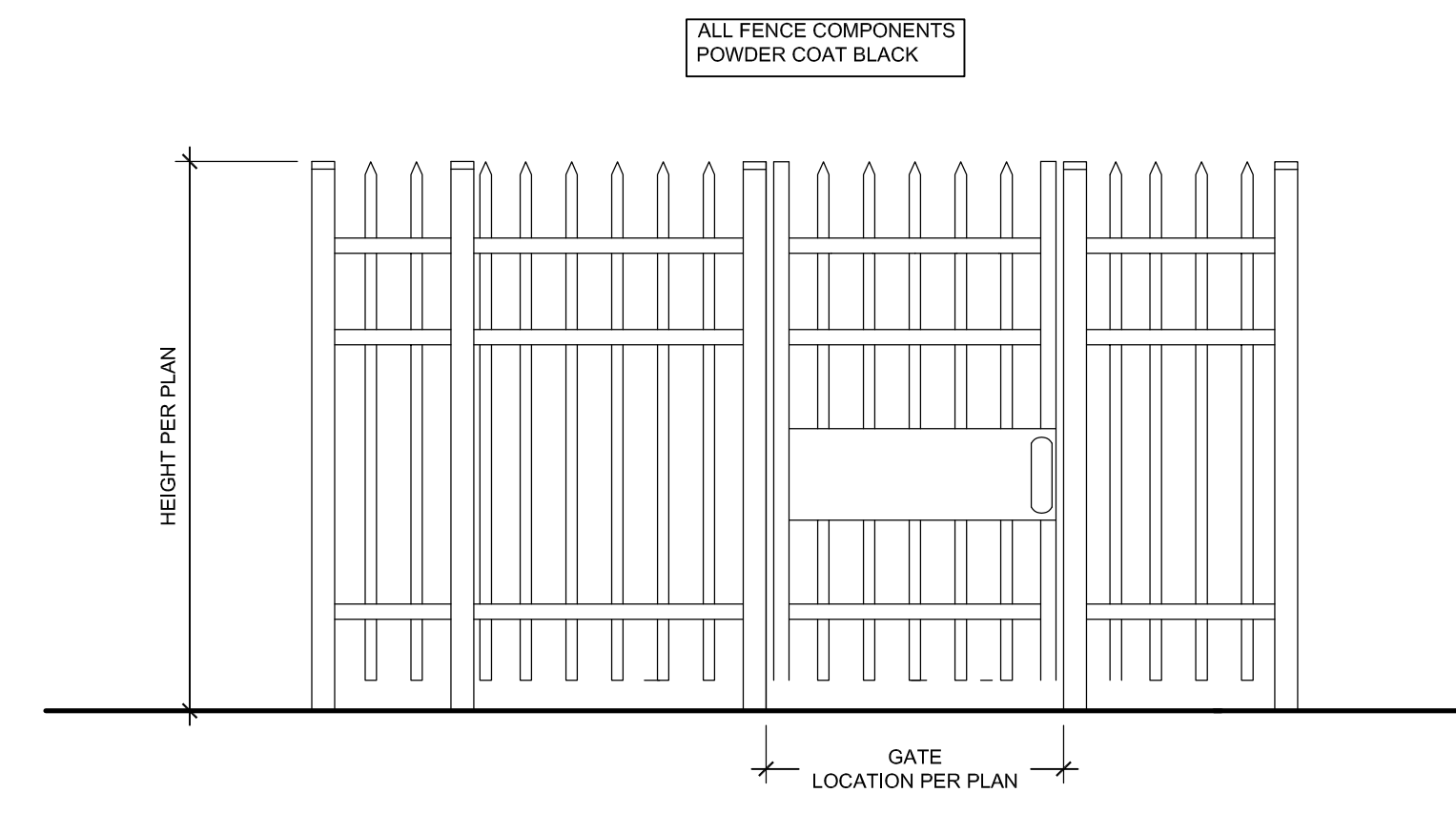
**A002**



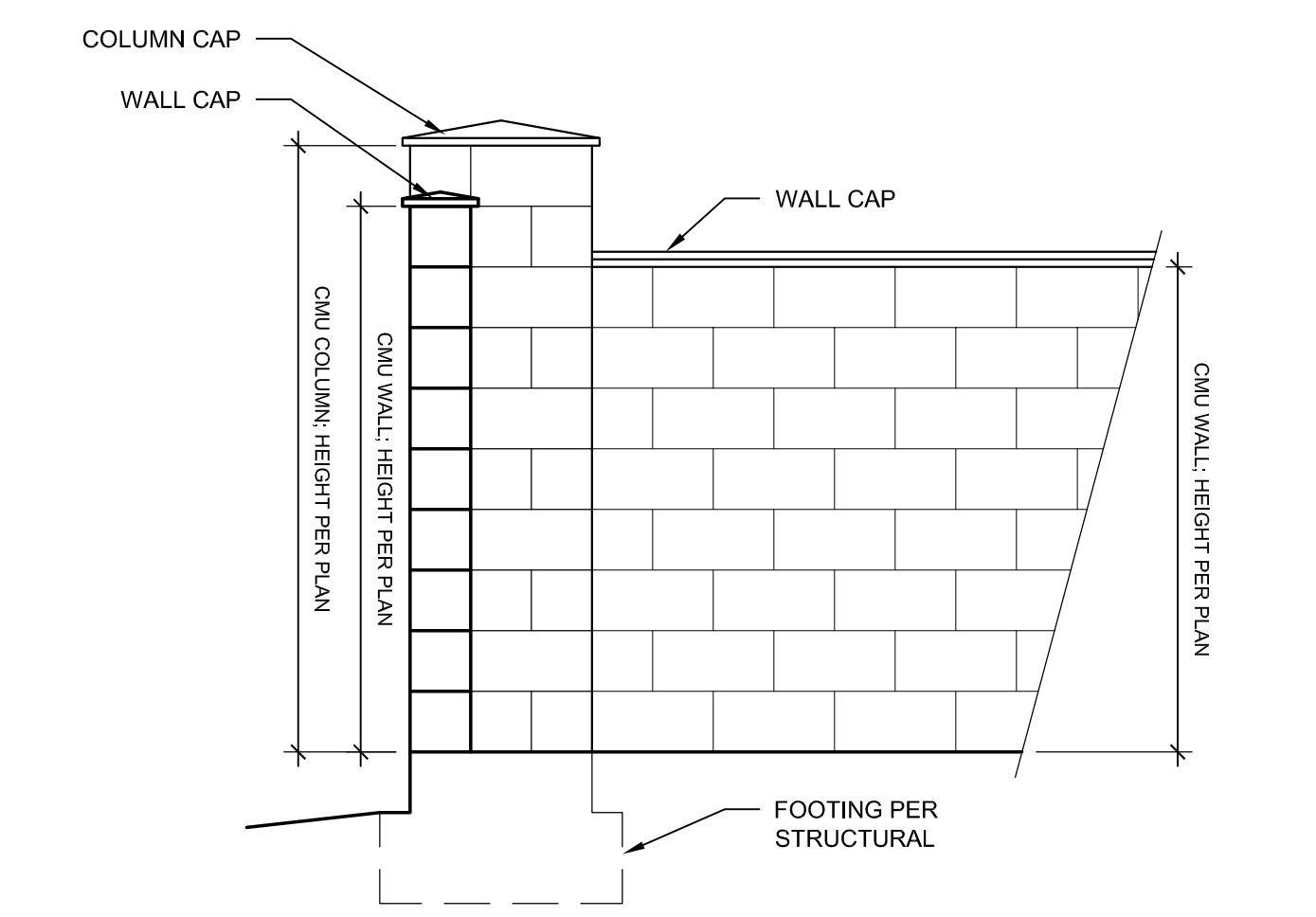


NOTES:  
 1. ALL WOOD TO BE CEDAR U.N.D.  
 2. STEEL FENCE POSTS ARE "POSTMASTER" BY MASTER HALCO, OR 3" O.D.GAL. TUBE STEEL

**3 WOOD FENCE - ALTERNATE**  
 1/2"=1'-0"



**2 STEEL FENCE - ALTERNATE**  
 Scale: 1/2"=1'-0"



**1 CMU FENCING**  
 1/2"=1'-0"

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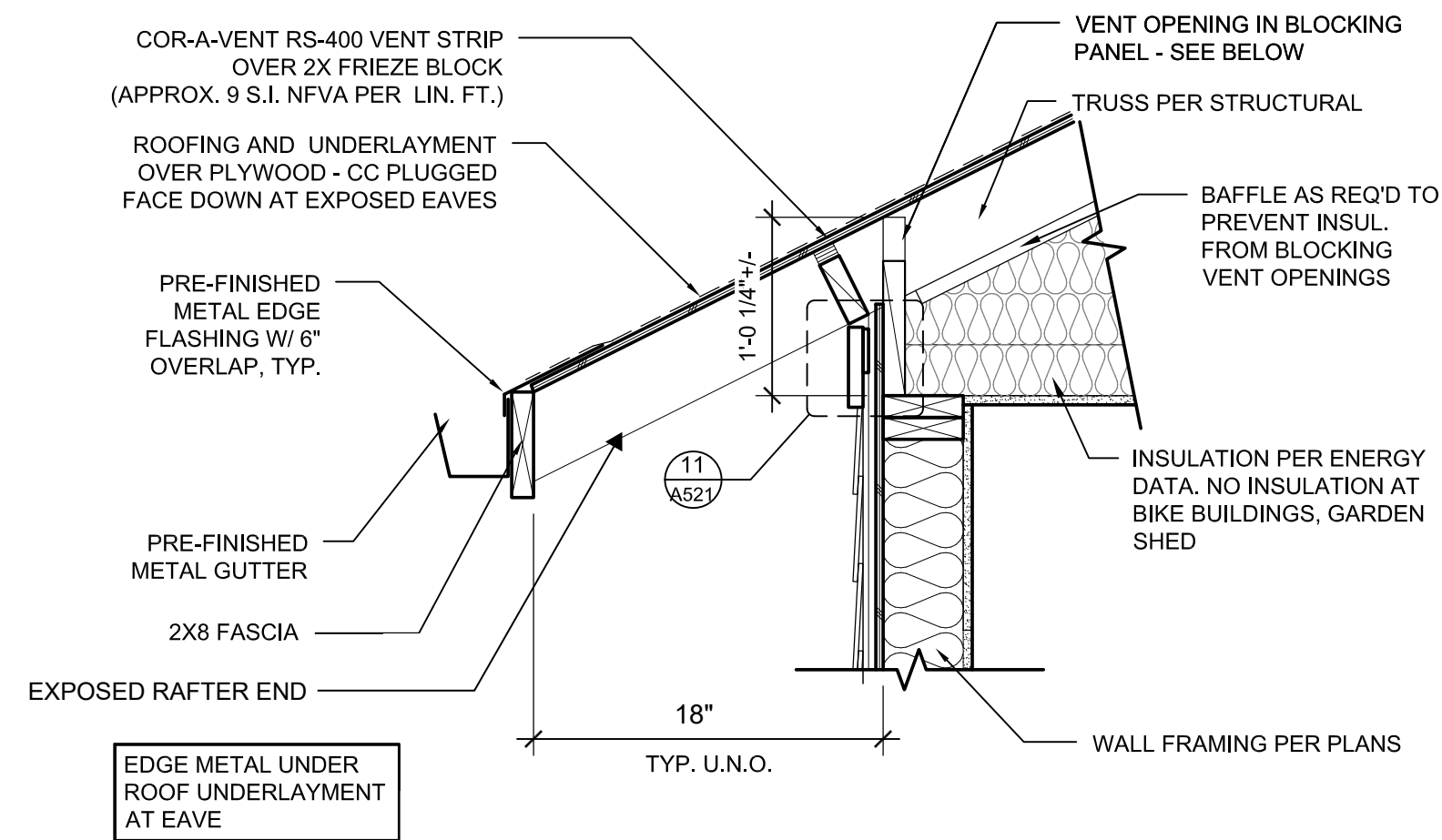
Revision Summary	
Revision Number	Revision Date

**ELM PARK, FLORENCE**  
 10TH STREET & GREENWOOD AVENUE  
 FLORENCE, OREGON 97439  
**OUR COASTAL VILLAGE**

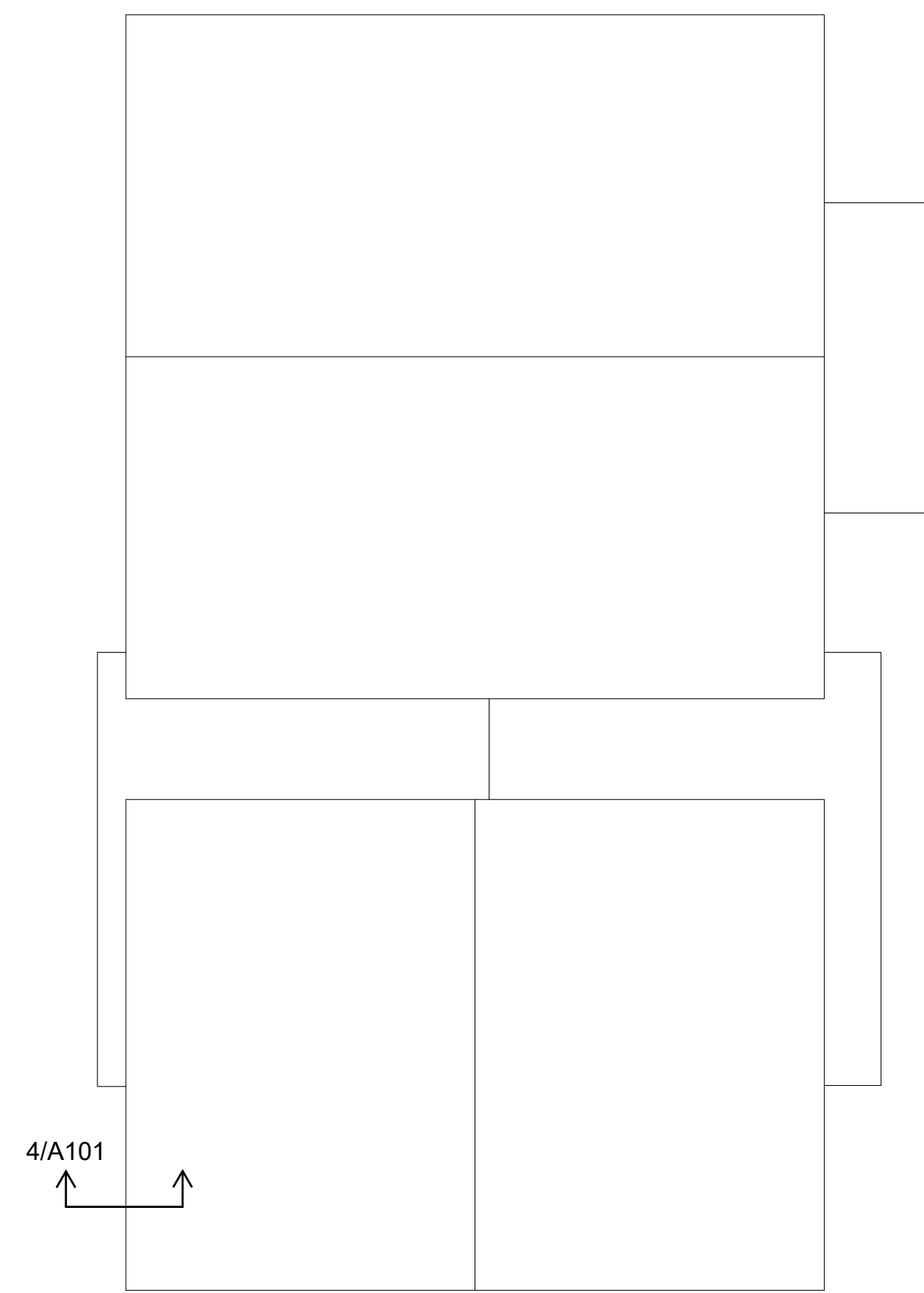
**SITE DETAILS**  
**FENCING**

date 10-31-2024  
 file 2420\_A002  
 d.b. LWL

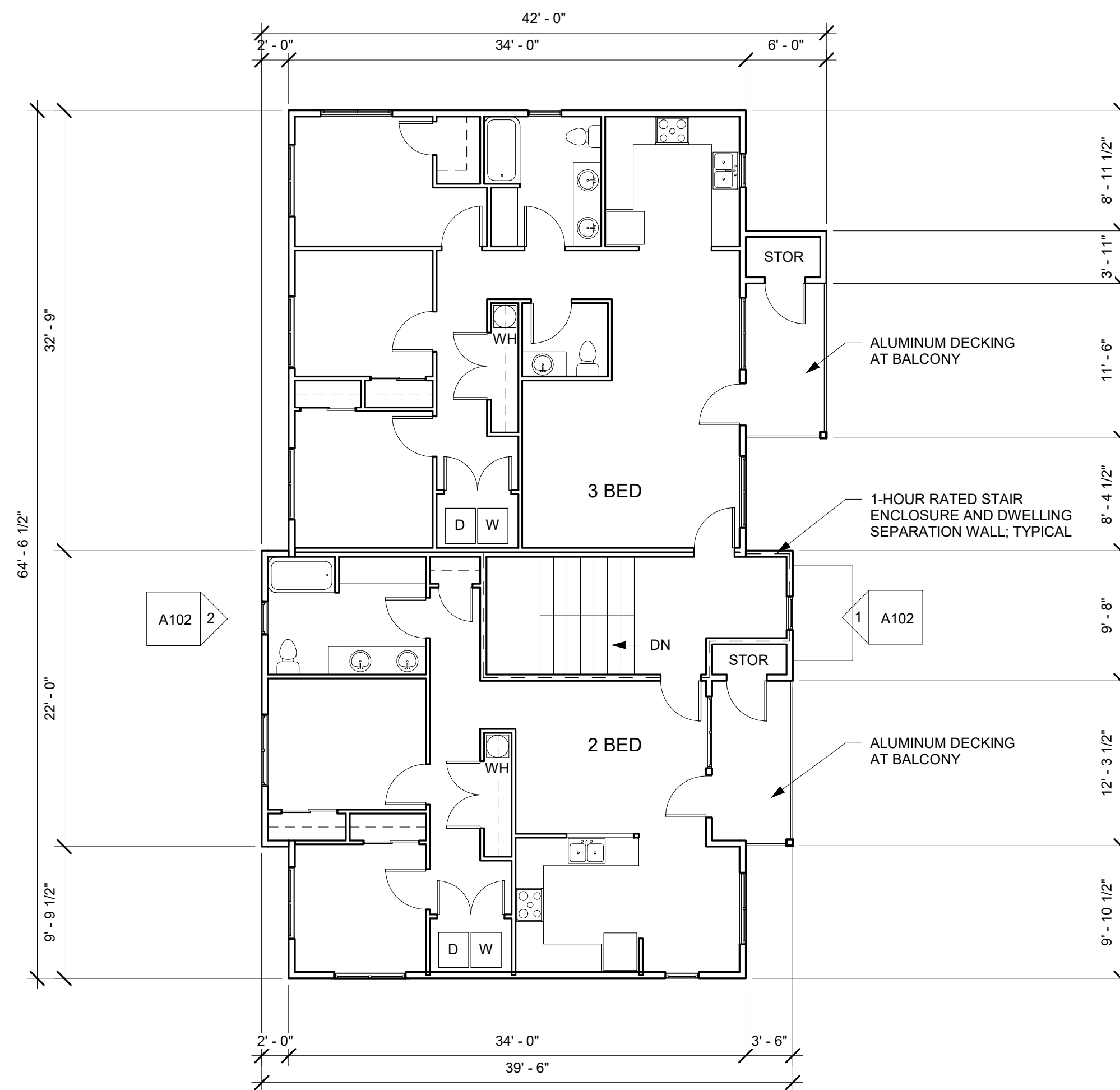
**A003**



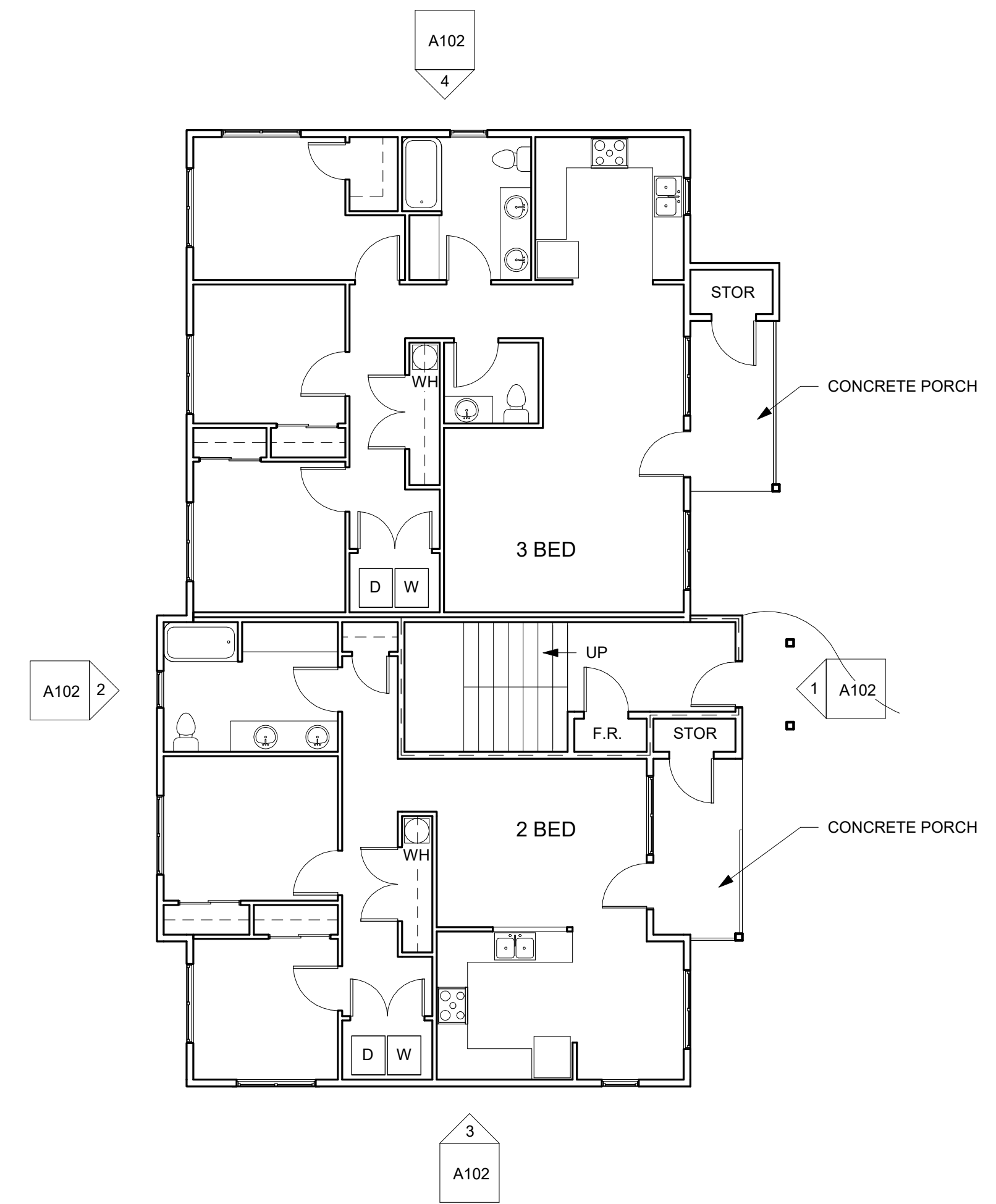
4 TYP. EAVE AT RAISED HEEL TRUSS  
1"=1'-0"



3 BUILDING A - ROOF PLAN  
1/8" = 1'-0"



2 BUILDING A - LEVEL 2  
1/8" = 1'-0"



1 BUILDING A - LEVEL 1  
1/8" = 1'-0"

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Revision Summary	
Revision Number	Revision Date






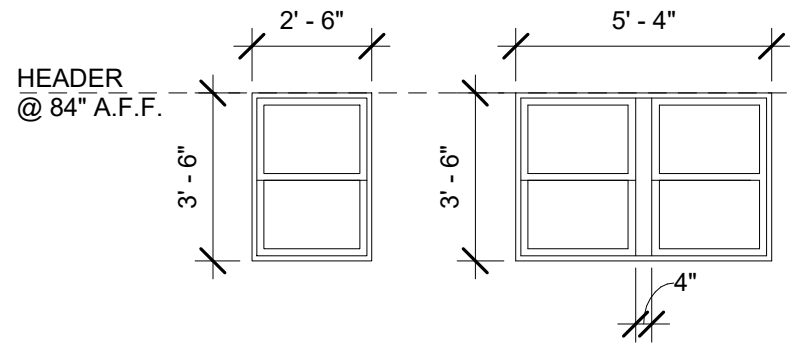
**ELM PARK, FLORENCE**  
10TH STREET & GREENWOOD AVENUE  
FLORENCE, OREGON 97439  
OUR COASTAL VILLAGE

BUILDING A PLANS

date 10-31-2024  
file 2420  
d.b. LWL

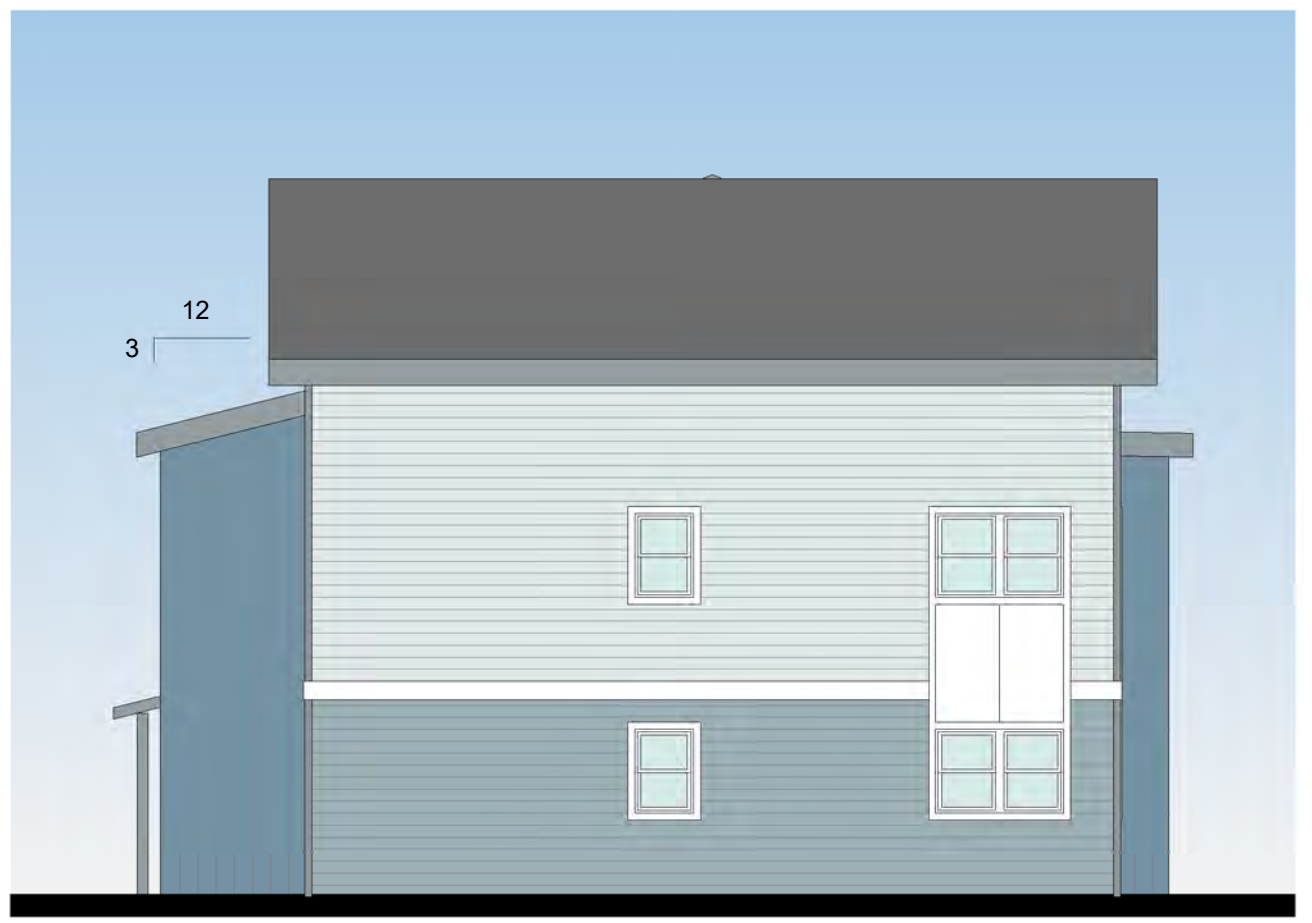
A101



ELEVATION LEGEND		
<b>FIBER CEMENT SIDING AT BUILDINGS A &amp; C</b>		<b>ROOF, TRIM &amp; MISCELLANEOUS MATERIALS AT ALL BUILDINGS</b>
FIBER CEMENT PANEL WITH VERTICAL BATTEN BOARDS @ 8" O.C. AT ALL STAIR ENTRIES FROM COURTYARDS & AT ALL 24" BREAKS IN WALL PLANE ALONG STREET FACADES COLOR: SW 9058 SECRET COVE		ROOF: COMPOSITE SHINGLES 18" OVERHANG TYPICAL @ GABLE ROOF 12" OVERHANG TYPICAL @ SHED ROOF OVER BALCONIES COLOR: ESTATE GRAY
FIBER CEMENT LAP SIDING W/ 6" EXPOSURE ABOVE BELLY BAND AT ALL BUILDINGS COLOR: SW 7662 EVENING SHADOW		FASICA AT ROOF & BALCONIES PORCH / BALCONY POSTS: 6" x 6", TYPICAL
FIBER CEMENT LAP SIDING W/ 6" EXPOSURE BELOW BELLY BAND AT ALL BUILDINGS COLOR: SW 6234 UNCERTAIN GRAY		FIBER CEMENT CORNER TRIM: 3 1/2" WIDTH COATED METAL 5" GUTTERS & 2" x 3" DOWNSPOUTS COLOR: SW 7664 STEELY GRAY
FIBER CEMENT LAP SIDING W/ 6" EXPOSURE ABOVE BELLY BAND AT BUILDINGS A & C COLOR: SW 6224 MOUNTAIN AIR		FIBER CEMENT VERTICAL PANEL BETWEEN 5'-4" WIDE WINDOWS FIBER CEMENT WINDOW & DOOR TRIM: 3 1/2" WIDTH
FIBER CEMENT LAP SIDING W/ 6" EXPOSURE BELOW BELLY BAND AT BUILDINGS A & C COLOR: SW 6227 MEDITATIVE		FIBER CEMENT BELLY BAND: 9 1/4" WIDTH COLOR: SW 7005 PURE WHITE
		DOORS: INSULATED FIBERGLASS 36" x 84"; TYPICAL COLOR: WHITE
		WINDOWS: VINYL TYPICAL SIZES SHOWN BELOW COLOR: WHITE
		

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Revision Summary	
Revision Number	Revision Date

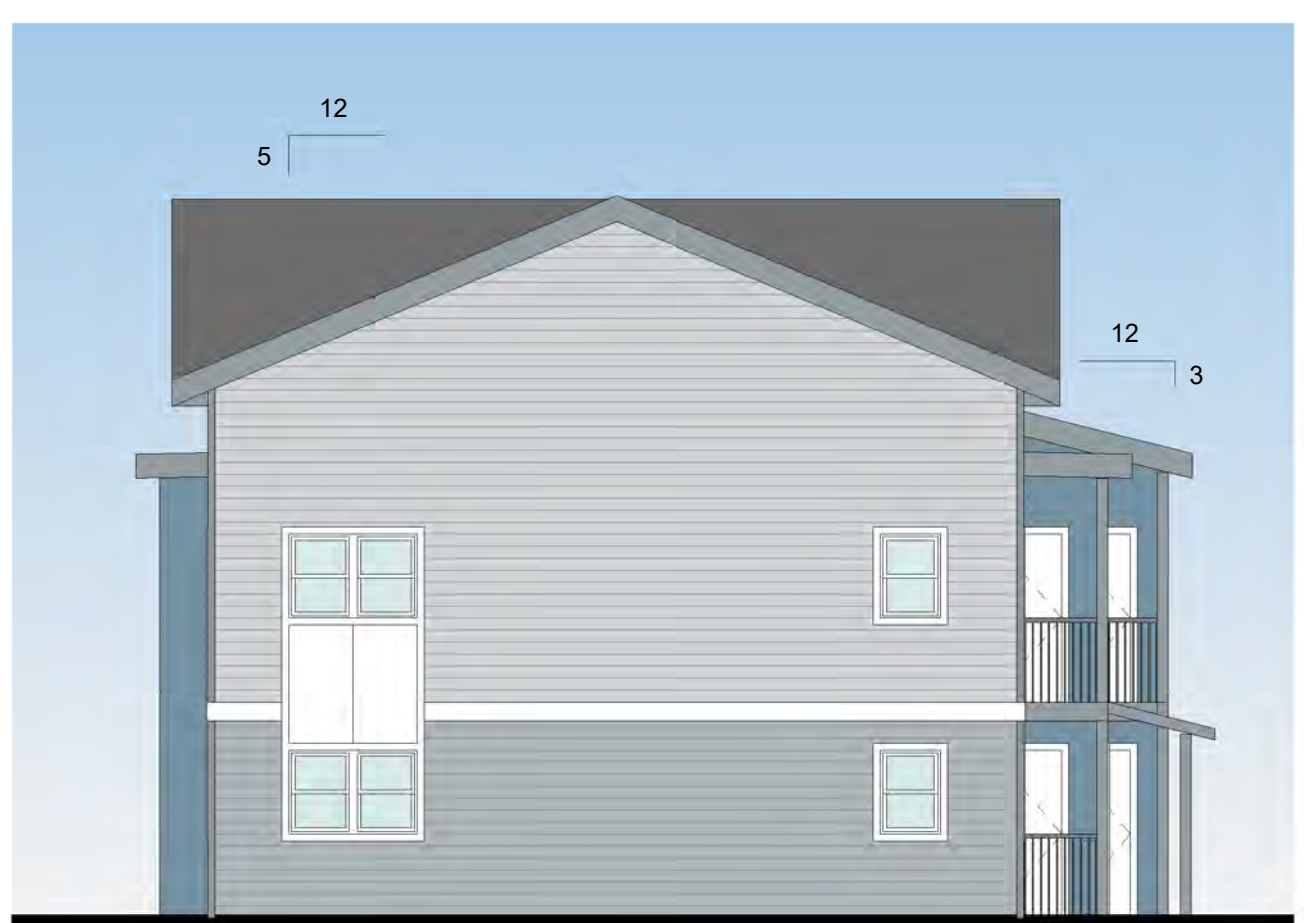


**BUILDING A - NORTH ELEVATION (FROM 11TH STREET)**  
1/8" = 1'-0"



**BUILDING A - WEST ELEVATION (FROM FIR STREET)**  
1/8" = 1'-0"

- T/ RIDGE (A&C) 30' - 1 1/2"
- TOP PLATE (A&C) 18' - 4"
- LEVEL 2 9' - 0"
- LEVEL 1 0' - 0"



**BUILDING A - SOUTH ELEVATION (FROM ALLEY)**  
1/8" = 1'-0"



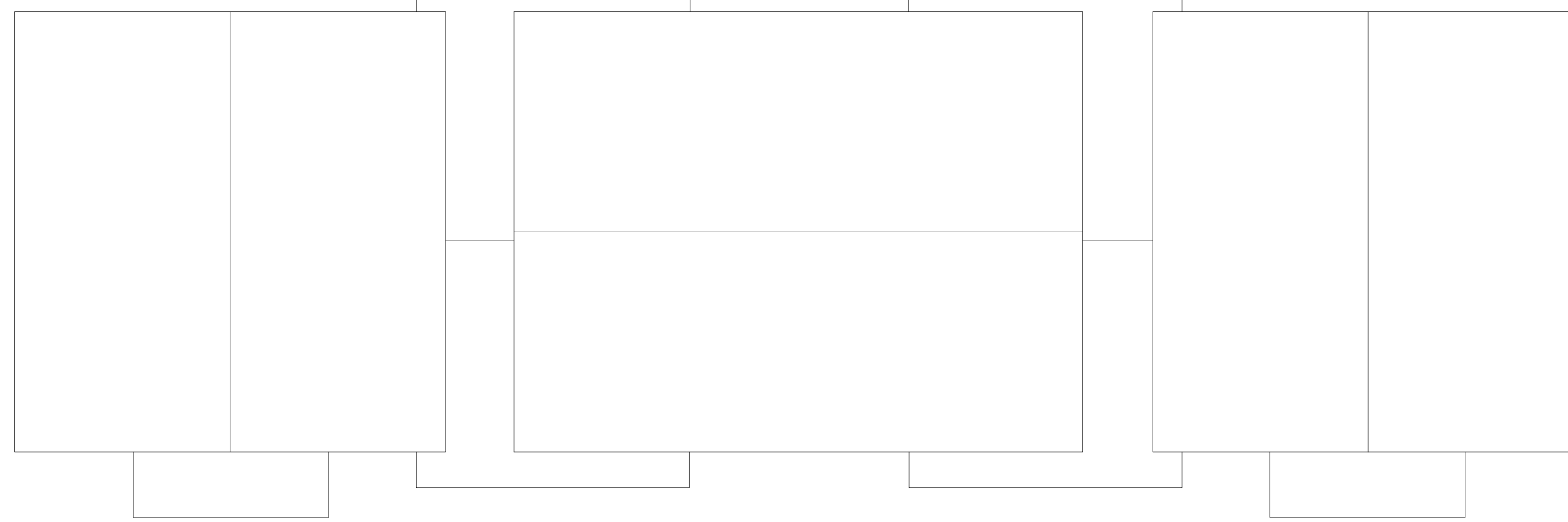
**BUILDING A - EAST ELEVATION (FROM COURTYARD)**  
1/8" = 1'-0"

- T/ RIDGE (A&C) 30' - 1 1/2"
- TOP PLATE (A&C) 18' - 4"
- LEVEL 2 9' - 0"
- LEVEL 1 0' - 0"

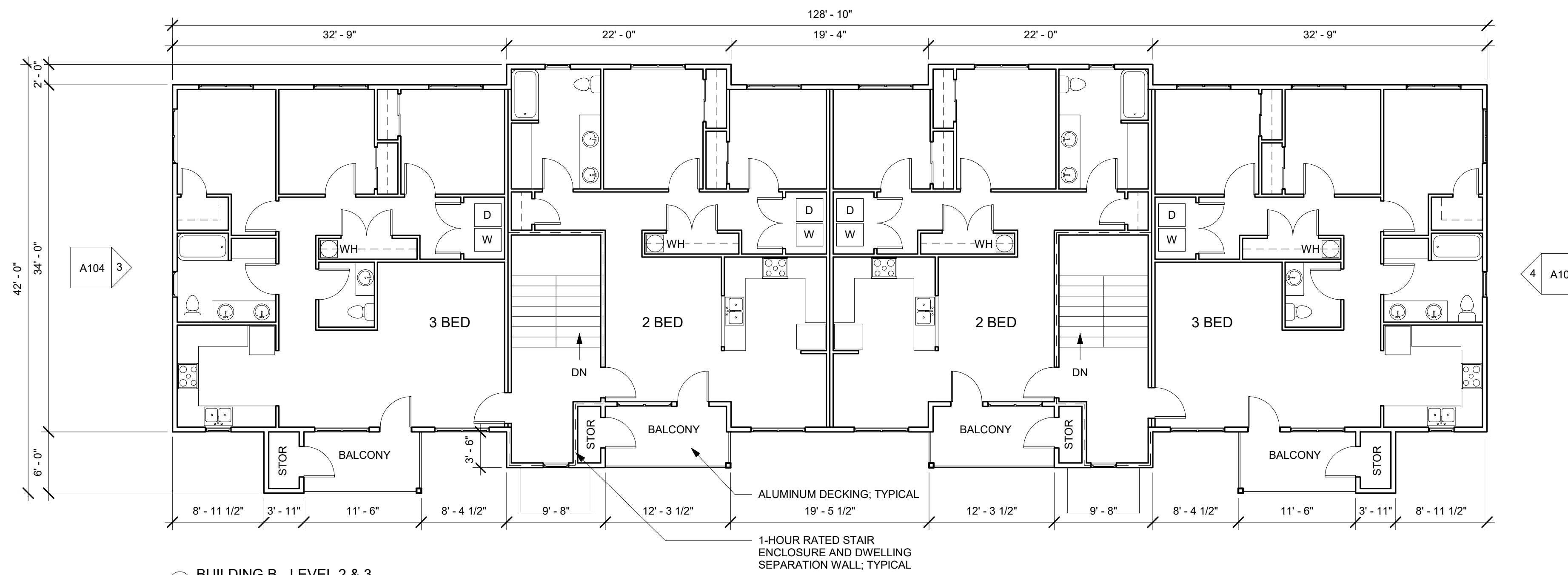
**ELM PARK, FLORENCE**  
10TH STREET & GREENWOOD AVENUE  
FLORENCE, OREGON 97439  
OUR COASTAL VILLAGE

**BUILDING A ELEVATIONS**

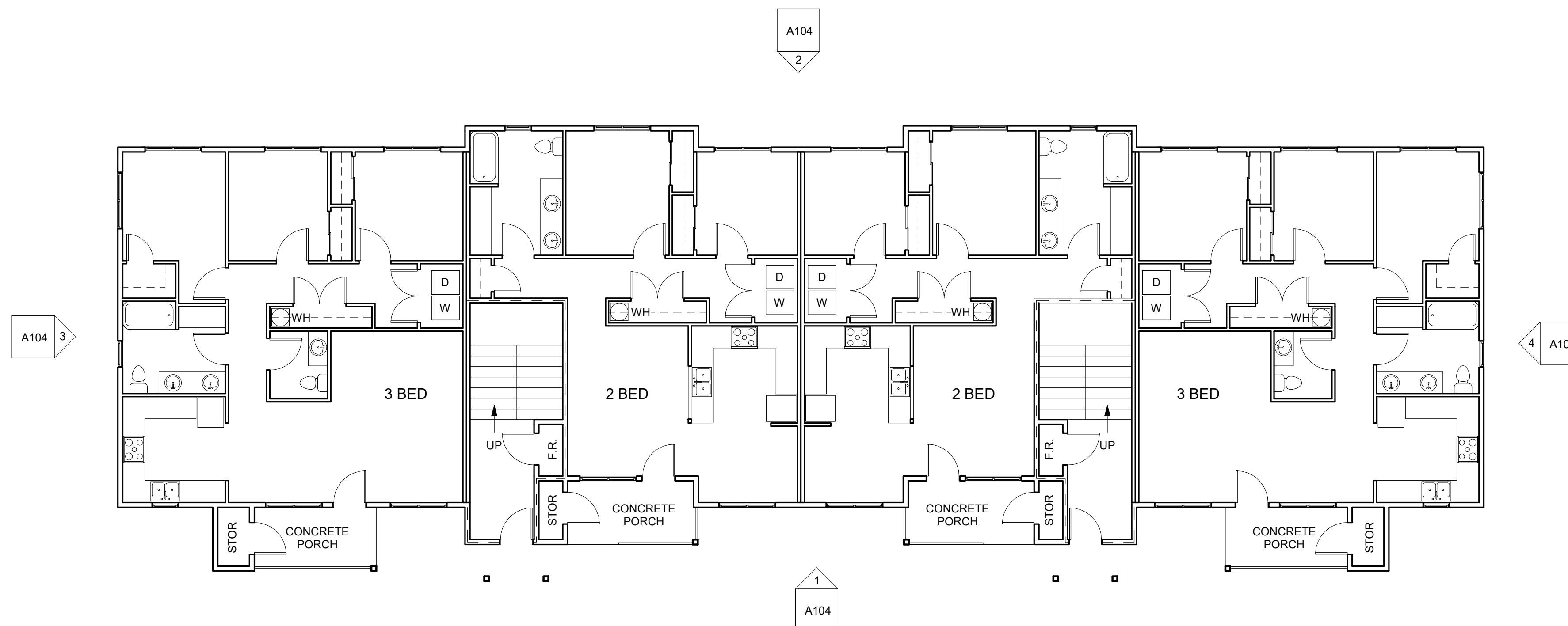
date 10-31-2024  
file 2420  
d.b. LWL



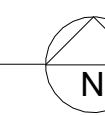
3 BUILDING B - ROOF PLAN  
1/8" = 1'-0"



2 BUILDING B - LEVEL 2 & 3  
1/8" = 1'-0"



1 BUILDING B - LEVEL 1  
1/8" = 1'-0"



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Revision Summary	
Revision Number	Revision Date






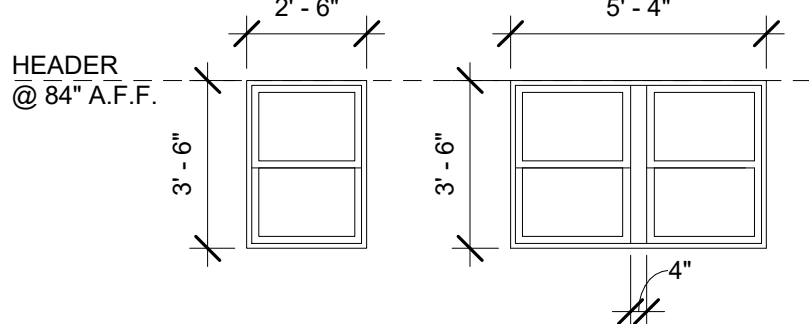
**ELM PARK, FLORENCE**  
10TH STREET & GREENWOOD AVENUE  
FLORENCE, OREGON 97439  
OUR COASTAL VILLAGE

BUILDING B PLANS

date 10-31-2024  
file 2420  
d.b. LWL

**A103**



ELEVATION LEGEND		
<b>FIBER CEMENT SIDING AT BUILDING B</b>		<b>ROOF, TRIM &amp; MISCELLANEOUS MATERIALS AT ALL BUILDINGS</b>
FIBER CEMENT PANEL WITH VERTICAL BATTEN BOARDS @ 8" O.C. AT ALL STAIR ENTRIES FROM COURTYARDS & AT ALL 24" BREAKS IN WALL PLANE ALONG STREET FACADES COLOR: SW 9058 SECRET COVE		ROOF: COMPOSITE SHINGLES 18" OVERHANG TYPICAL @ GABLE ROOF 12" OVERHANG TYPICAL @ SHED ROOF OVER BALCONIES COLOR: ESTATE GRAY
FIBER CEMENT LAP SIDING W/ 6" EXPOSURE ABOVE BELLY BAND AT ALL BUILDINGS COLOR: SW 7662 EVENING SHADOW		FASICA AT ROOF & BALCONIES PORCH / BALCONY POSTS: 6" x 6", TYPICAL
FIBER CEMENT LAP SIDING W/ 6" EXPOSURE BELOW BELLY BAND AT ALL BUILDINGS COLOR: SW 6234 UNCERTAIN GRAY		FIBER CEMENT CORNER TRIM: 3 1/2" WIDTH COATED METAL 5" GUTTERS & 2" x 3" DOWNSPOUTS COLOR: SW 7664 STEELY GRAY
FIBER CEMENT LAP SIDING W/ 6" EXPOSURE ABOVE BELLY BAND AT BUILDING B COLOR: SW 7517 RIVERS EDGE		FIBER CEMENT VERTICAL PANEL BETWEEN 5'-4" WIDE WINDOWS FIBER CEMENT WINDOW & DOOR TRIM: 3 1/2" WIDTH
FIBER CEMENT LAP SIDING W/ 6" EXPOSURE BELOW BELLY BAND AT BUILDING B COLOR: SW 6079 DIVERSE BEIGE		FIBER CEMENT BELLY BAND: 9 1/4" WIDTH COLOR: SW 7005 PURE WHITE
		DOORS: INSULATED FIBERGLASS 36" x 84"; TYPICAL COLOR: WHITE
		WINDOWS: VINYL TYPICAL SIZES SHOWN BELOW COLOR: WHITE
		

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Revision Summary	
Revision Number	Revision Date

**ELM PARK, FLORENCE**  
10TH STREET & GREENWOOD AVENUE  
FLORENCE, OREGON 97439  
OUR COASTAL VILLAGE

**BUILDING B ELEVATIONS**

date 10-31-2024  
file 2420  
d.b. LWL

**A104**



4 BUILDING B - EAST ELEVATION  
1/8" = 1'-0"



BUILDING B - NORTH ELEVATION (FROM 11TH STREET)  
1/8" = 1'-0"



3 BUILDING B - WEST ELEVATION  
1/8" = 1'-0"



BUILDING B - SOUTH ELEVATION (FROM COURTYARD)  
1/8" = 1'-0"



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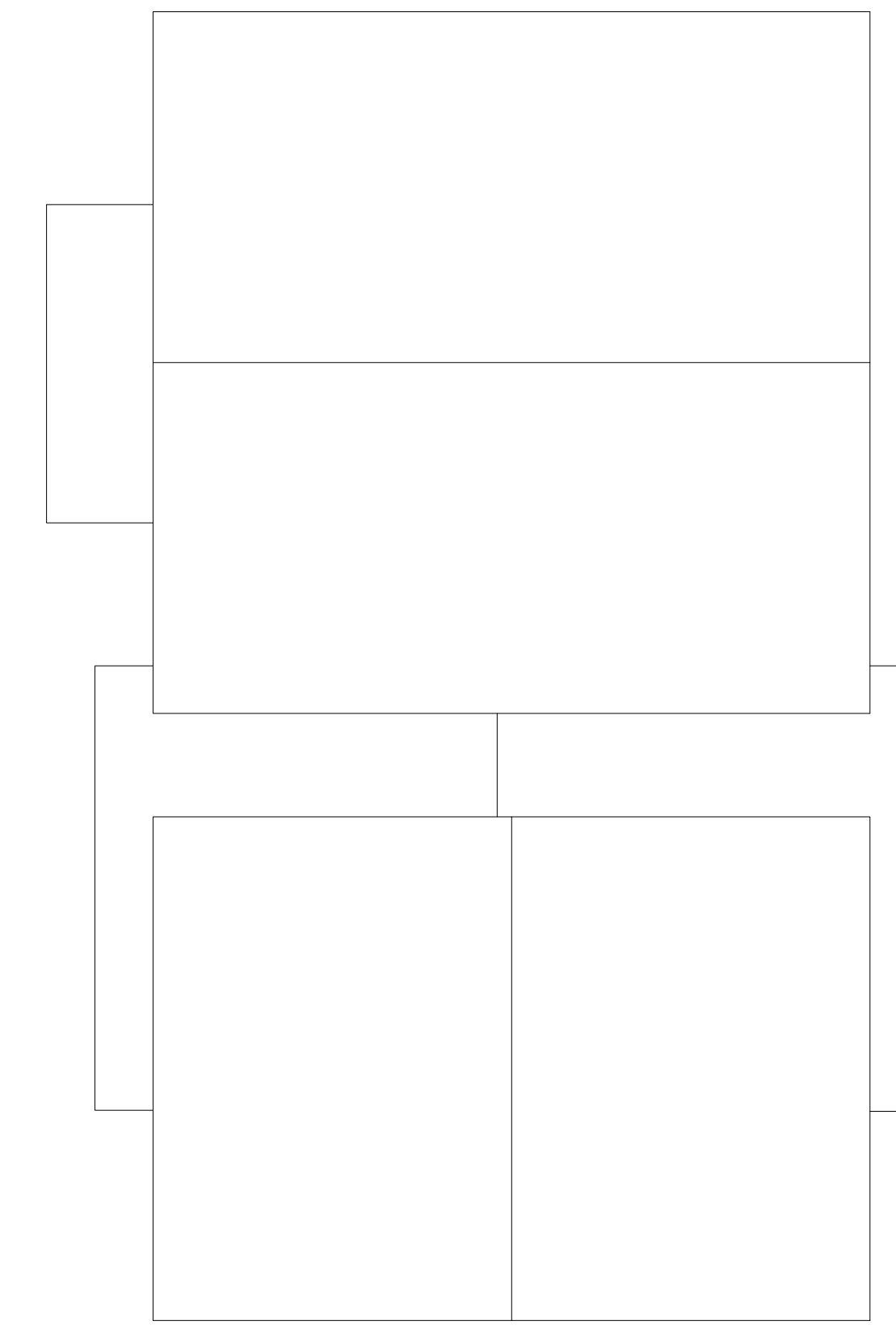
Revision Summary	
Revision Number	Revision Date

**ELM PARK, FLORENCE**  
 10TH STREET & GREENWOOD AVENUE  
 FLORENCE, OREGON 97439  
 OUR COASTAL VILLAGE

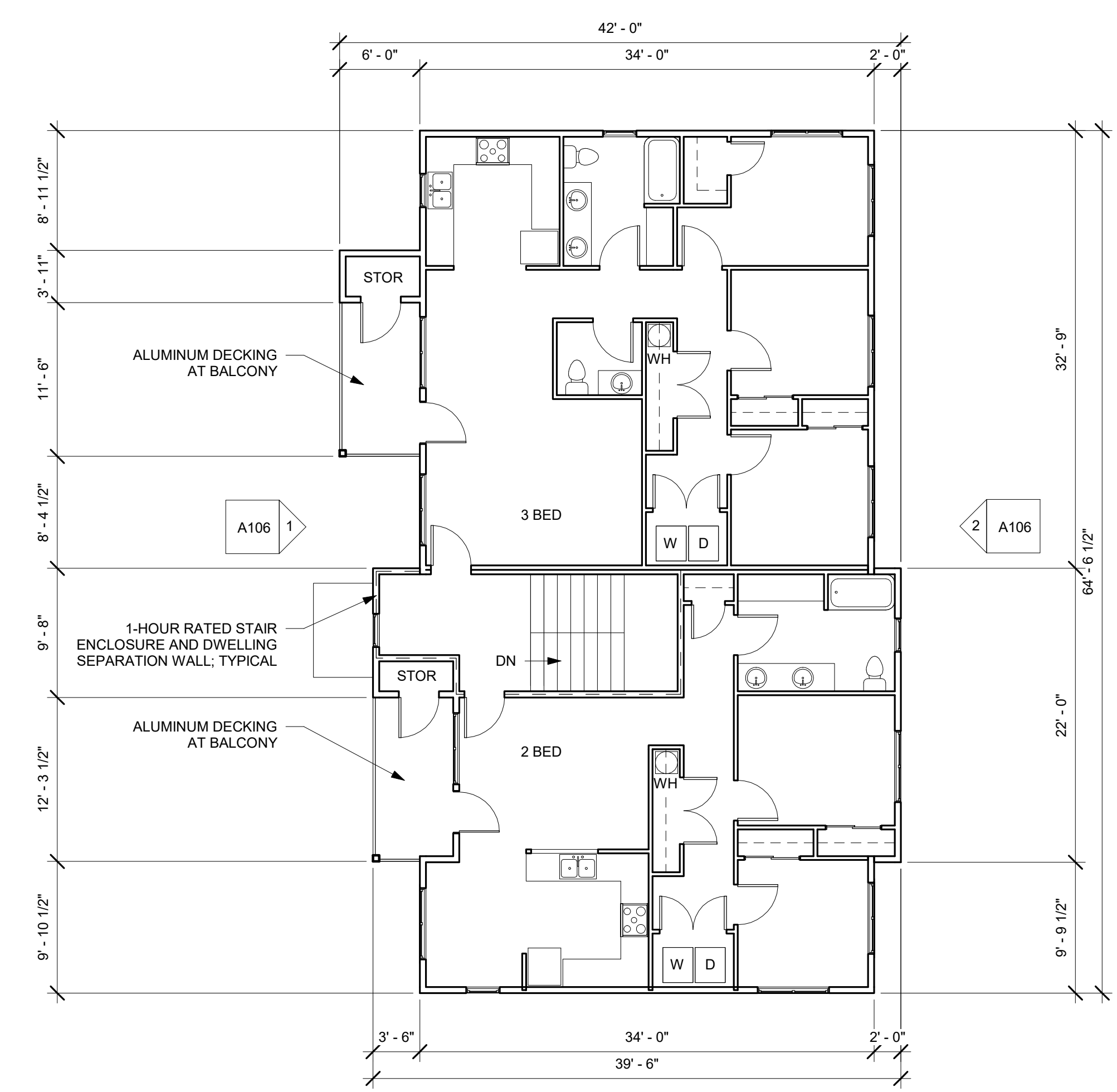
BUILDING C PLANS

date 10-31-2024  
 file 2420  
 d.b. LWL

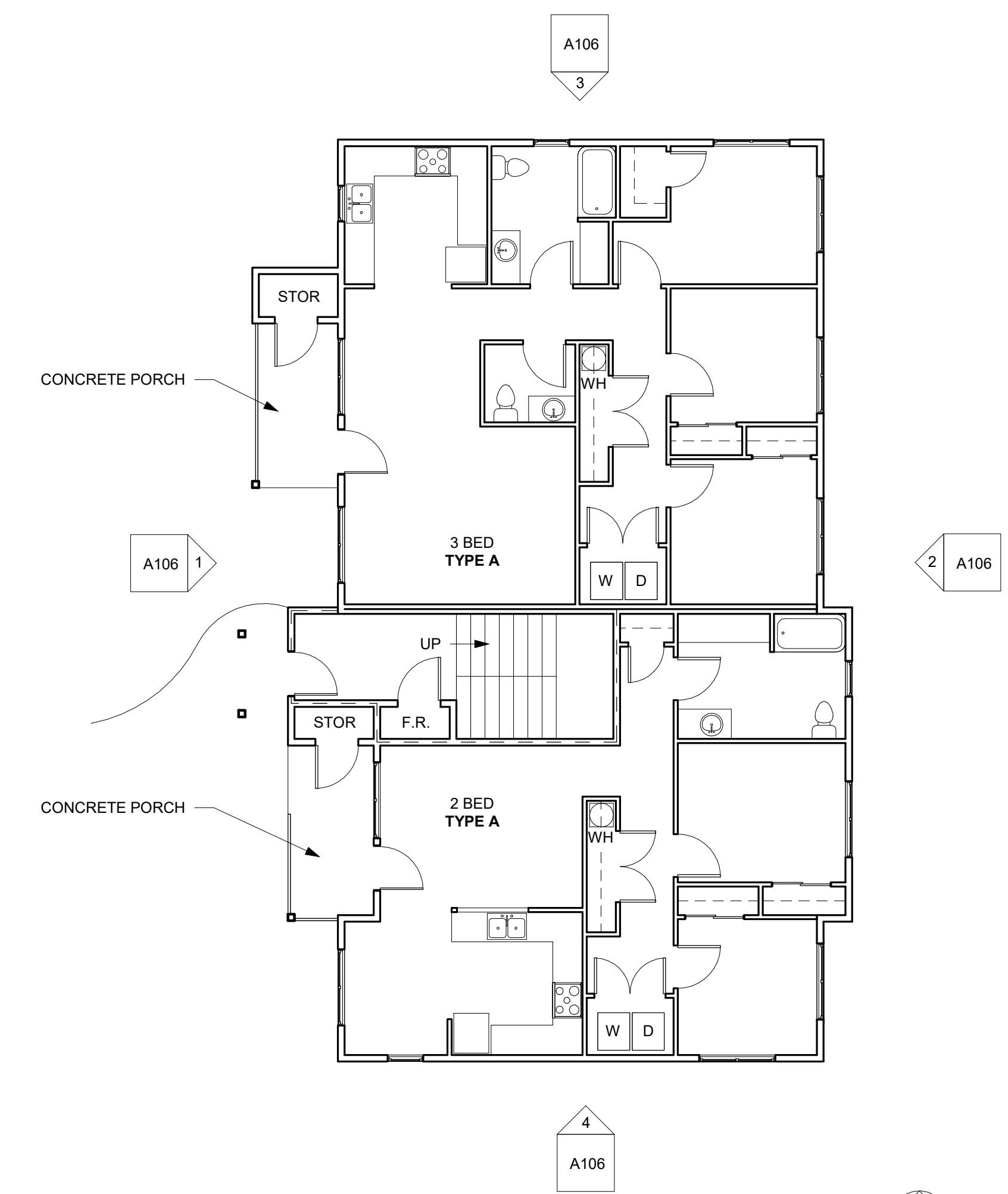
**A105**



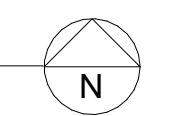
3 BUILDING C - ROOF PLAN  
 1/8" = 1'-0"



2 BUILDING C - LEVEL 2  
 1/8" = 1'-0"



1 BUILDING C - LEVEL 1  
 1/8" = 1'-0"



ELEVATION LEGEND		
<b>FIBER CEMENT SIDING AT BUILDINGS A &amp; C</b>	<b>ROOF, TRIM &amp; MISCELLANEOUS MATERIALS AT ALL BUILDINGS</b>	
FIBER CEMENT PANEL WITH VERTICAL BATTEN BOARDS @ 8" O.C. AT ALL STAIR ENTRIES FROM COURTYARDS & AT ALL 24" BREAKS IN WALL PLANE ALONG STREET FACADES COLOR: SW 9058 SECRET COVE	ROOF: COMPOSITE SHINGLES 18" OVERHANG TYPICAL @ GABLE ROOF 12" OVERHANG TYPICAL @ SHED ROOF OVER BALCONIES COLOR: ESTATE GRAY	DOORS: INSULATED FIBERGLASS 36" x 84"; TYPICAL COLOR: WHITE
FIBER CEMENT LAP SIDING W/ 6" EXPOSURE ABOVE BELLY BAND AT ALL BUILDINGS COLOR: SW 7662 EVENING SHADOW	FASICA AT ROOF & BALCONIES PORCH / BALCONY POSTS: 6" x 6", TYPICAL FIBER CEMENT CORNER TRIM: 3 1/2" WIDTH	WINDOWS: VINYL TYPICAL SIZES SHOWN BELOW COLOR: WHITE
FIBER CEMENT LAP SIDING W/ 6" EXPOSURE BELOW BELLY BAND AT ALL BUILDINGS COLOR: SW 6234 UNCERTAIN GRAY	COATED METAL 5" GUTTERS & 2" x 3" DOWNSPOUTS COLOR: SW 7664 STEELY GRAY	
FIBER CEMENT LAP SIDING W/ 6" EXPOSURE ABOVE BELLY BAND AT BUILDINGS A & C COLOR: SW 6224 MOUNTAIN AIR	FIBER CEMENT VERTICAL PANEL BETWEEN 5'-4" WIDE WINDOWS FIBER CEMENT WINDOW & DOOR TRIM: 3 1/2" WIDTH FIBER CEMENT BELLY BAND: 9 1/4" WIDTH COLOR: SW 7005 PURE WHITE	
FIBER CEMENT LAP SIDING W/ 6" EXPOSURE BELOW BELLY BAND AT BUILDINGS A & C COLOR: SW 6227 MEDITATIVE		

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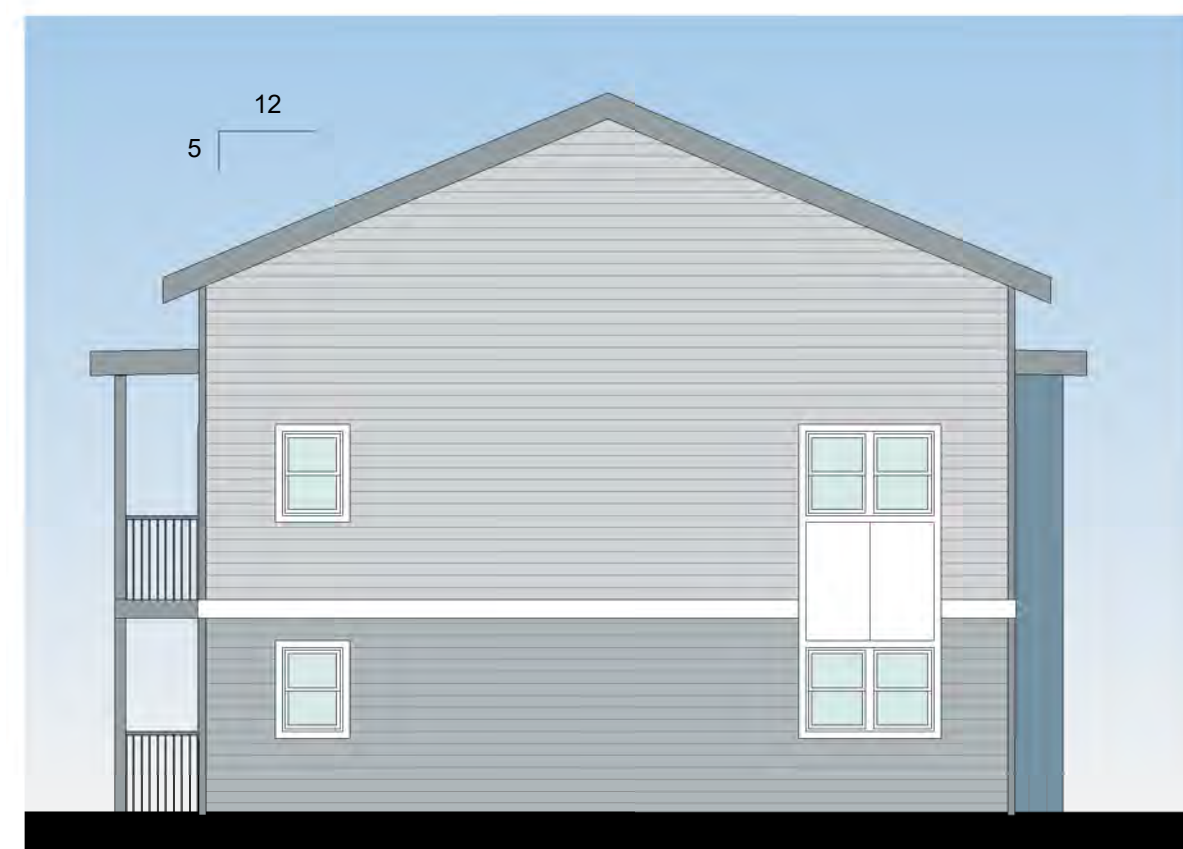
Revision Summary	
Revision Number	Revision Date

**ELM PARK, FLORENCE**  
10TH STREET & GREENWOOD AVENUE  
FLORENCE, OREGON 97439  
OUR COASTAL VILLAGE

**BUILDING C ELEVATIONS**

date 10-31-2024  
file 2420  
d.b. LWL

**A106**



④ BUILDING C - SOUTH ELEVATION (FROM ALLEY)  
1/8" = 1'-0"



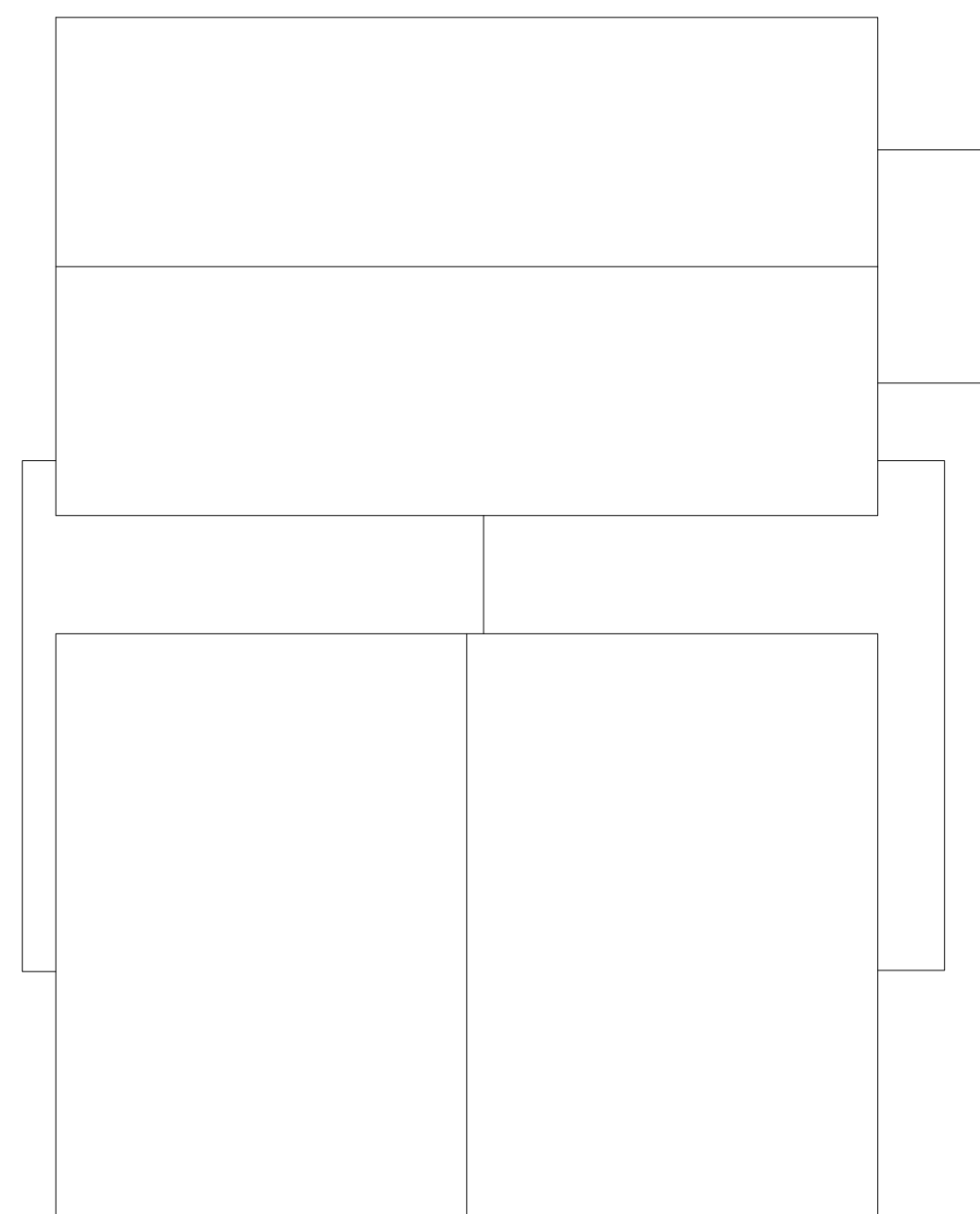
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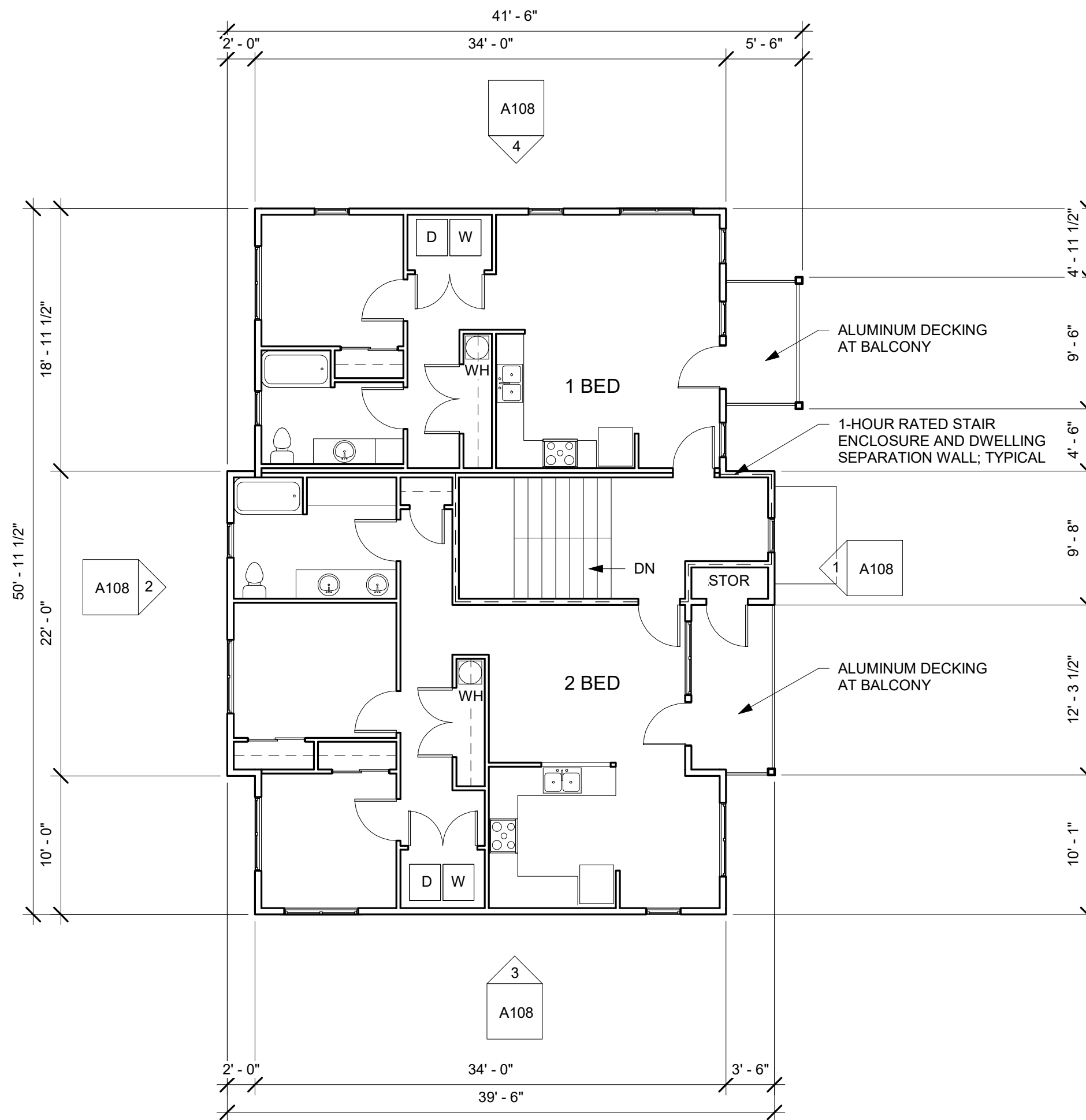
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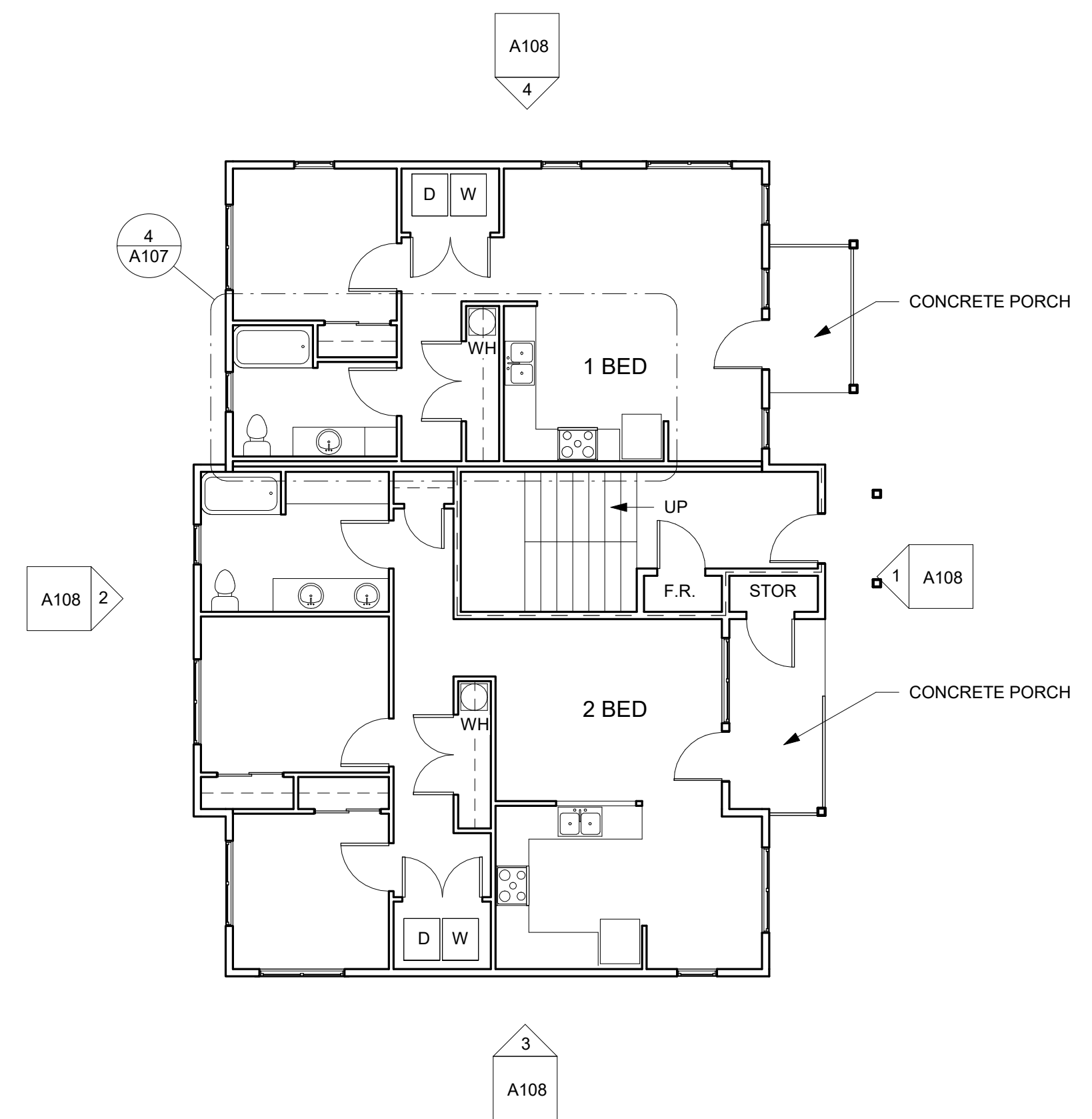
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1/8" = 1'-0"



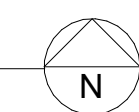
3 BUILDING D - ROOF PLAN  
1/8" = 1'-0"



2 BUILDING D - LEVEL 2 & 3  
1/8" = 1'-0"



1 BUILDING D - LEVEL 1  
1/8" = 1'-0"



Revision Summary	
Revision Number	Revision Date

**ELM PARK, FLORENCE**  
10TH STREET & GREENWOOD AVENUE  
FLORENCE, OREGON 97439  
OUR COASTAL VILLAGE






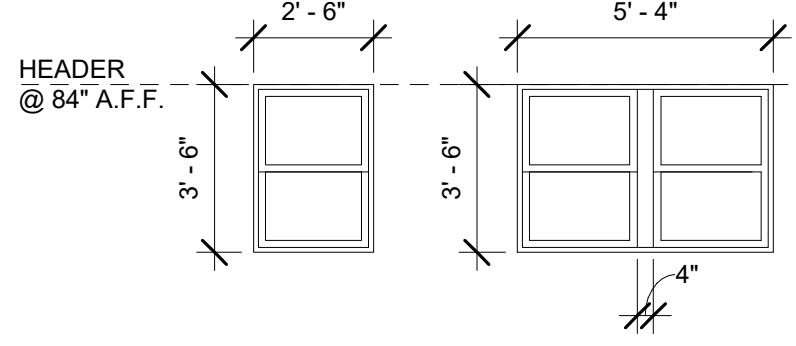
BUILDING D PLANS

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A107

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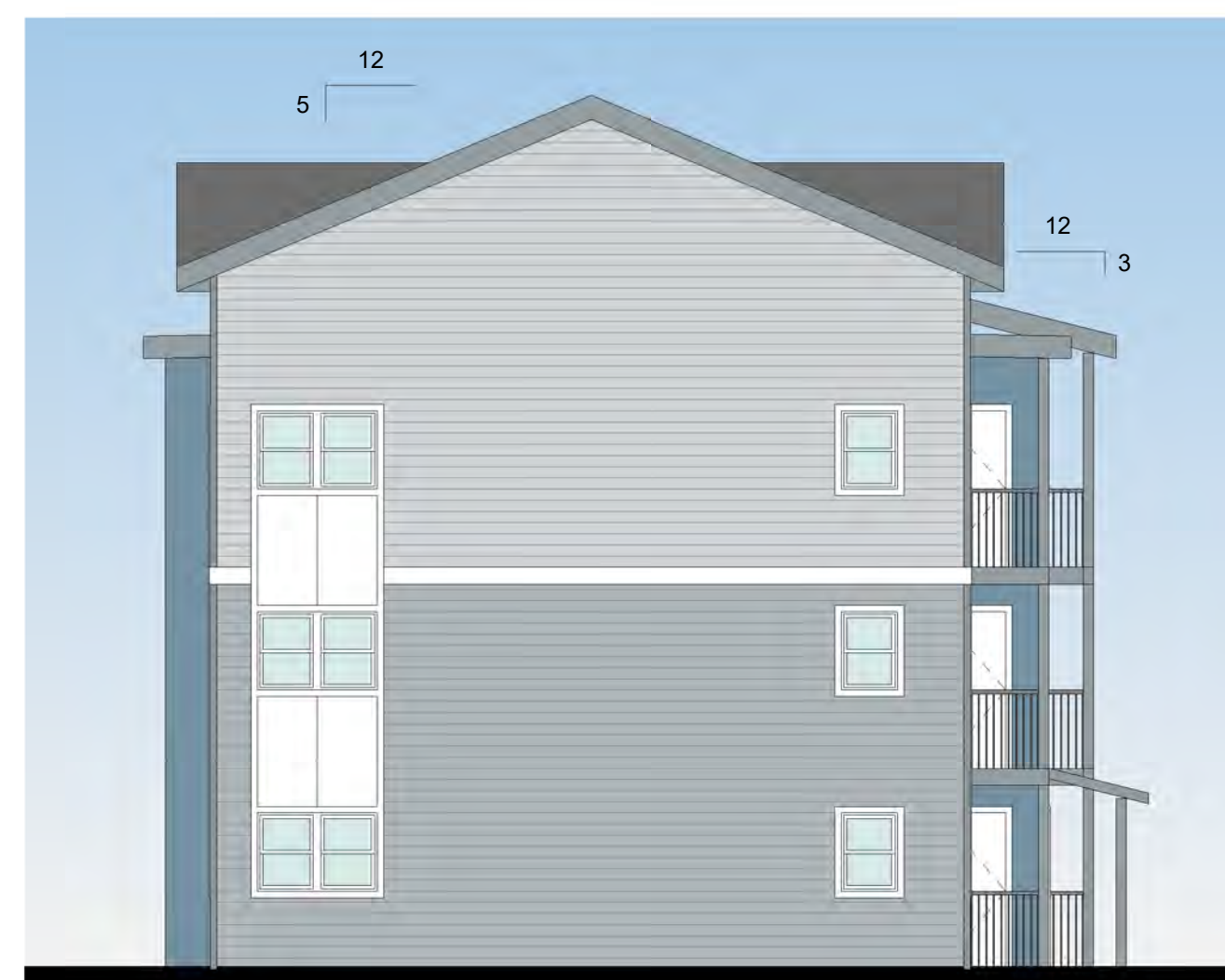


ELEVATION LEGEND		
<b>FIBER CEMENT SIDING AT BUILDINGS D &amp; E</b>		<b>ROOF, TRIM &amp; MISCELLANEOUS MATERIALS AT ALL BUILDINGS</b>
FIBER CEMENT PANEL WITH VERTICAL BATTEN BOARDS @ 8" O.C. AT ALL STAIR ENTRIES FROM COURTYARDS & AT ALL 24" BREAKS IN WALL PLANE ALONG STREET FACADES COLOR: SW 9058 SECRET COVE		ROOF: COMPOSITE SHINGLES 18" OVERHANG TYPICAL @ GABLE ROOF 12" OVERHANG TYPICAL @ SHED ROOF OVER BALCONIES COLOR: ESTATE GRAY
FIBER CEMENT LAP SIDING W/ 6" EXPOSURE ABOVE BELLY BAND AT ALL BUILDINGS COLOR: SW 7662 EVENING SHADOW		FASICA AT ROOF & BALCONIES PORCH / BALCONY POSTS: 6" x 6", TYPICAL
FIBER CEMENT LAP SIDING W/ 6" EXPOSURE BELOW BELLY BAND AT ALL BUILDINGS COLOR: SW 6234 UNCERTAIN GRAY		FIBER CEMENT CORNER TRIM: 3 1/2" WIDTH COATED METAL 5" GUTTERS & 2" x 3" DOWNSPOUTS COLOR: SW 7664 STEELY GRAY
FIBER CEMENT LAP SIDING W/ 6" EXPOSURE ABOVE BELLY BAND AT BUILDINGS D & E COLOR: SW 6206 OYSTER BAY		FIBER CEMENT VERTICAL PANEL BETWEEN 5'-4" WIDE WINDOWS FIBER CEMENT WINDOW & DOOR TRIM: 3 1/2" WIDTH
FIBER CEMENT LAP SIDING W/ 6" EXPOSURE BELOW BELLY BAND AT BUILDINGS D & E COLOR: SW 9132 ACACIA HAZE		FIBER CEMENT BELLY BAND: 9 1/4" WIDTH COLOR: SW 7005 PURE WHITE
		DOORS: INSULATED FIBERGLASS 36" x 84"; TYPICAL COLOR: WHITE
		WINDOWS: VINYL TYPICAL SIZES SHOWN BELOW COLOR: WHITE
		

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④ BUILDING D - NORTH ELEVATION (FROM ALLEY)  
1/8" = 1'-0"



③ BUILDING D - SOUTH ELEVATION (FROM 10TH STREET)  
1/8" = 1'-0"



② BUILDING D - WEST ELEVATION (FROM FIR STREET)  
1/8" = 1'-0"



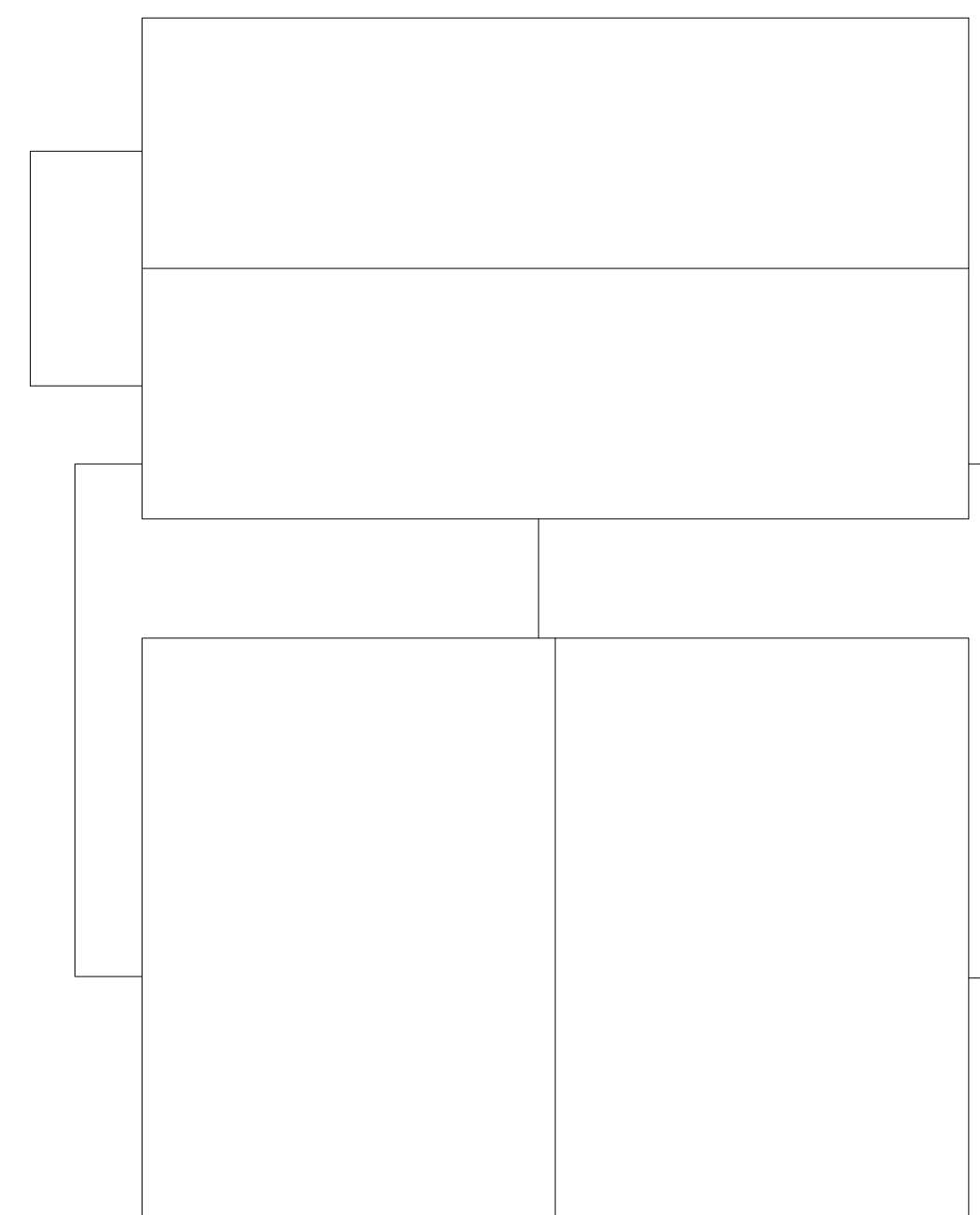
① BUILDING D - EAST ELEVATION (FROM COURTYARD)  
1/8" = 1'-0"

Revision Summary	
Revision Number	Revision Date

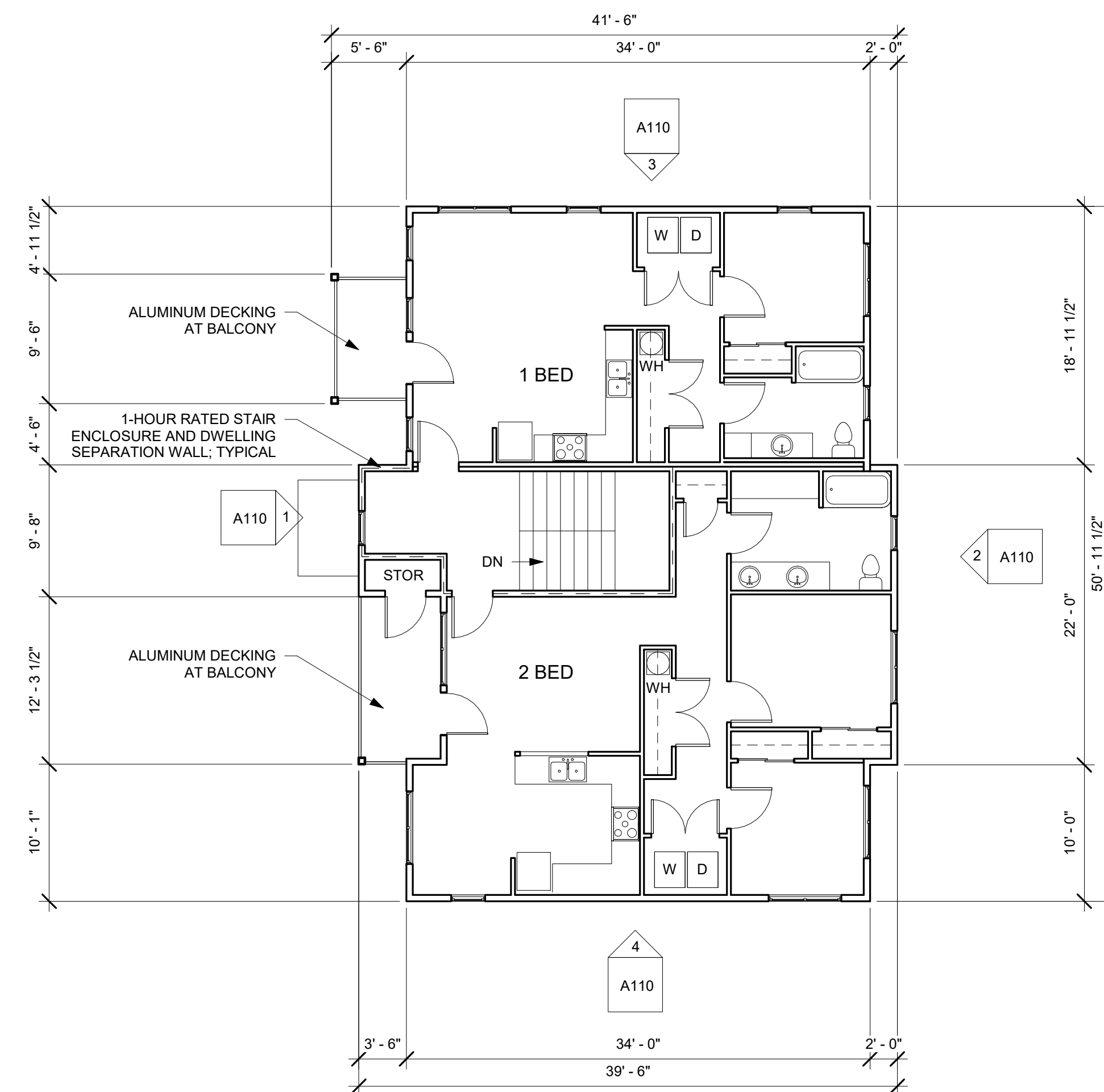
ELM PARK, FLORENCE  
10TH STREET & GREENWOOD AVENUE  
FLORENCE, OREGON 97439  
OUR COASTAL VILLAGE

BUILDING D ELEVATIONS

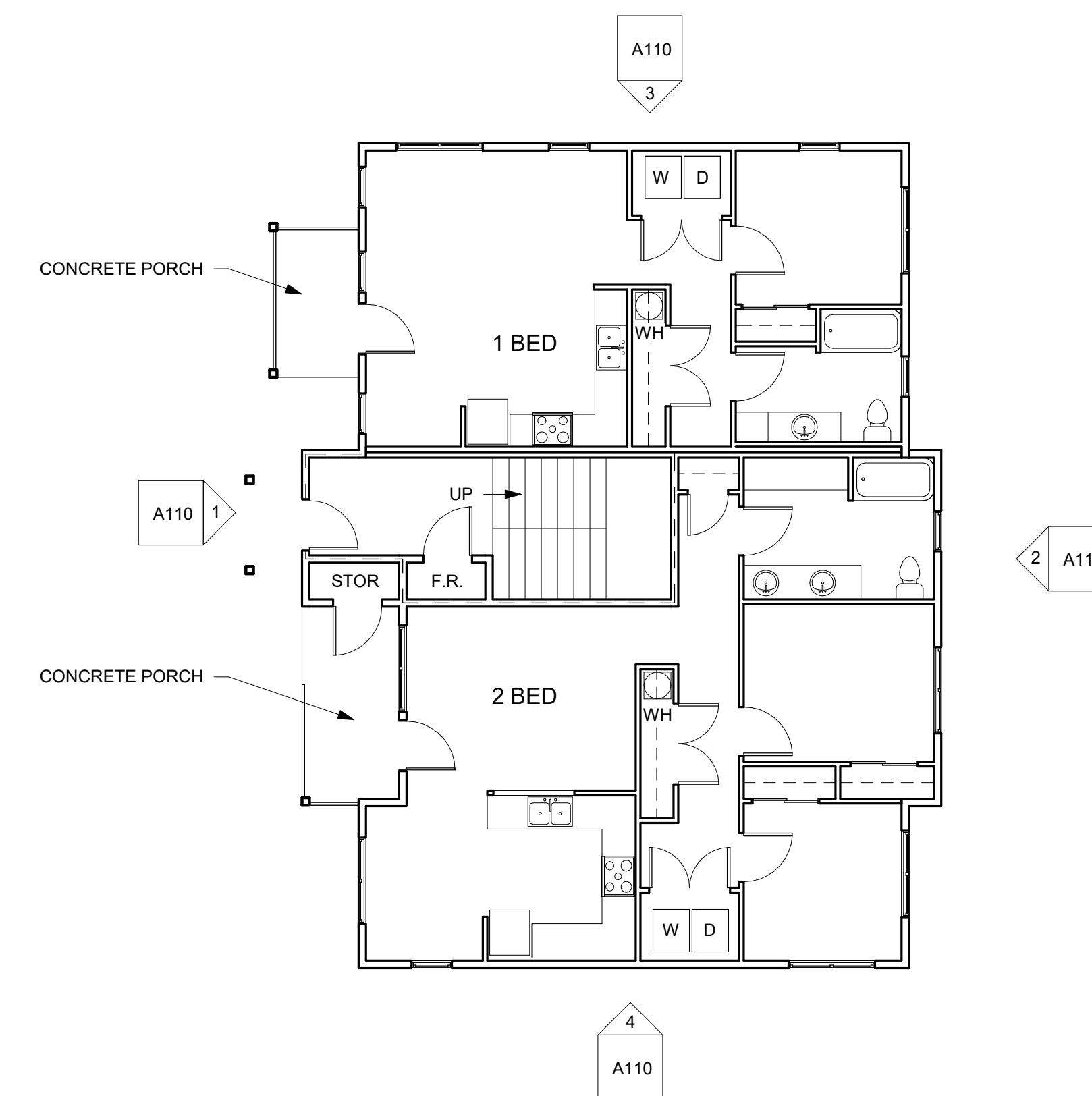
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file	2420
d.b.	LWL



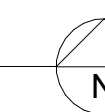
3 BUILDING E - ROOF PLAN  
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10TH STREET & GREENWOOD AVENUE  
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OUR COASTAL VILLAGE

BUILDING E PLANS






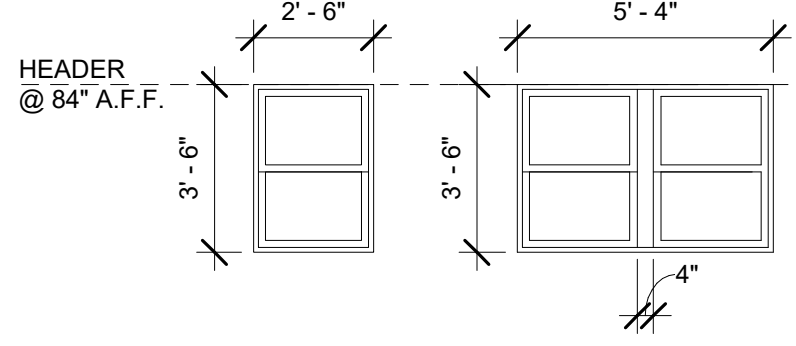
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file 2420  
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**BDA**  
Architecture & Planning, P.C.  
1389 Olive Street  
Eugene, Oregon 97401  
bdarch.net  
541.683.8661



ELEVATION LEGEND		
<b>FIBER CEMENT SIDING AT BUILDINGS D &amp; E</b>		<b>ROOF, TRIM &amp; MISCELLANEOUS MATERIALS AT ALL BUILDINGS</b>
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BUILDING E - SOUTH ELEVATION (FROM  
④ 10TH STREET)  
1/8" = 1'-0"



BUILDING E - EAST ELEVATION (FROM  
② ELF)  
1/8" = 1'-0"



BUILDING E - NORTH ELEVATION FROM  
③ ALLEY)  
1/8" = 1'-0"



BUILDING E - WEST ELEVATION (FROM  
① COURTYARD)  
1/8" = 1'-0"

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ELM PARK, FLORENCE  
10TH STREET & GREENWOOD AVENUE  
FLORENCE, OREGON 97439  
OUR COASTAL VILLAGE

BUILDING E  
ELEVATIONS

date 10-31-2024  
file 2420  
d.b. LWL

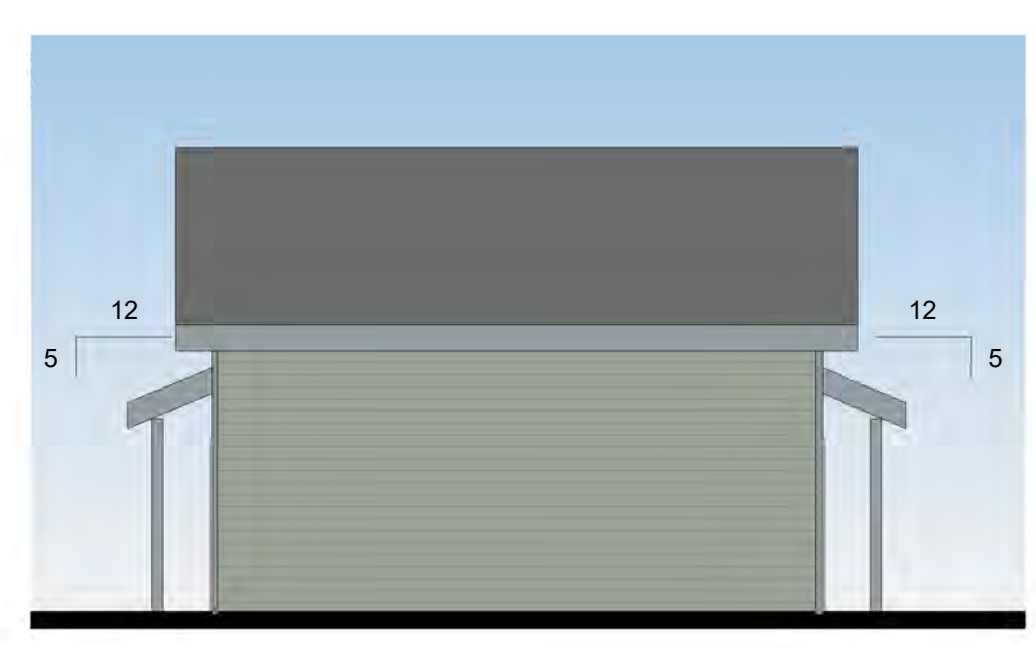
A110



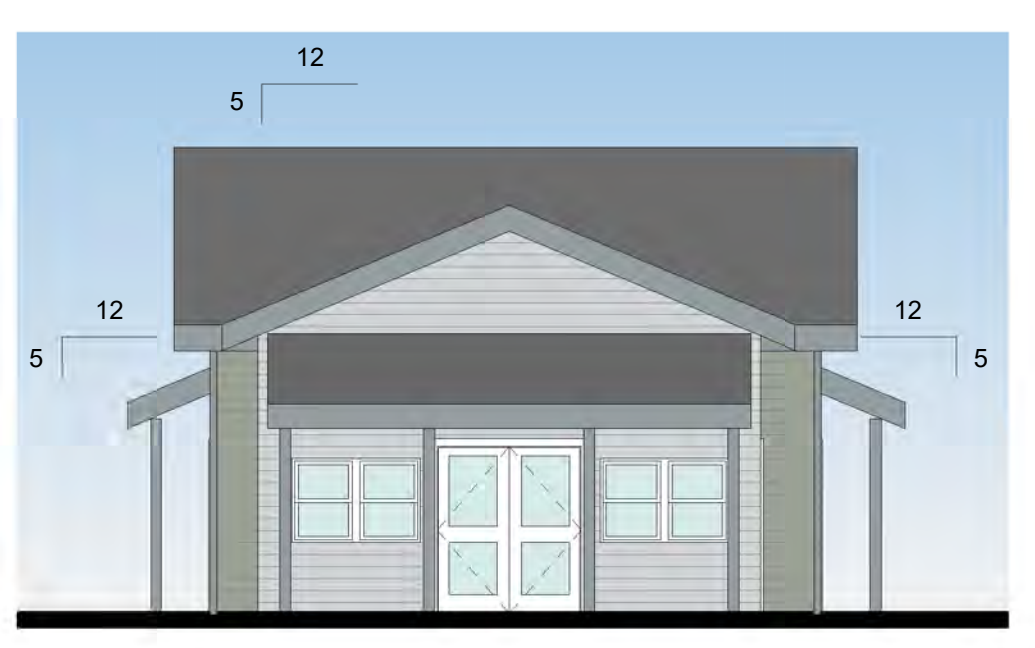
ELEVATION LEGEND		
<b>FIBER CEMENT SIDING AT COMMUNITY BUILDING</b>	<b>ROOF, TRIM &amp; MISCELLANEOUS MATERIALS AT ALL BUILDINGS</b>	
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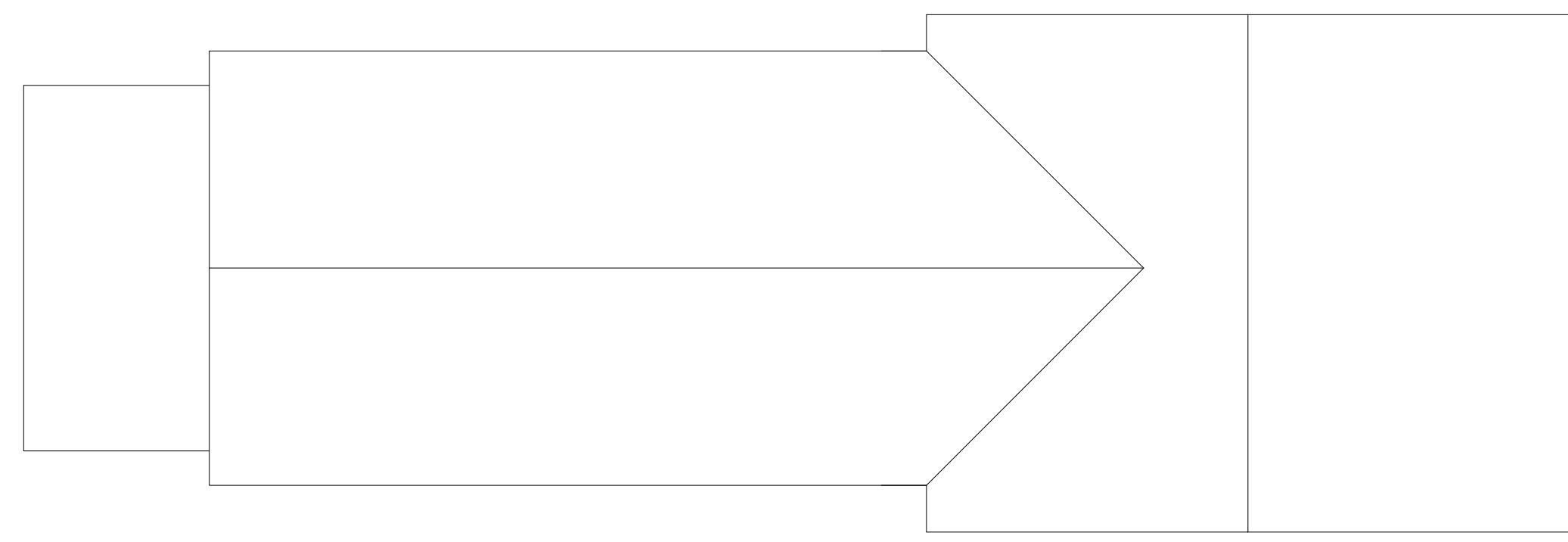
Revision Summary	
Revision Number	Revision Date



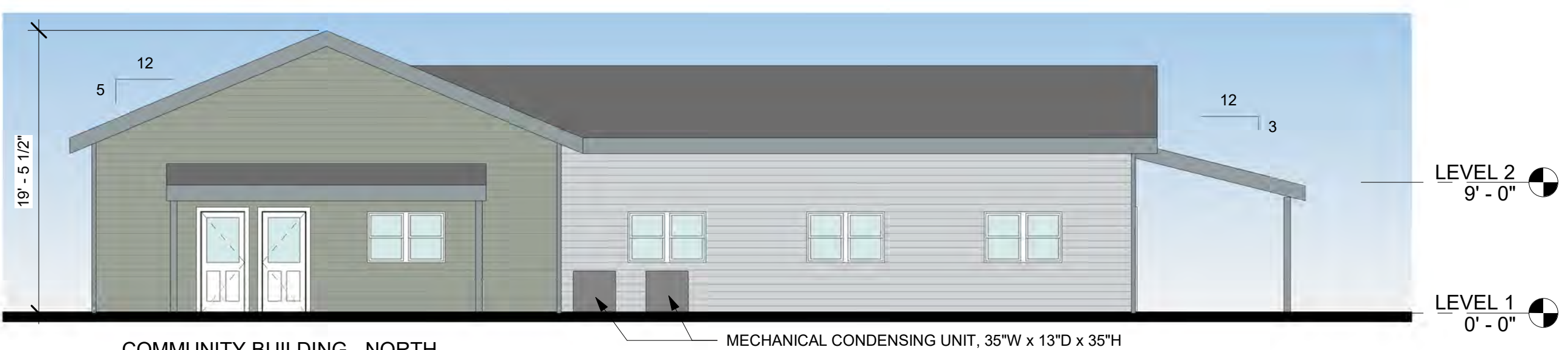
8 COMMUNITY BUILDING - EAST ELEVATION  
1/8" = 1'-0"



7 COMMUNITY BUILDING - WEST ELEVATION  
1/8" = 1'-0"



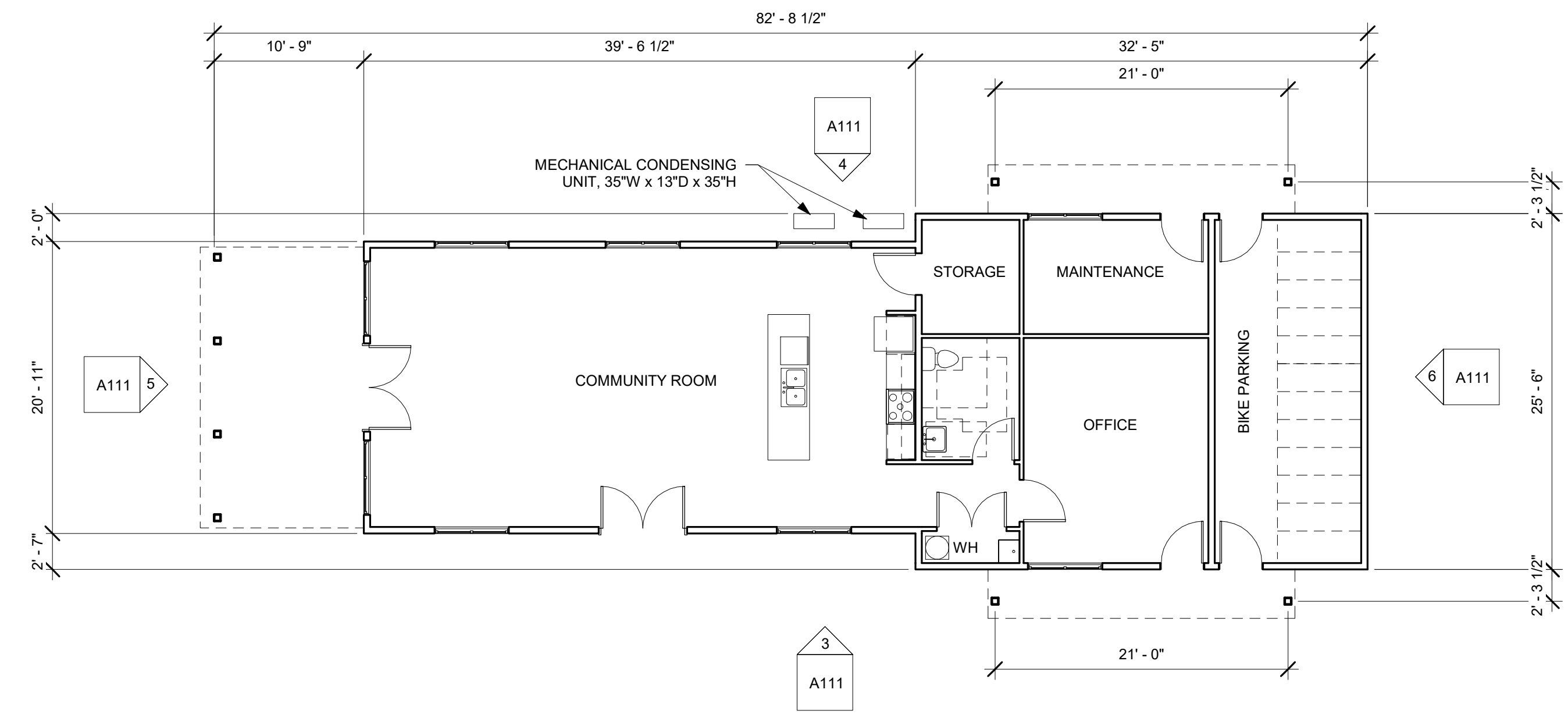
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1/8" = 1'-0"



6 COMMUNITY BUILDING - NORTH ELEVATION  
1/8" = 1'-0"



5 COMMUNITY BUILDING - SOUTH ELEVATION (FROM ALLEY)  
1/8" = 1'-0"



1 BUILDING B - LEVEL 1  
1/8" = 1'-0"

**ELM PARK, FLORENCE**  
10TH STREET & GREENWOOD AVENUE  
FLORENCE, OREGON 97439  
OUR COASTAL VILLAGE

COMMUNITY BUILDING PLAN & ELEVATIONS

date 10-31-2024  
file 2420  
d.b. LWL

A111

**EXHIBIT 10**

**ELM PARK APARTMENTS**

**STORM REPORT**

# Stormwater Management Report

## Our Coastal Village Florence

Prepared for: Our Coastal Village, Inc.

Prepared by: Jack Present, EIT

Project Engineer: Anna Backus, PE

October 2024 | KPFF Project #2400153



#### KPFF'S COMMITMENT TO SUSTAINABILITY

As a member of the US Green Building Council, KPFF is committed to the practice of sustainable design and the use of sustainable materials in our work.

When hardcopy reports are provided by KPFF, they are prepared using recycled and recyclable materials, reflecting KPFF's commitment to using sustainable practices and methods in all of our products.

# Table of Contents

Existing Conditions .....	2
Proposed Site .....	2
Hydrologic Analysis .....	2

## Appendices

### Appendix A

Drainage Basin Information

### Appendix B

Runoff and Water Quality Calculations

### Appendix C

Soils Information

## Existing Conditions

### *Description of Pre-Development Site*

The “Our Coastal Village Florence” site is located northwest of the corner of 9th and Greenwood Streets in Florence, Oregon. The site will eventually be bounded by Greenwood Street to the east, proposed 10th Street to the south, proposed Fir Street to the west and proposed 11th Street to the north. The site is approximately 1.6 Acres in size. There is no constructed storm drainage system on the site. The maximum elevation drop across the site is approximately 8 feet, over 250 feet of horizontal distance, which occurs along the northern property line. The existing site is fully vegetated and includes shrubs and trees, mainly Pacific Rhododendron. The Geotechnical Report indicates the site is entirely Waldport fine sand (Hydrologic Soil Group A). See Appendix C1 for more information.

### *Wetland Identification*

The northwest corner of the site contains about 112 square feet of wetland area. This area is seasonally saturated and lies next to an intermittent stream connecting off site wetlands. The area of work does not impact the wetland. See Appendix C3 for more information.

## Proposed Site

### *Site Description*

The proposed site is zoned for residential use. The site will be used for affordable housing complexes. It will be served by both new public and private streets. The total impervious area added is 0.81 ac (35,315 sf) with 0.12 ac (5,400 sf) being a proposed public alley.

The site will rely on a piped system to collect runoff from the building downspouts and site features. The site runoff will be piped to rain gardens. The parking lot runoff will be routed via channel drains to rain gardens located behind the sidewalk.

## Hydrologic Analysis

### *Water Quality*

The City of Florence water quality standards will be met by using rain gardens. Proposed storm runoff from added impervious site and roof areas will be routed to these rain gardens for water quality treatment. For the PUD, the rain garden sizing has been assessed by lot. Individual rain gardens will be sized for the Building Permit. See Appendix A for the Stormwater Basin Map.

The stormwater water quality facilities were sized using the City of Florence SWMM Presumptive Approach. See Appendix B for more information.

### *Infiltration*

Due to the soil type, the site soil can be assumed to have favorable infiltration rates. The infiltration rate can be assumed to be equal to or greater than 6 inches per hour. Per the Geotech Report, the groundwater is estimated to be 7.5 to 8.3 feet deep. The treated runoff from the stormwater facilities will be routed to subsurface soakage trenches for infiltration. A minimum of 5 feet will be maintained between the bottom of



the soakage trenches and all the water from pollutant generating surfaces will be pre-treated. All the roof areas will be treated as well, except for the community building. In some cases, the soakage trench will be co-located with the rain gardens. All the soakage trenches are considered UIC's and all will be designed so they meet the Rule Authorization standards for DEQ, which have a 2-week review.

The soakage trenches were sized per the Florence SWMM standards.

The runoff was modeled using the Santa Barbara Urban Hydrograph Method to demonstrate that the proposed rain gardens treat the water quality storm and that the soakage trenches will infiltrate the City of Florence 25-year design storm (5.06 in/24hr). See Appendix B for Calculations.

### *Emergency Overflow*

An emergency overflow connects the soakage trenches to the public storm system per the City of Florence SWMM's requirements. The overflow pipe will be set at 1-foot above the top of the soakage trench, to ensure that the full 25-year design storm is infiltrated on site.

2400153-kg

# Appendix A

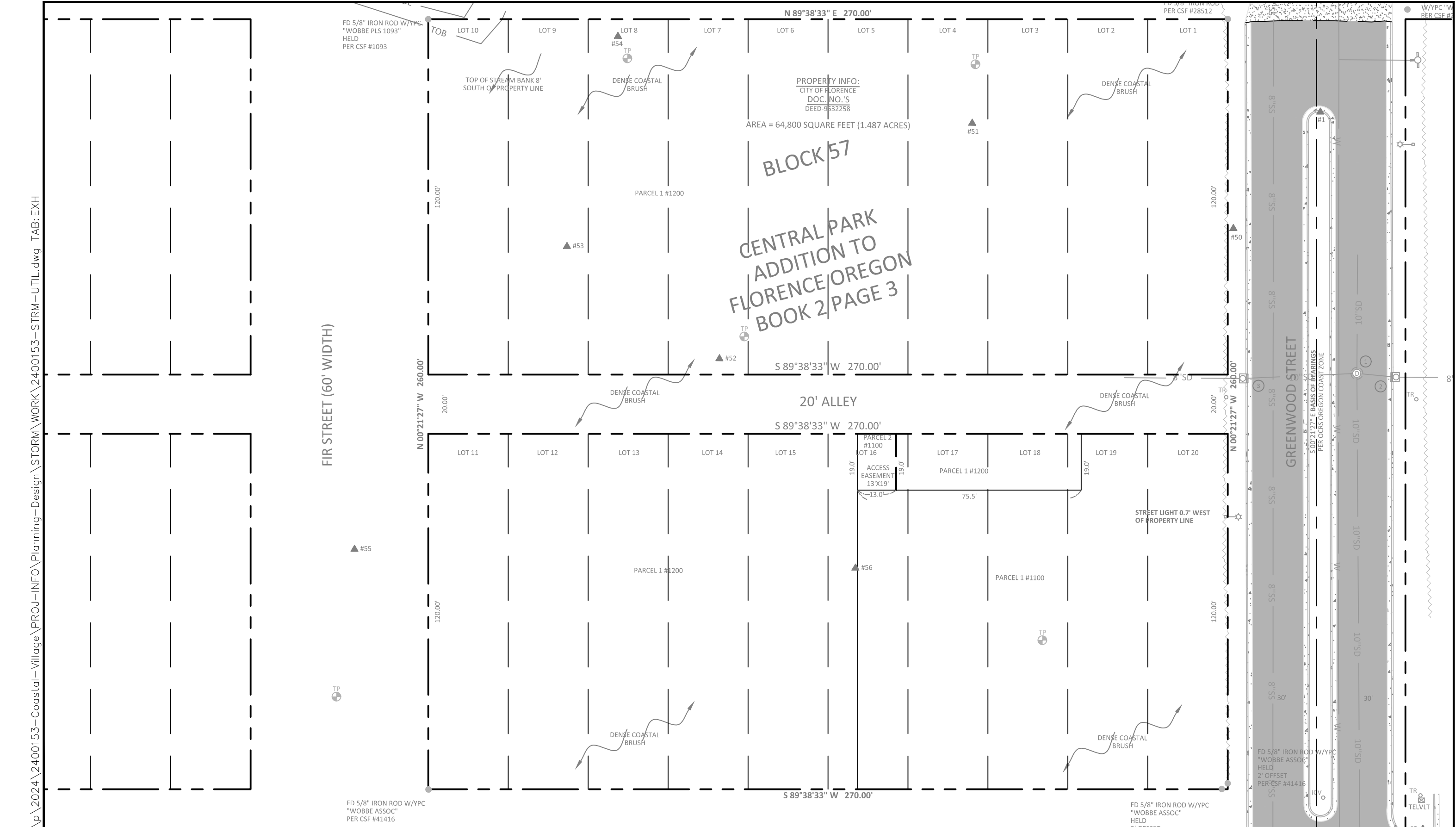
## Drainage Basin Information



#2400153

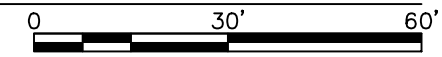
VICINITY MAP





# OUR COASTAL VILLAGE FLORENCE EXISTING CONDITIONS PLAN



SCALE: 1" = 30'





SHEET NO.  
**EXH**

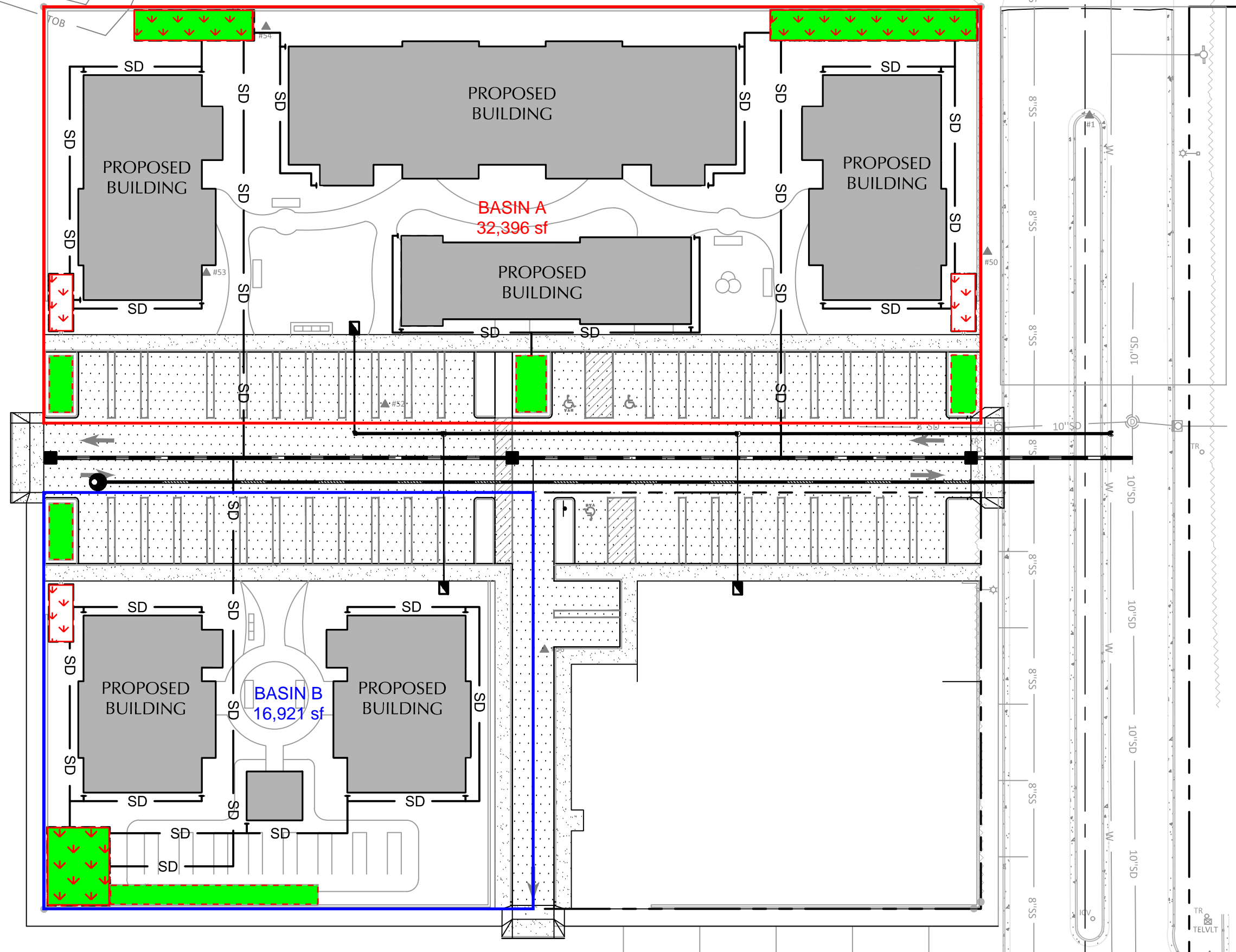
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### BASIN A

	SURFACE TYPE	IMPERV. AREA (SF)	PERV. AREA (SF)	
	PAVEMENT	9,204	-	
	ROOF	11,614	-	
	STORMWATER TREATMENT	-	1,076	
	STORMWATER INFILTRATION	-	1,202	
BASIN	DRAINS TO	TOTAL AREA	TOTAL IMPERVIOUS AREA	TOTAL PERVIOUS AREA
<b>A</b>	Infiltrates	32,396	20,818	11,578

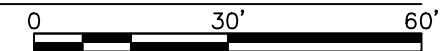
### BASIN B

	SURFACE TYPE	IMPERV. AREA (SF)	PERV. AREA (SF)	
	PAVEMENT	10,415	-	
	ROOF	4,082	-	
	STORMWATER TREATMENT	-	521	
	STORMWATER INFILTRATION	-	881	
BASIN	DRAINS TO	TOTAL AREA	TOTAL IMPERVIOUS AREA	TOTAL PERVIOUS AREA
<b>B</b>	Infiltrates	16,921	14,497	2,424



# OUR COASTAL VILLAGE FLORENCE BASIN MAP

SCALE: 1" = 30'



SHEET NO.  
**A3**

# Appendix B

## Runoff and Water Quality Calculations



Project Name: Our Coastal Village - Housing

Date: 8.22.24

Designer: JP/AB

Basin: A

User-Supplied Data

Pervious Area		Impervious Area	
Pervious Area, SF	11,578	Impervious Area, SF	20,818
Pervious Area, Acres	0.27	Impervious Area, Acres	0.48
Pervious Area Curve Number, CNperv	65	Impervious Area Curve Number, CNimp	98
Time of Concentration, Tc, minutes	5	Note: minimum Tc is five minutes	

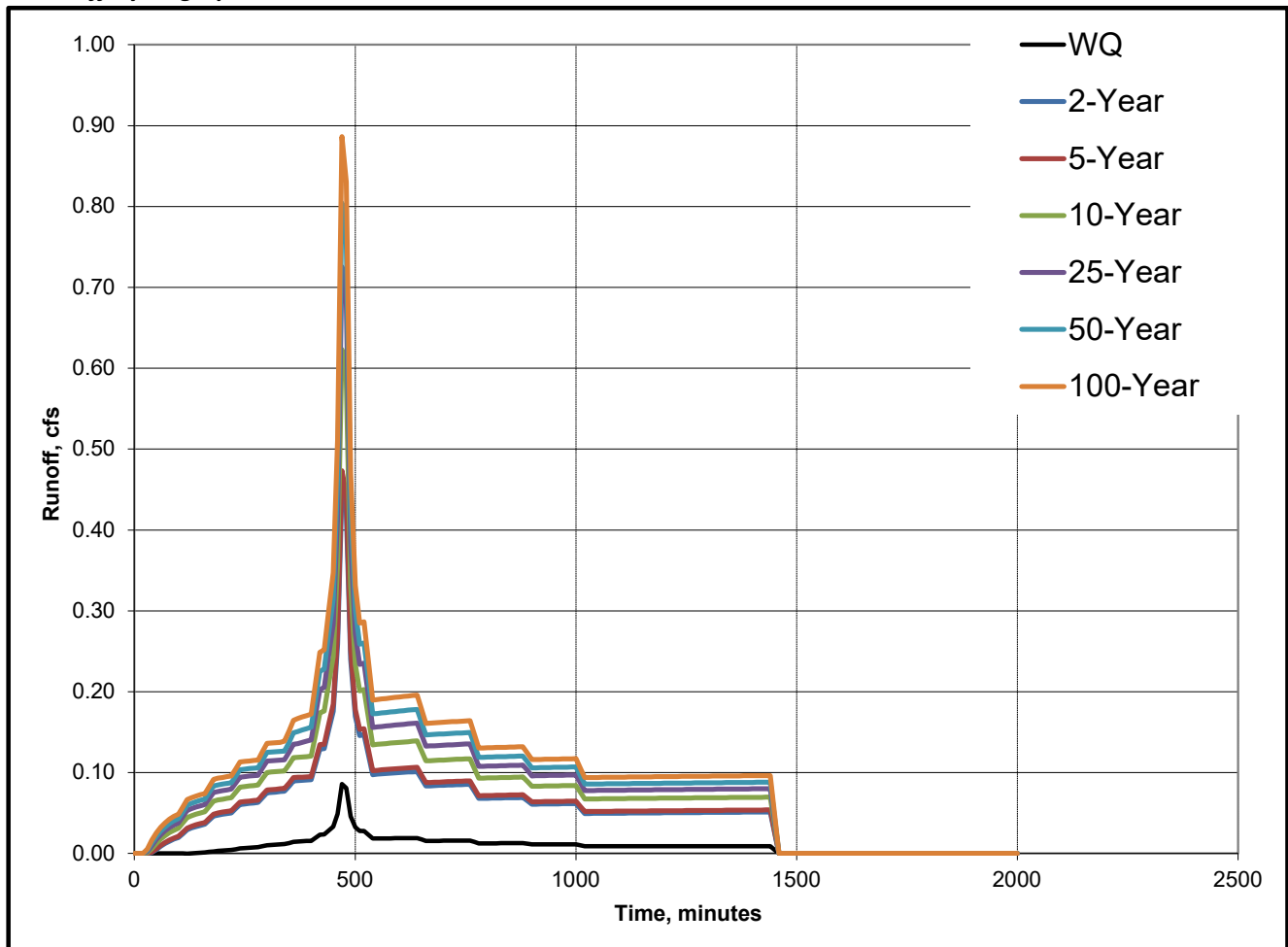
City of Florence 24-Hour Rainfall Depths (NRCS Type 1A distribution)

Recurrence Interval	WQ	2-Yr	5-Yr	10-Yr	25-Yr	50-Yr	100-Yr
Inches	0.83	3.46	3.6	4.48	5.06	5.5	5.95

Calculated Data

Total Project Area, Acres	0.74		Total Project Area, Square Feet					32,396
Recurrence Interval	WQ	2-Yr	5-Yr	10-Yr	25-Yr	50-Yr	100-Yr	
Peak Flow Rate, Qpeak, cfs	0.09	0.45	0.47	0.62	0.73	0.80	0.89	
Total Runoff Volume, V, cubic feet	1,088	6,303	6,616	8,634	10,001	11,054	12,143	
Time to Peak Runoff, hours	7.83	7.83	7.83	7.83	7.83	7.83	7.83	

Runoff Hydrograph





# Florence Stormwater Facility Calculator

Project Name: Our Coastal Village - Housing

Basin: A

Date: 8.22.24

## Instructions:

1. Choose Facility Type
2. Choose shape
3. Complete information in highlighted cells

## Facility

Raingarden

## Above-Grade

Bottom Area:	485	sf
Top Area:	1,076	sf
Side Slope:	4	to 1
Storage Depth:	6	in
Growing Media:	18	in

## Below-Grade

See Detention Calculations

Surface Storage Capacity	390	cf
Infiltration Area	1,076	sf
GM Infiltration Rate	2.5	in/hr
Infiltration Capacity (avg)	0.062	cfs

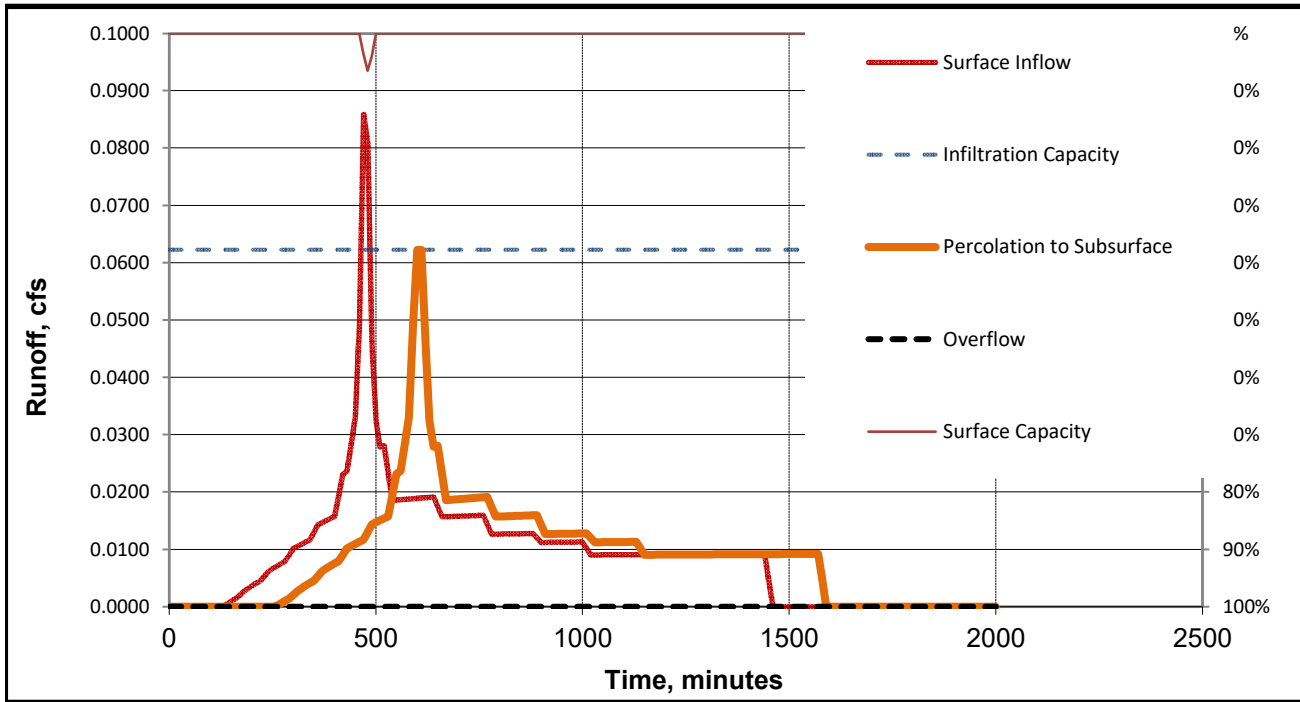
## Results

WATER QUALITY EVENT	PASS	ROCK CAPACITY	0%
---------------------	------	---------------	----

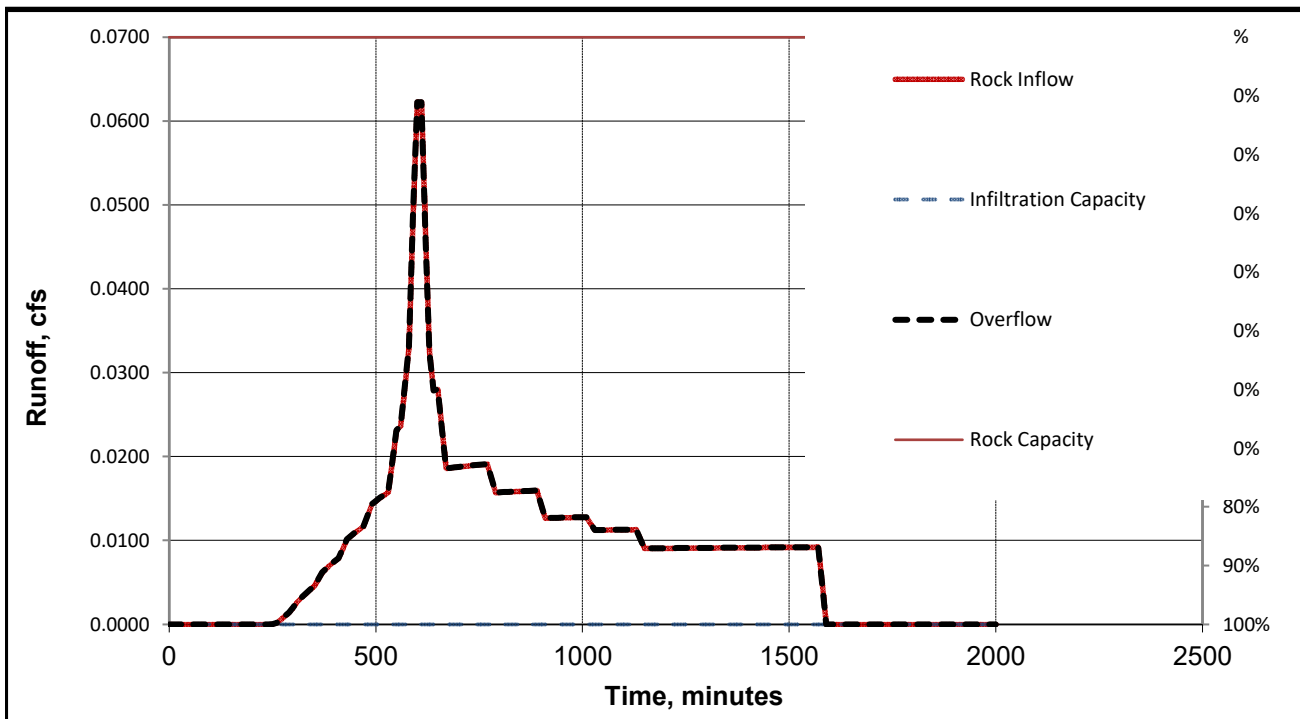
SURFACE CAPACITY 6%

Recurrence Interval	Peak Flow (cfs)	Volume (cf)	Rock Capacity	Meets Infiltration?
WQ	0.0623	1,062	N/A	See Detention
2-Yr	0.4500	5,927	N/A	10-Yr Infiltration Volume (cf): <b>387</b>
5-Yr	0.4732	6,262	N/A	
10-Yr	0.6230	8,248	N/A	
25-Yr	0.7251	9,613	N/A	
50-Yr	0.8042	10,675	N/A	
100-Yr	0.8861	11,790	N/A	

### Water Quality Event Surface Facility Modeling



### Water Quality Event Below Grade Modeling





# Detention Worksheet

Project Name: Our Coastal Village - Housing

Basin: A

Date: 8.22.24

## Instructions:

1. Choose Storm Event to limit
2. Enter maximum runoff
3. Choose detention facility

### Storm Event

25-Yr

### Max. Runoff

0.00 cfs

### Detention Facility

Rocked

Area: 1,202 sf  
 Void Space: 0.4  
 Depth: 2.6 ft (min.)  
 Infiltration Rate: 6 in/hr

### Orifice Sizing

A = Orifice Area, in sf

Q=Max Runoff Flow, in cfs

C=Orifice Coefficient (0.63)

H=Height of Water on Orifice

### Results

Depth from Pond Bottom to Orifice: 0.50

Required Detention Volume: 1,250 cf

Water Height: 3.10

Orifice Area: 0.00

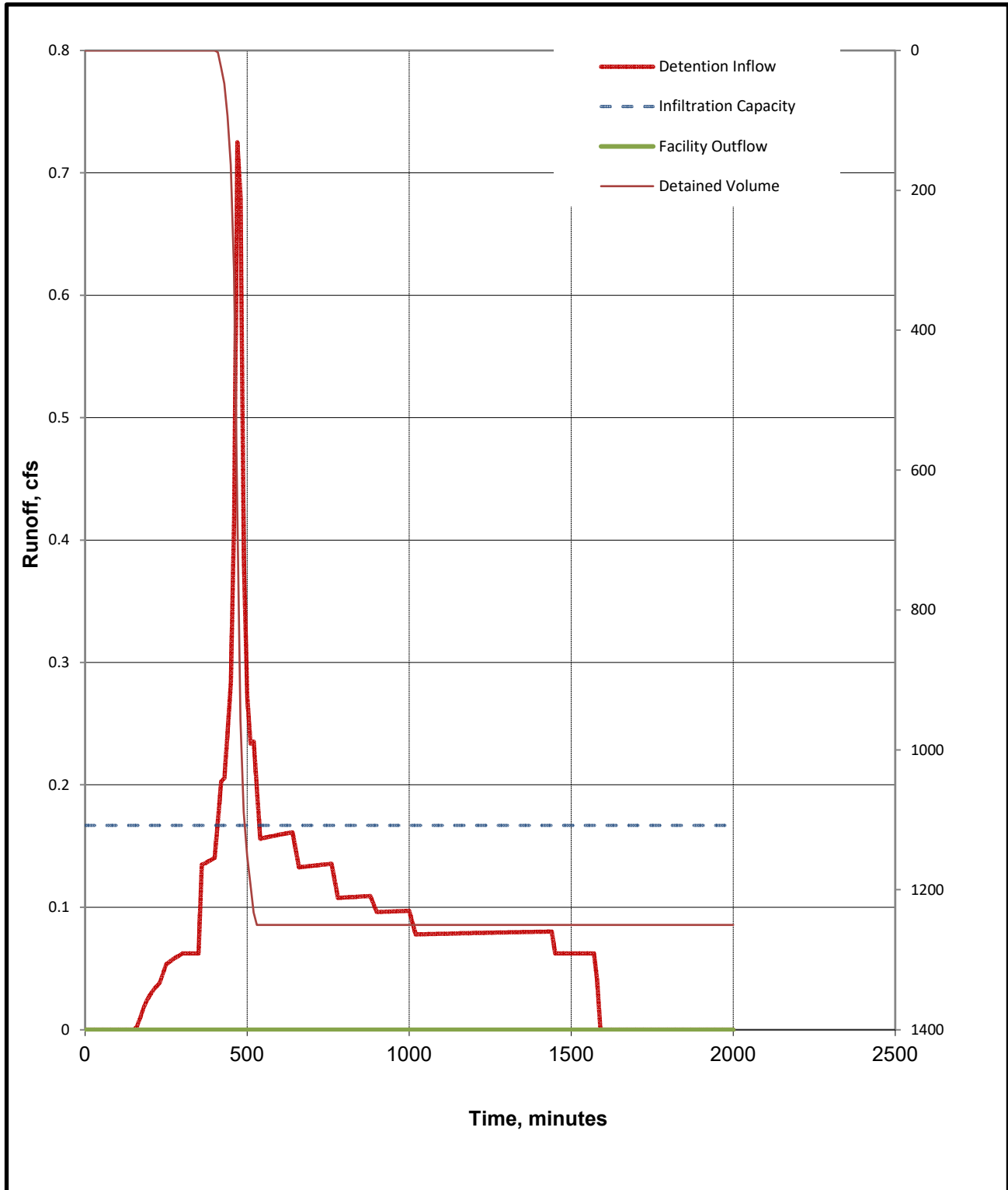
Orifice Size: 0.0

Recurrence Interval	Undetained Flow (cfs)	Undetained Volume (cf)
WQ	0.0000	0
2-Yr	0.0000	0
5-Yr	0.0000	0
10-Yr	0.0000	0
25-Yr	0.0000	0
50-Yr	0.4272	335
100-Yr	0.8305	751

# Detention Hydrograph 25-Yr

Basin: A

Date: 8.22.24



Project Name: Our Coastal Village - Housing

Date: 8.22.24

Designer: JP/AB

Basin: B

User-Supplied Data

Pervious Area		Impervious Area	
Pervious Area, SF	2,424	Impervious Area, SF	14,497
Pervious Area, Acres	0.06	Impervious Area, Acres	0.33
Pervious Area Curve Number, CNperv	65	Impervious Area Curve Number, CNimp	98
Time of Concentration, Tc, minutes	5	Note: minimum Tc is five minutes	

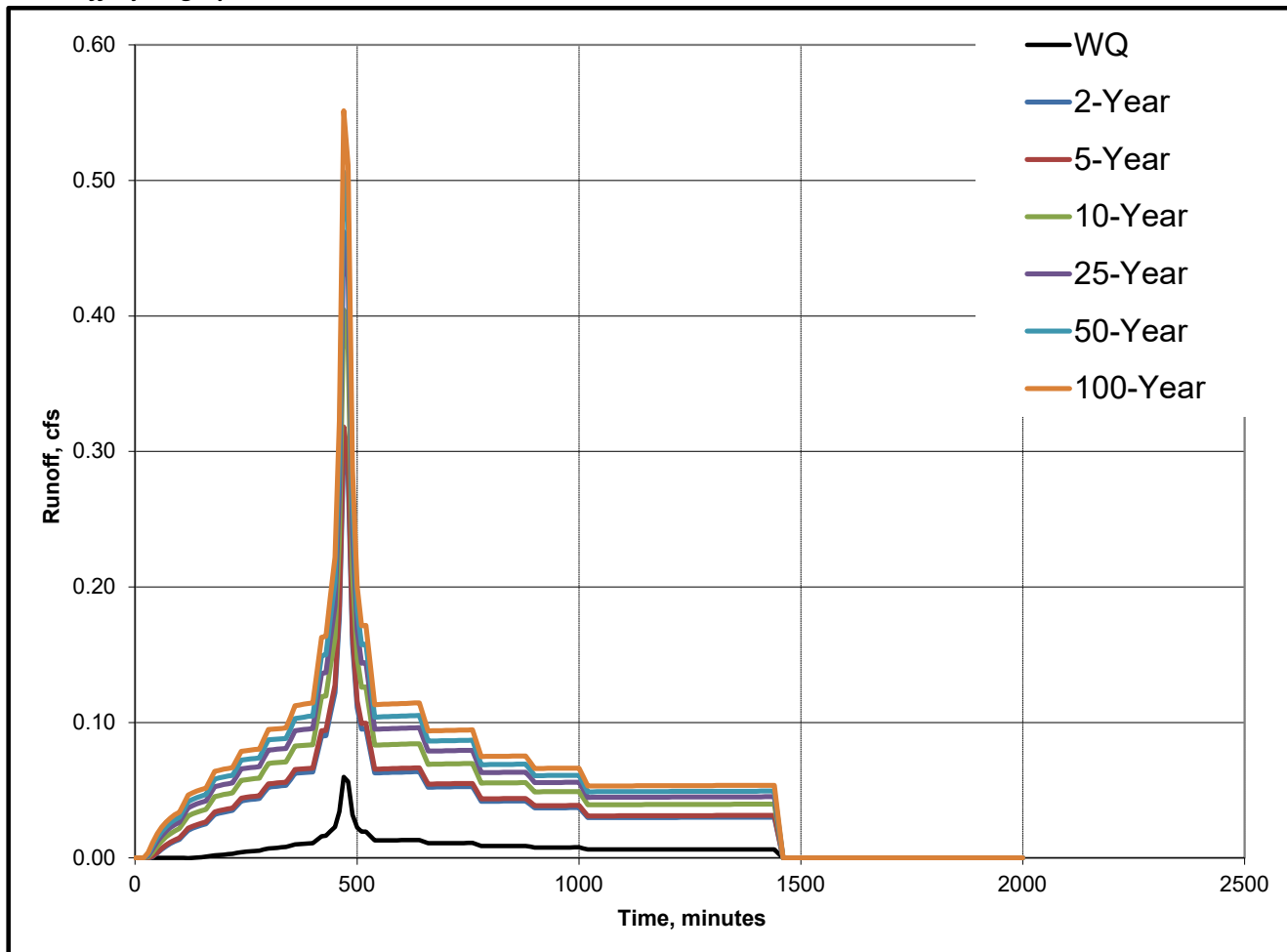
City of Florence 24-Hour Rainfall Depths (NRCS Type 1A distribution)

Recurrence Interval	WQ	2-Yr	5-Yr	10-Yr	25-Yr	50-Yr	100-Yr
Inches	0.83	3.46	3.6	4.48	5.06	5.5	5.95

Calculated Data

Total Project Area, Acres	0.39		Total Project Area, Square Feet					16,921
Recurrence Interval	WQ	2-Yr	5-Yr	10-Yr	25-Yr	50-Yr	100-Yr	
Peak Flow Rate, Qpeak, cfs	0.06	0.30	0.32	0.40	0.46	0.51	0.55	
Total Runoff Volume, V, cubic feet	758	4,046	4,229	5,393	6,169	6,760	7,368	
Time to Peak Runoff, hours	7.83	7.83	7.83	7.83	7.83	7.83	7.83	

Runoff Hydrograph







Project Name: Our Coastal Village - Housing

Basin: B

Date: 8.22.24

# Florence Stormwater Facility Calculator

## Instructions:

1. Choose Facility Type
2. Choose shape
3. Complete information in highlighted cells

## Facility

Raingarden

## Above-Grade

Bottom Area:	297	sf
Top Area:	521	sf
Side Slope:	4	to 1
Storage Depth:	6	in
Growing Media:	18	in

## Below-Grade

See Detention Calculations

Surface Storage Capacity	205	cf
Infiltration Area	521	sf
GM Infiltration Rate	2.5	in/hr
Infiltration Capacity (avg)	0.030	cfs

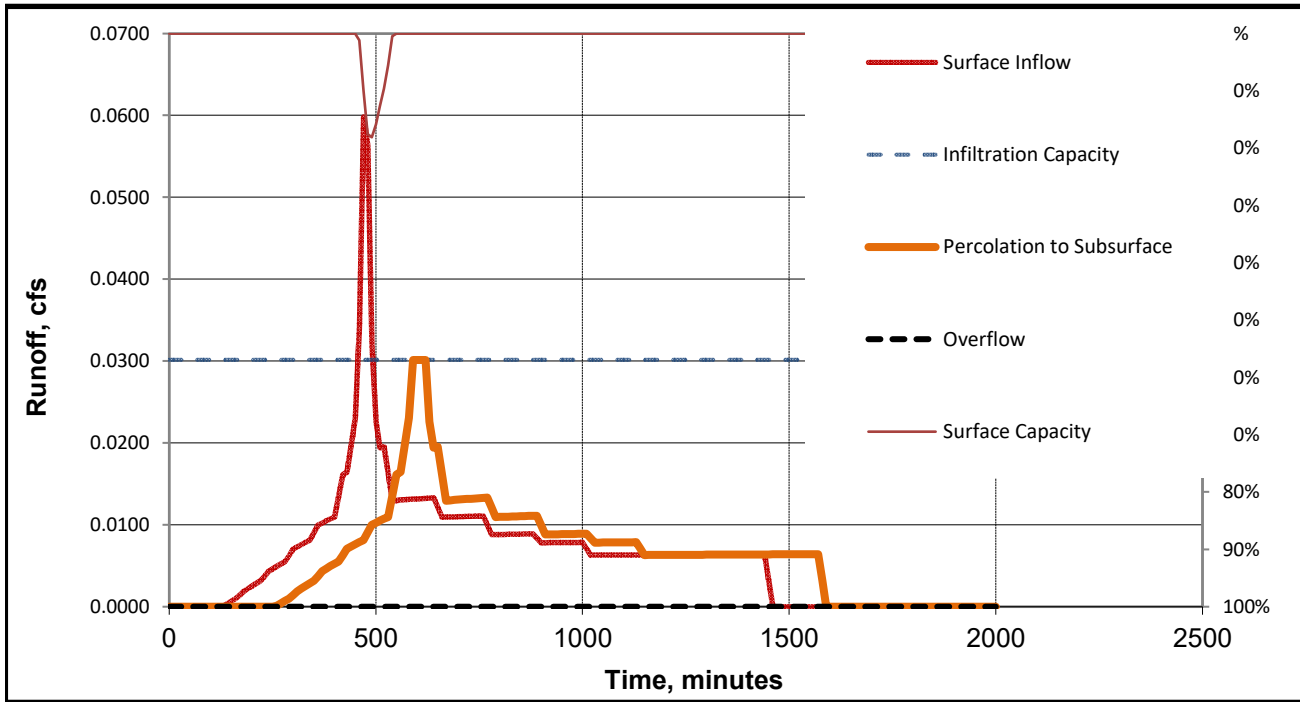
## Results

<b>WATER QUALITY EVENT</b>	<b>PASS</b>	<b>ROCK CAPACITY</b>	<b>0%</b>
----------------------------	-------------	----------------------	-----------

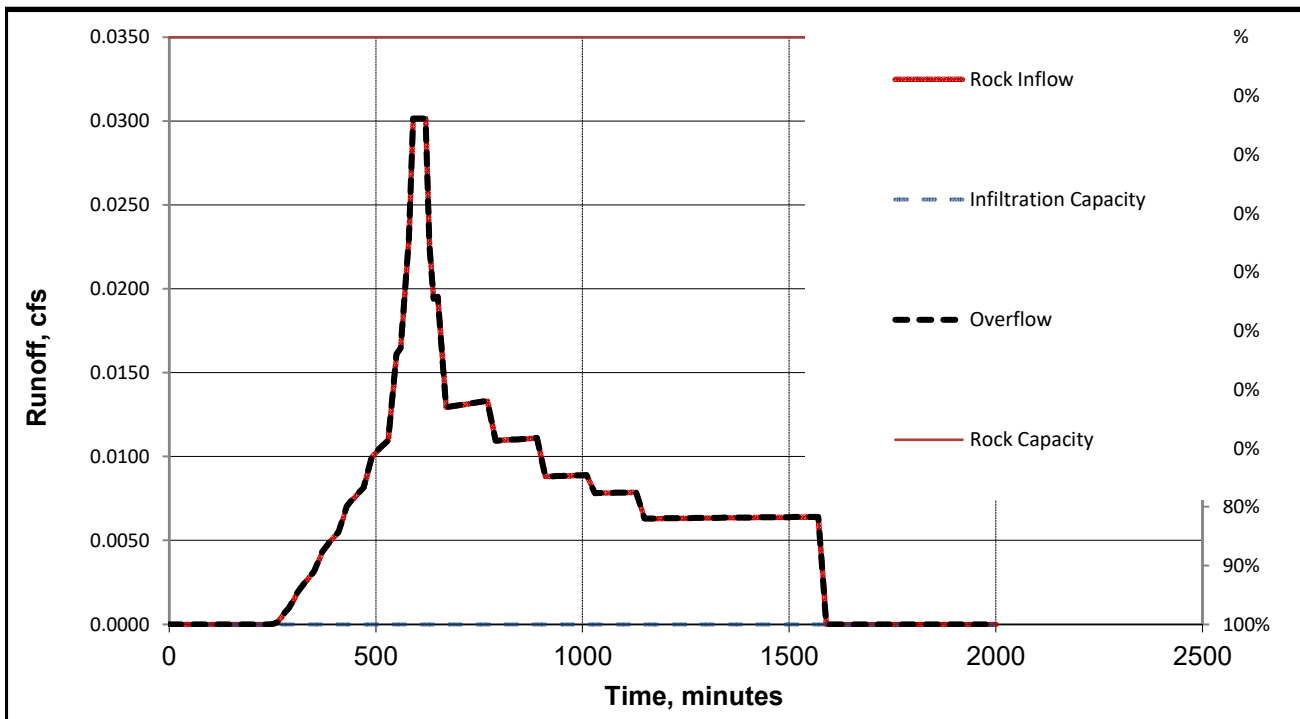
**SURFACE CAPACITY 18%**

Recurrence Interval	Peak Flow (cfs)	Volume (cf)	Rock Capacity	Meets Infiltration?
WQ	0.0302	720	N/A	See Detention
2-Yr	0.3043	3,856	N/A	10-Yr Infiltration Volume (cf): <b>185</b>
5-Yr	0.3180	4,034	N/A	
10-Yr	0.4045	5,209	N/A	
25-Yr	0.4622	5,973	N/A	
50-Yr	0.5062	6,565	N/A	
100-Yr	0.5515	7,179	N/A	

### Water Quality Event Surface Facility Modeling



### Water Quality Event Below Grade Modeling



# Detention Worksheet

Project Name: Our Coastal Village - Housing

Basin: B

Date: 8.22.24

## Instructions:

1. Choose Storm Event to limit
2. Enter maximum runoff
3. Choose detention facility

**Storm Event**

25-Yr

**Detention Facility**

Rocked

**Max. Runoff**

0.00 cfs

Area 881 sf

Void Space 0.4

Depth 1.9 ft (min.)

Infiltration Rate 6 in/hr

## Orifice Sizing

A = Orifice Area, in sf

Q=Max Runoff Flow, in cfs

C=Orifice Coefficient (0.63)

H=Height of Water on Orifice

## Results

Depth from Pond Bottom to Orifice: 0.50

Required Detention Volume **679** cf

Water Height: 2.43

Orifice Area: 0.00

Orifice Size: 0.0

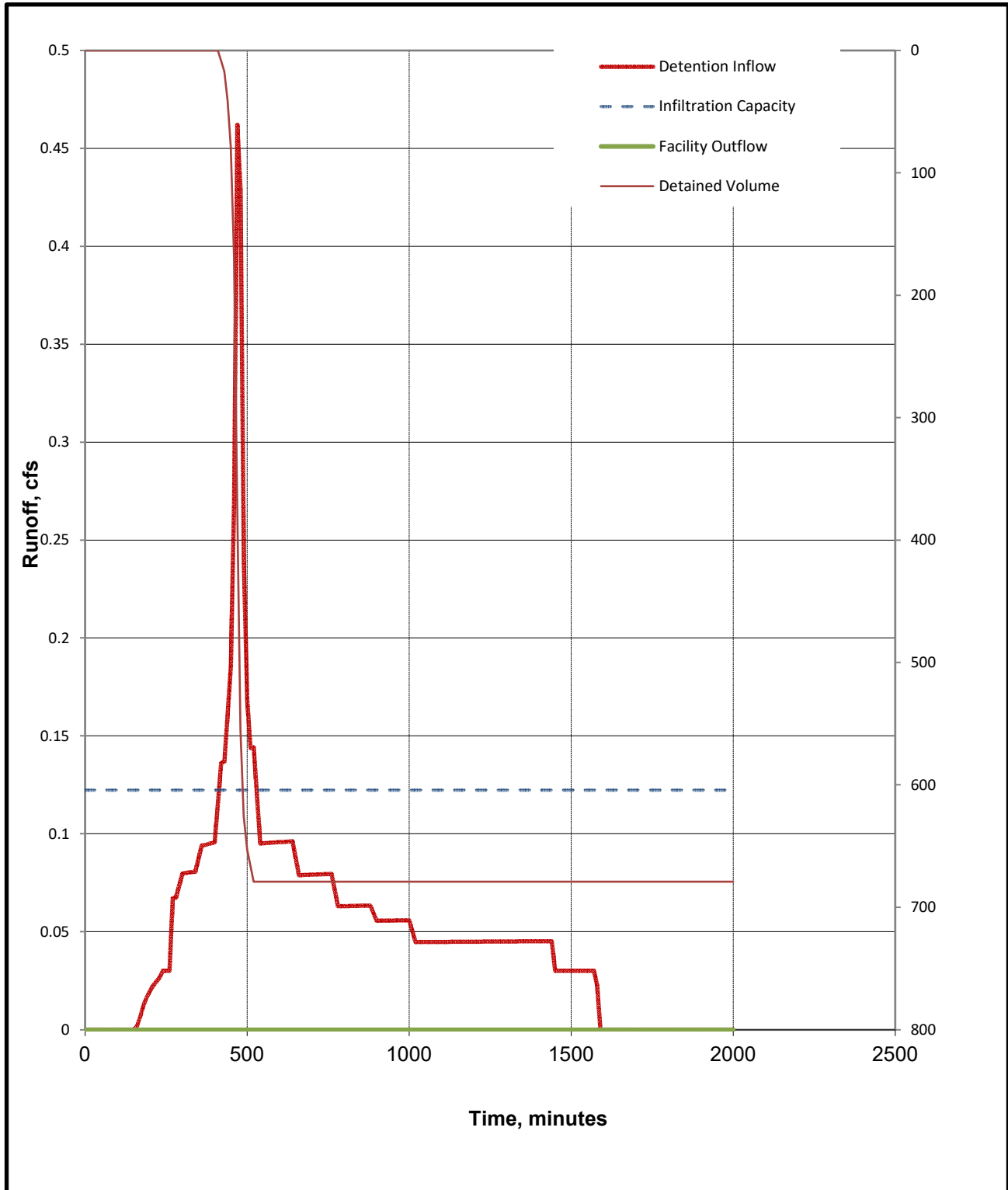
Recurrence Interval	Undetained Flow (cfs)	Undetained Volume (cf)
WQ	0.0000	0
2-Yr	0.0000	0
5-Yr	0.0000	0
10-Yr	0.0000	0
25-Yr	0.0000	0
50-Yr	0.2626	150
100-Yr	0.5110	309



# Detention Hydrograph 25-Yr

Basin: B

Date: 8.22.24



# Appendix C

## Soils Information

June 21, 2024



Layne Morrill  
Our Coastal Village, Inc.  
P.O. Box 108  
Yachats, OR 97498  
Email: klaynemorrill@gmail.com

**RE: GEOTECHNICAL ENGINEERING INVESTIGATION  
ELM PARK PUD  
TAX LOTS 18-12-27-31-01100 & 01200  
FLORENCE, OREGON  
BRANCH ENGINEERING INC. PROJECT NO. 24-191**

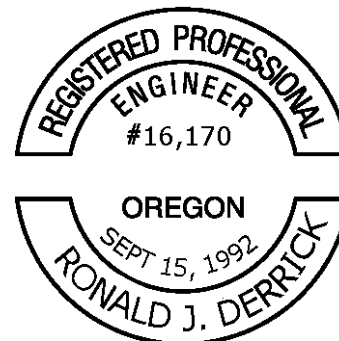
Pursuant to your authorization, Branch Engineering Inc. (BEI) has performed a geotechnical engineering investigation at the subject site for the proposed development of multi-family residential units, a community building, and child care facility on the approximately 1.5-acre subject site. On June 11, 2024 five (5) exploratory test pits were advanced using a Komatsu PC 35 MR tracked excavator, to a maximum depth of 9.5-feet below ground surface (BGS). The subsurface soil conditions in the test pits were logged in accordance the USCS (Unified Soil Classification System) ASTM D2488.

The accompanying report presents the results of our site research, field exploration and testing, data analyses, as well as our conclusions and recommended geotechnical design parameters for the project. Based on the results of our study, the site may experience liquefaction and severe shaking in the event of a Cascadia Subduction Zone (CSZ) earthquake. Recommendations for the risk posed to the development by seismic hazards are presented herein, which includes the potential for severe shaking and induced settlement due to liquefaction. The risk is no greater for this site than its surrounding area and complete mitigation of these hazards is either likely not to be feasible by current engineering design methods or be economically feasibility. The client accepts the risk of a natural disaster occurring and the potential damage to the proposed development. No other geotechnical/geologic hazards were identified at the site that would impede development as planned, provided that the recommendations of this report are implemented in the design and construction of the project.

Sincerely,  
*Branch Engineering Inc.*

*Sam Rabe*

Sam Rabe, EIT  
Field Engineer



**EXPIRES: 12/31/25**

Ronald J. Derrick P.E., G.E.  
Principal Geotechnical Engineer

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## **1.0 INTRODUCTION**

### **1.1 Purpose and Scope of Work**

The purpose of this work is to assess the pertinent geotechnical engineering parameters related to the site and subsurface conditions that may influence the design and construction of the proposed project. Our scope of work included a field reconnaissance with subsurface exploration stipulated by the 2022 Oregon Structural Specialty Code (OSSC) Section 1803.3 that was performed on June 11, 2024. Explorations were observed and logged by BEI geotechnical staff; in-situ testing and collection of representative samples was conducted for additional assessment to formulate foundation design parameters. BEI has conducted an engineering data review of work by BEI in the area, and other pertinent site research activities that culminated in the preparation of this report as outlined by Section 1803.6 of the OSSC.

### **1.2 Project Location and Description**

The 1.5-acre subject site is comprised of multiple tax lots separated by a 23-foot wide, alley right-of-way between an existing portion of Greenwood Street on the east side and unimproved Fir Street to the west. The site is currently heavily vegetated and located at coordinates of 43.975516°, North Latitude, and 124.114416° West Longitude in Florence, Oregon. The site is nearly rectangular in shape measuring 270'x260' including the alley width. The area immediately adjacent to the site is undeveloped property with a municipal building and office building located about 300-feet southeast and south, respectively.

Although a survey of the site has not yet been provided, the site topography is relatively flat, with elevation changes of up to 5-feet. The site is heavily vegetated with vegetation consisting of shore pines, manzanita, salal, rhododendrons, and other vegetation typical of the Oregon Coast dune ecology. A creek within a shallowly depressed area is located within the northwest corner of the property.

Based on a preliminary drawing provided to BEI by the client, five separate multi-family housing structures are proposed for the site along with a community building/office, a child care facility, playgrounds, and a garden area with a greenhouse. The residential structures will be three stories tall with building footprints on the order of 3,500- and 4,500 square feet with the largest building footprint of 6,000 square feet being the childcare facility located in the southeast corner of the site. Specific structural loads were not provided; however, 3-story wood-framed apartment buildings typically do not exceed 15-kip column loads or 2 kip/ft line loads on foundations. A double-sided parking lot is shown in the alley alignment between the four proposed structures on the north half and the three structures on the south half.

### **1.3 Site Information Resources**

The following site investigation activities were performed and literature resources were reviewed for pertinent site information:

- Review of the United States Department of the Interior Geological Survey (USGS) 1984 Florence, Oregon Quadrangle Map 7.5 Minute Series.
- Department of Geologic and Mining Industries (DOGAMI) Online Geologic Map of Oregon (Walker and MacLeod, 1991) and DOGAMI Bulletin 85, Environmental Geology of Coastal Lane County, Oregon 1974
- Review of the USGS Geologic Map of Oregon, (USGS 1991, Walker & MacLeod).
- Five (5) exploratory test pits advanced to a maximum depth of 9.5-feet BGS on June 11, 2024 at the approximate locations shown on the attached Figure-2 Site Exploration Map. See attached boring log summaries in Appendix A.
- DOGAMI web hazard viewer (HazVu) and Statewide Landslide Information Layer for Oregon (SLIDO).
- DOGAMI Open File Report 0-21-12, Landslide Inventory Map of the Coastal Portion of Lane County, Oregon, 2021
- Review of the Web Soil Survey of Lane County Area, United States Department of Agricultural (USDA) Natural Resources Conservation Service (NRCS) (attached in Appendix A).
- Review of Oregon Department of Water Resources Well Logs (attached in Appendix A).
- Oregon Structural Specialty Code 2022 (OSSC 2022), applicable building code criteria

## **2.0 SITE SUBSURFACE CONDITIONS**

The analyses, conclusions and recommendations contained in this report are based on site conditions as they presently exist and assume that our exploratory test pit findings presented in Appendix A are representative of the subsurface conditions throughout the site. If during construction subsurface conditions differ from those encountered in the exploratory test pits, BEI requests that we be informed to review the site conditions and adjust our recommendations if necessary.

### **2.1 Subsurface Soils**

Visual classification of the near surface soils was performed in accordance with the American Society of Testing and Materials (ASTM) Method D-2488 and the Unified Soil Classification System (USCS). In general, test pits were consistent between locations for logged strata. Groundwater was noted in all test pits during excavation. Subsurface conditions generally consisted of the following:

- Sandy organics “forest duff” 6- to 12-inches in thickness
- Gray-brown poorly graded sand and roots to an average of 2-feet BGS
- Red-brown sand (SP) that was observed to be partially cemented at certain depths; medium dense, to dense.
- A thin (<6-inches thick) gray poorly graded sand and organics lens. We interpreted this as a buried topsoil horizon. Found in Test Pits 1, 2, 4, and 5. This possible relic topsoil may have been buried by wind shifted sand or tsunami deposits.
- Medium dense, moist to wet, brown-tan sand (SP) with groundwater percolating into the excavation along with “running sand”. Caving of sidewalls usually occurred once groundwater was reached.

The NRCS Web Soil Survey mapping unit was used to identify soils at the project site and is summarized below in Table 1:

Table 1: Site Soil Units

<i>Unit Name</i>	<i>Description</i>
131C—Waldport fine sand	Excessively drained, landform consisting of dunes, parent material is eolian sand of mixed origin, and slopes between 0- and 7-degrees

Nearby well logs show that sands are present to a depth of over 100-feet BGS.

## 2.2 Groundwater

Groundwater was encountered in Test pits 2, 4, and 5 during site explorations with depths ranging from 7.5- to 8.3-feet BGS. Wet sand was found in all test pits below 7-feet BGS. The Well Logs attached in Appendix A were obtained from the Oregon Department of Water Resources online database and are mapped as being in the vicinity (0.5-mile) from the subject site and show a static water level measured after drilling at about 18-feet BGS at the well location, the elevation of the well site is unknown and may be higher than that of the subject site.

Dewatering will likely be necessary for in-ground utility work. Utilities deeper than 4-feet BGS will likely require shoring or laying back of sidewalls at a slope of 1:1 (H:V) if granular soils are wet. If the site pursues an infiltration-based design for the disposal of storm water, infiltration basins are recommended to be placed at least 10-feet from foundations and at a sufficient depth to promote vertical migration of infiltrated water.

## 3.0 GEOLOGIC SETTING

The following sections describe the regional and local site geology. Our field findings are consistent with the geologic mapping of the site area by the Oregon Department of Geology and Mineral Industries and the 1991 Geologic Map of Oregon (Walker and MacLeod).

### 3.1 Regional Geology

The western boundary of the North American continent lies offshore of the Oregon coast where the oceanic Juan de Fuca plate descends under the North American plate forming the Cascadia Subduction Zone (CSZ). The subduction of the oceanic plate led to the accretion of a large oceanic igneous province formed during the Paleocene to middle Eocene onto the North American plate. This province is named the Siletz River Volcanics and forms the basement rock of the region. Deposited within, intruding, and overlying the Siletz formation are marine siltstone, mudstones, and sandstones formed by deposition of turbidity currents derived from terrestrial sources.

### 3.2 Site Geology

The subject site is located near the northern extent of the longest coastal strip of dunes on the Oregon Coast. The dunes in the area were likely formed post ice-age during the Holocene epoch by eolian processes associated with the activity of wind. The typical pattern seen in the area is transverse dunes (running parallel to the ocean) caused by the varying on, and off shore winds. The area is mapped as

sedimentary deposits of the Holocene and or Pleistocene, unconsolidated to poorly consolidated eolian sands and fluvial sedimentary deposits. The subject site is underlain by Holocene-aged sedimentary deposits of unconsolidated to poorly consolidated fine-grained sands.

### 3.3 Geologic Hazards

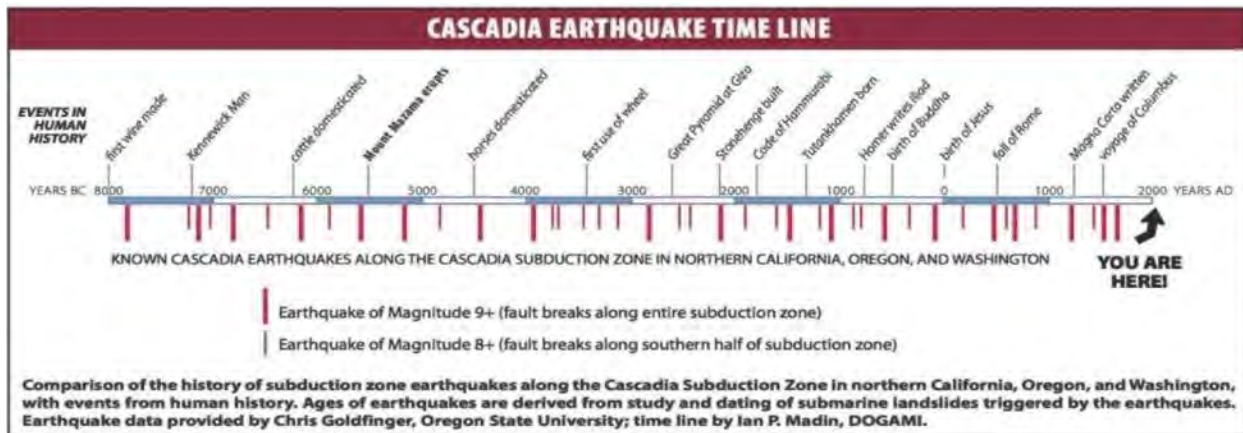
OSSC Sections 1803.5.11 and 1803.5.12 outline the hazards to be addressed by this geotechnical investigation for seismic design categories C through F, which are presented below:

Earthquake Shaking: The site is located on the Oregon Coast where the CSZ is located approximately 100-miles off the coast line and is a zone of converging tectonic plates that historically produces major earthquake events. The Juan de Fuca binds with the North American plate, causing the North American plate to compress and bow upwards. This continues until the stress exceeds the binding forces, causing large magnitude earthquakes. The repeated cycle of these earthquakes can be seen in the geology as layers of peat and alternating mud-rich intertidal deposits. A major risk to coastal development, the CSZ has historically produced intraplate earthquakes with moment magnitudes ( $M_w$ ) that can exceed 9.0. Tsunamis, sudden near shore land subsidence, earthquake induced soil liquefaction, and landslides can all be expected to occur during a future CSZ megathrust earthquake. A depiction of the historical Subduction Zone earthquake events is shown below in the following figure. The DOGAMI HazVu website shows the subject site is expected to experience severe shaking in the event of a CSZ earthquake, and very strong shaking for lesser earthquakes, and a high hazard for earthquake-initiated soil liquefaction.

The site is predicted to experience “severe” to “violent” shaking, as mapped by the DOGAMI Hazard Viewer. Strong shaking generally correlates to a Modified Mercalli Intensity (MMI) rating of VI. Shaking of this magnitude is described as shaking objects off of shelves and causing minor damage to structures and chimneys. Some isolated areas of rockfalls, landslides, and instances of liquefaction may occur. Violent shaking generally correlates to a MMI rating of IX, which is described as causing collapse of unreinforced masonry structures and damage that is moderate to severe in buildings designed to be resistant to earthquakes. People can be forcibly thrown to the ground during this level of shaking<sup>i</sup>.

The rupturing of faults within the Earth’s crust is generally the cause of earthquakes. The ability of a given fault to produce an earthquake that could cause significant shaking at the site is dependent upon the direction of the fault, size of the earthquake that the fault can produce, and its distance from the site. The nearest mapped active fault to the site is located approximately 5.8-miles to the southwest; however, the primary generator of the level of shaking that is expected to occur at the site is the CSZ. Rupture of this fault can produce earthquakes and tsunamis similar to those that occurred during the 1960 and 2020 Chilean earthquakes, the 1964 Good Friday earthquake in Alaska, the 2004 Sumatran earthquake, and the March 2011 quake in Japan. The estimated probability of such an earthquake occurring off the Oregon Coast within the next 50-years is as high as 12-percent<sup>ii</sup>. The image on the following page shows a timeline of historical subduction zone earthquake events and their estimated magnitudes with respect to human history. Earthquakes of similar magnitudes are expected to occur from the CSZ again in the future that is expected to cause widespread damage and disruption to the Pacific Northwest.





- **Slope Instability:** The site is not mapped as being at risk for landsliding. The potential for landslides to occur onsite is unlikely due to the relatively flat topography on-site and that of the surrounding terrain. The risk for slope instability to affect the proposed development is low.
- **Liquefaction:** Liquefaction is caused by the rapid increase of porewater pressure within a saturated soil that leads to the reduction of the interparticle friction between soil grains and can cause a sudden loss of shear strength within the soil. This can lead to the loss of bearing capacity, densification of subsurface soils that can cause large surficial settlements, and the migration of soil particles to the surface in the form of sand boils. Loose, granular soils with a low fine-grained soil content and with a recent depositional history are especially vulnerable to liquefaction. Saturation is required for a soil to experience liquefaction.

The soils observed at the site in the test pits are loose sands with low silt and clay contents and are of a young geologic age. Groundwater was observed in all exploratory test pits in the near surface—within 8.5-feet. It is our opinion that the onsite sand is susceptible to liquefaction during a significant seismic event. The risk of differential settlement and damage to the proposed structures can be reduced if the recommendations in the Building Foundation Subgrade Preparation section below are incorporated into design.

The DOGAMI online hazard viewer maps the site as having a moderate to high risk for liquefaction. This is likely due to the relative age of the underlying young alluvial deposits that were deposited within the last 10,000-years. Our site explorations observed medium dense poorly graded sand down to the water level where the density of the sand was slightly more dense but saturate.

- **Fault Surface Rupture:** As previously stated above, there are no known faults on, or near to, the site. Surface displacement due to surface faulting or rupture is not expected to occur onsite although it may be possible, if unlikely, that unmapped faults exist beneath the site.
- **Seismically Induced Lateral Spreading or lateral flow:** There are no abrupt changes in ground elevation on or near the site other than an apparent shallow drainageway in the northwest

corner of the site that would present a potential for lateral spreading to occur during a seismic event; the risk for lateral spread on the site is low, provided any embanked fill on the site is constructed per the recommendations in this report.

- Tsunami/seiche: Based on the Tsunami Inundation Map Lane-04 Florence and the DOGAMI HazVu website, the subject site is mapped outside of the tsunami inundation limit for a XXL, 9.1 to over 9.1 earthquake magnitude. These limits are speculated and should not be considered exact. A tsunami generated by a CSZ earthquake may result in damage to the subject site and will likely affect access to the site. The nearest body of water is to the site is the Siuslaw River about 0.5-mile west with the ocean about 1.25-west of the site.
- Surface Displacement due to faulting: There are no known active faults on the site, with the nearest mapped faults being more than 5-miles away from the site.
- Total and Differential Settlement: The estimated amount of static total and differential settlement is estimated to be less than  $\frac{3}{4}$ -inch and  $\frac{1}{2}$ -inch, respectively, provided subgrade preparation follows the recommendations in Section 5.2 of this report. Larger total and differential settlements are anticipated in the event of a significant seismic event that causes the site to experience liquefaction. The magnitude of the differential settlement can be minimized by incorporating the more conservative design option outlined below.
- Expansive Soils: The site sand subgrade has little to no expansive soil characteristics.
- Flood Risk: The site is mapped outside the 100-year flood plain.

#### **4.0 CONCLUSIONS**

Our investigation revealed the presence of potentially liquefiable soils over the entire site within the saturated zone below a depth of 7-feet or more. The near surface sands can be densified in-place to some degree to facilitate foundation support; however, the saturated sands are likely to experience liquefaction during a significant seismic event and some settlement and differential settlement should be expected.

#### **5.0 RECOMMENDATIONS**

The following sections present site-specific recommendations for site preparation, drainage, foundations, utility excavations, and slab/pavement design. General material and construction specifications for the items discussed herein are provided in Appendix B.

##### **5.1 Site Preparation and Foundation Subgrade Requirements**

The following recommendations are for earthwork in the building foundation areas, public roadway, and private parking areas. Earthwork shall be performed in general accordance with the standard of

practice as generally described in Appendix J of the Uniform Building Code, the Oregon Structural Specialty Code, and as specified in this report.

All areas intended to directly or laterally support structures, roadways, or pavement areas shall be stripped of vegetation, organic soil, unsuitable fill, and/or other deleterious material. These strippings shall be removed from the site, or reserved for use in landscaping or non-structural areas. In areas of existing trees, vegetation, or if any undocumented fill is observed, the required depth of site stripping/grubbing may be increased. The stripping and grubbing depth for the site is expected to be less than 12-inches in depth unless root zones are encountered, which may be up to 24-inches thick. The northwest area of the site near the creek may require additional excavation depth and shall be evaluated at the time of building pad preparation.

The subsurface conditions observed in our site investigation test pits are consistent; however, the test pits only represent those specific locations on the site. Should soft or unsuitable soils extend to a depth greater than that described herein, or areas of distinct soil variation be discovered, this office shall be notified to perform site observation and additional excavation may be required.

#### **Areas of Private Access and Parking Improvements**

The depth to suitable subgrade for roadway structural sections is below the organic topsoil layer found to be 6- to 12-inches thick in our test pits. We recommend that the top 12-inches of pavement subgrade be prepared by moisture conditioning and subsequent compaction with a smooth drum roller (minimum 7,500 lbs. drum weight). Should grading plans require engineered fill, see section 5.3 for engineered fill requirements. Prior to placing compacted crushed rock aggregate for the roadway structural section, the exposed subgrade shall be approved by the Geotechnical Engineer of Record (GER) or approved representative.

Localized soft/loose areas may be encountered during excavation activities and may require removal and replacement with structural fill, or recompaction. Proof rolls with a loaded 10 cubic yard haul truck or equivalent vehicle shall be conducted on the prepared subgrade prior to the placement of compacted aggregate. Any observed areas of deflection or excessive rutting under load shall be corrected prior to placement of compacted aggregate.

Utility trenches excavated to depths below the top of the subgrade elevation shall be backfilled with material compacted to 90% relative compaction as determined by ASTM D1557 or AASHTO T-180 (modified Proctor). We expect that fill placed on the site will generally be the native sandy soil that will require moisture conditioning and appropriate compaction equipment selection. Sampling of on-site material to be used as engineered fill will be required for Proctor testing to generate moisture-density curves unless provided by supplier.

#### **Building Foundation Subgrade Preparation**

The depth to suitable subgrade for shallow building foundations is approximately 12- to 18-inches BGS. The GER, or designated representative should visit the site to approve the subgrade soil prior to the placement of compacted aggregate or any geotextile fabric. Site grading plans were not available at the writing of this report; however, final building elevations area expected to be near the existing ground elevations. If any test pit explorations are located in building foundation areas, the loose, disturbed soils should be recompacted in lifts back to surface.

BEI recommends remove of loose surface soil to suitable subgrade at a depth of 12- to 18-inches BGS over the entire building footprint and 2-feet beyond perimeter; moisten and compact subgrade material in-place using a vibratory plate compactor mounted on a minimum 30,000 lbs. excavator until no deflection can be observed and then proceed to place structural fill, if necessary, in lifts until 4-inches below footing elevation. Cover compacted subgrade/fill with a cover of crushed aggregate (1.5"-0 or smaller) to a minimum thickness of 4-inches. The aggregate shall be compacted to at least 90% of the aggregate's maximum dry density as determined by ASTM Method D1557.

Prior to placing fill or foundation concrete forms, exposed subgrade materials shall be observed by a Branch Engineering field representative. Areas of loose or unsuitable soil shall be removed to a depth recommended by the GER or designated representative, or otherwise improved at the discretion and direction of the GER.

## 5.2 Soil Bearing Capacity and Settlement

Once the building pad is prepared as described above, the surface of the compacted aggregate shall have an allowable bearing capacity of 1,500 psf that may be increased by 1/3 for short term loading, such as wind or seismic events. We recommend that foundation loads are distributed evenly to mitigate the potential for differential settlement. Settlement due to static loading is expected to be less than 3/4-inch and 1/2-inch for differential settlement. Expected maximum total settlement due to liquefaction may be greater than 6-inches with differential settlement being half of that. Large amounts of damage are likely to occur to the onsite structures in the event of a significant seismic event; although, damage is not expected to be more severe than that caused to other structures in the area.

## 5.3 Structural Fill Recommendations

All engineered fill placed on the site shall consist of homogenous material and shall meet the following recommendations.

- Prior to placement on-site, the aggregate to be used as structural fill shall be approved by the GER, if no Proctor curve (moisture-density relationship) for the material performed within the last 12-months is on file, a material sample will be required for testing to determine the maximum dry density and optimum moisture content of the aggregate or fill material.
- The structural fill shall be moisture conditioned to within +/- 2% of optimum moisture content and compacted in lifts with loose lift thickness not exceeding 12-inches.
- Periodic visits to the site to verify lift thickness, source material, and compaction efforts shall be conducted by the GER, or designated representative, and documented.
- The recommended compaction level for crushed aggregate or soil fill is 90% relative compaction, as determined by ASTM D-1557 (modified Proctor). Compaction shall be measured by testing with nuclear densometer ASTM D-6938, or D-1556 sand cone method on structural fill in excess of 12-inches in thickness.



- If on-site or imported non-granular material is approved for structural fill placement, a sample of the material shall be collected for modified Proctor testing to use for field compaction test comparison. If, due to the nature of the on-site material compaction testing is not possible due to factors such as oversize rock content and variable material, proof rolls with a fully loaded 10 cubic yard haul-truck, or equivalent equipment, shall be observed at regular intervals. Observed areas of soft soil will require over-excavation and replacement with suitable material.

#### **5.4 Excavations**

The site soils are classified as OSHA Type C soils. Heavy equipment or stored materials should not be placed within 10-feet of open excavations.

#### **5.5 Drainage**

A site drainage system is expected to be engineered for this project. Alteration of existing grades for this project will likely change drainage patterns. Slopes next to adjacent properties shall be graded away or blocked from flow so as to not adversely impact adjacent properties. Perimeter landscape and hardscape grades shall be sloped away from the foundations and water shall not be allowed to pond adjacent to footings during or after construction.

#### **5.6 Slabs-On-Grade**

After site preparation to expose suitable subgrade and after compaction of the top 12-inches, load bearing concrete slabs shall be underlain by a minimum of 4-inches of compacted, crushed aggregate. If soft/loose or saturated subgrade is encountered, over-excavation and replacement with engineered fill will be required. A free draining aggregate is recommended beneath structural slabs.

The modulus of subgrade reaction (K) of the in-situ soil at about 12-inches below existing grade is 150 lb/in<sup>3</sup> and the correlated California Bearing Ratio of the soil is correlated to be 5 in the onsite sand. The K value represents the anticipated result from an in-situ load test of a standard 1-foot square plate placed on the subgrade. Use of this modulus for the design of other on-grade structural elements, such as footings, should include appropriate modification based on the dimensions of the element.

#### **5.7 Soil Shrink/Swell Potential**

The underlying native sandy soils have little to no shrink/swell potential.

#### **5.8 Friction Coefficient and Earth Pressures**

For use in design of subsurface structures or retaining walls the following allowable parameters are given based on an internal angle of friction of 27° for the native sand. These values are assuming that the retaining structures are free draining with no hydrostatic pressures and the retained soil is level and there are no surcharge loads.

1. The coefficient of friction for concrete poured neat against undisturbed native soil is 0.45 and if poured atop a minimum thickness of 12-inches of compacted aggregate placed on the on-site material the coefficient is 0.50.

2. The passive earth pressure is 240 pcf (assuming soil unit weight of 90 pcf).
3. The active earth pressure is 35 pcf for unrestrained walls.
4. The at-rest earth pressure for a restrained wall is 50 pcf.

**5.9 Wet Weather/Dry Weather Construction Practices**

The site material is well drained and shall be covered with compacted aggregate in a timely manner after excavation to subgrade or placement of structural fill. Construction during the wet season may require special drainage considerations, such as covering of excavations, pumping to mitigate standing water in footing excavations, or sidewall caving mitigation such as back sloping footing excavation at a 1:1 (H:V).

**5.10 Pavement Design Recommendations**

Our recommendations for any parking or driveway improvements used a CBR of 10 and the guidance of the 1993 AASHTO Guide for Design of Pavement Structures and 2003 revised Asphalt Pavement Design Guide, published by the Asphalt Pavement Association of Oregon.

For new AC pavement installation in parking areas and light vehicle routes, we recommend a minimum pavement thickness of 3-inches of AC over a minimum of 6-inches of compacted base rock. We recommend that the AC thickness be increased to 4-inches in areas of heavier traffic, such as refuse truck routes or delivery vehicles. Prior to placement of base rock any soft soil, wet soil, or organic soil shall be removed from the pavement subgrade. The geotechnical engineer of record, or designated representative should visit the site to approve the subgrade soil prior to the placement of the base rock.

The base rock shall be compacted to at least 95% relative compaction as determined by ASTM 1557/AASHTO T-180 (modified Proctor). The base rock shall be tested to measure compliance with this compaction standard prior to placement of asphalt concrete.

Table 2: Recommended Structural Pavement Section for private road section

<i>Pavement Criteria</i>	<i>Asphalt Concrete (inches)</i>	<i>ABM Section (inches)</i>
Parking Lot Access Route	4	6
Private Road Section	3	6

The pavement recommendations discussed above are designed for the type of vehicle use on the site after construction completion, not for construction vehicle traffic which is generally heavier, occurs over a short time, and impacts the site before full pavement sections are constructed. The construction traffic may cause subgrade failures and the site contractor should consider over-building designated haul routes through the site to mitigate soft areas at the time of final paving.

**5.11 Geotechnical Construction Site Observations**

Periodic site observations by a geotechnical representative of BEI are recommended during the construction of the project; the specific phases of construction that should be observed are shown below in Tables 3 and 4.

Table 3: OSSC Soil Special Inspection Criteria

<b>TABLE 1705.6</b>		
<b>REQUIRED SPECIAL INSPECTIONS AND TESTS OF SOILS</b>		
<b>TYPE</b>	<b>CONTINUOUS</b>	<b>PERIODIC</b>
1. Verify materials below shallow foundations are adequate to achieve the design bearing capacity.	-	X
2. Verify excavations are extended to proper depth and have reached proper material.	-	X
3. Perform classification and testing of compacted fill materials.	-	X
4. During fill placement, verify use of proper materials and procedures in accordance with the provisions of the approved geotechnical report. Verify densities and lift thicknesses during placement and compaction of compacted fill.*	X	-
5. Prior to placement of compacted fill, inspect subgrade and verify that site has been prepared properly.	-	X

\*An accredited testing agency is recommended to be retained for density testing; BEI staff should perform the remaining inspection items shown.

Table 4: BEI Inspection Criteria

<b>BRANCH ENGINEERING REQUIRED SPECIAL INSPECTIONS AND TESTS OF SOILS</b>		
<b>TYPE</b>	<b>CONTINUOUS</b>	<b>PERIODIC</b>
1. Verify recommended setbacks from footings to edge of structural fill is provided.	-	X

## **6.0 REPORT LIMITATIONS**

This report has presented BEI’s site observations and research, subsurface explorations, geotechnical engineering analyses, and recommendations for the proposed site development. The conclusions in this report are based on the conditions described in this report and are intended for the exclusive use of addressee of this report and designated representatives for use in design and construction of the development described herein. The analysis and recommendations may not be suitable for other structures or purposes.

Services performed by the geotechnical engineer for this project have been conducted with the level of care and skill exercised by other current geotechnical professionals in this area. No warranty is herein expressed or implied. The conclusions in this report are based on the site conditions as they currently exist and it is assumed that the limited site locations that were physically investigated generally represent the subsurface conditions at the site. Should site development or site conditions change, or if a substantial amount of time goes by between our site investigation and site development, we reserve the right to review this report for its applicability. If you have any questions regarding the contents of this report, please contact our office.

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<sup>i</sup> USGS MMI Scale: <https://www.usgs.gov/media/images/modified-mercalli-intensity-mmi-scale-assigns-intensities> (accessed date June 2024)

<sup>ii</sup> DOGAMI Oregon Hazvu: Statewide Geohazards Viewer Hazards and Assets:  
<https://www.oregon.gov/dogami/hazvu/Pages/hazards-assets.aspx> (accessed date June 2024)



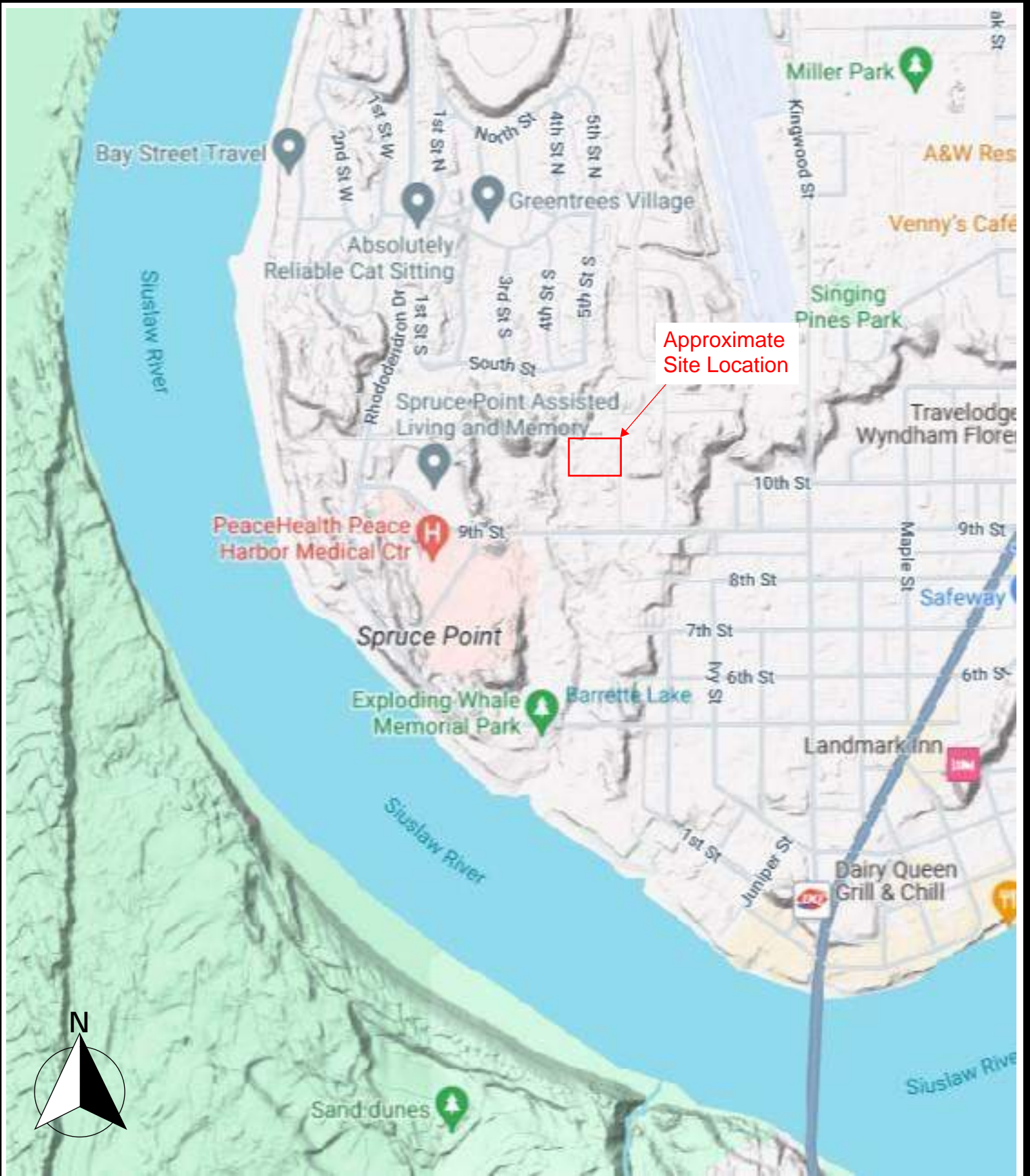


Image from Google Maps



SITE VICINITY MAP - OUR COASTAL VILLAGE, INC

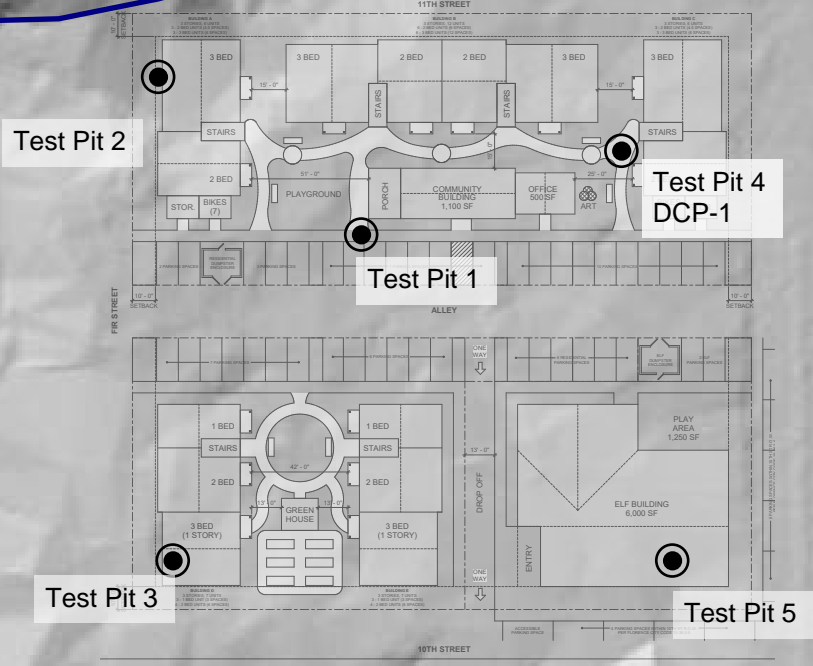
FIGURE-1

Tax Lots 01100 & 01200 Greenwood Street

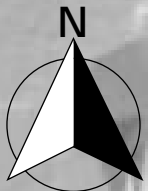
6-14-2024

BEI PROJECT NO. 21-191

Shallow creek runs close to NW corner of proposed development



Project overlay and locations of test pits are estimated



LIDAR image from DOGAMI, Overlay from client

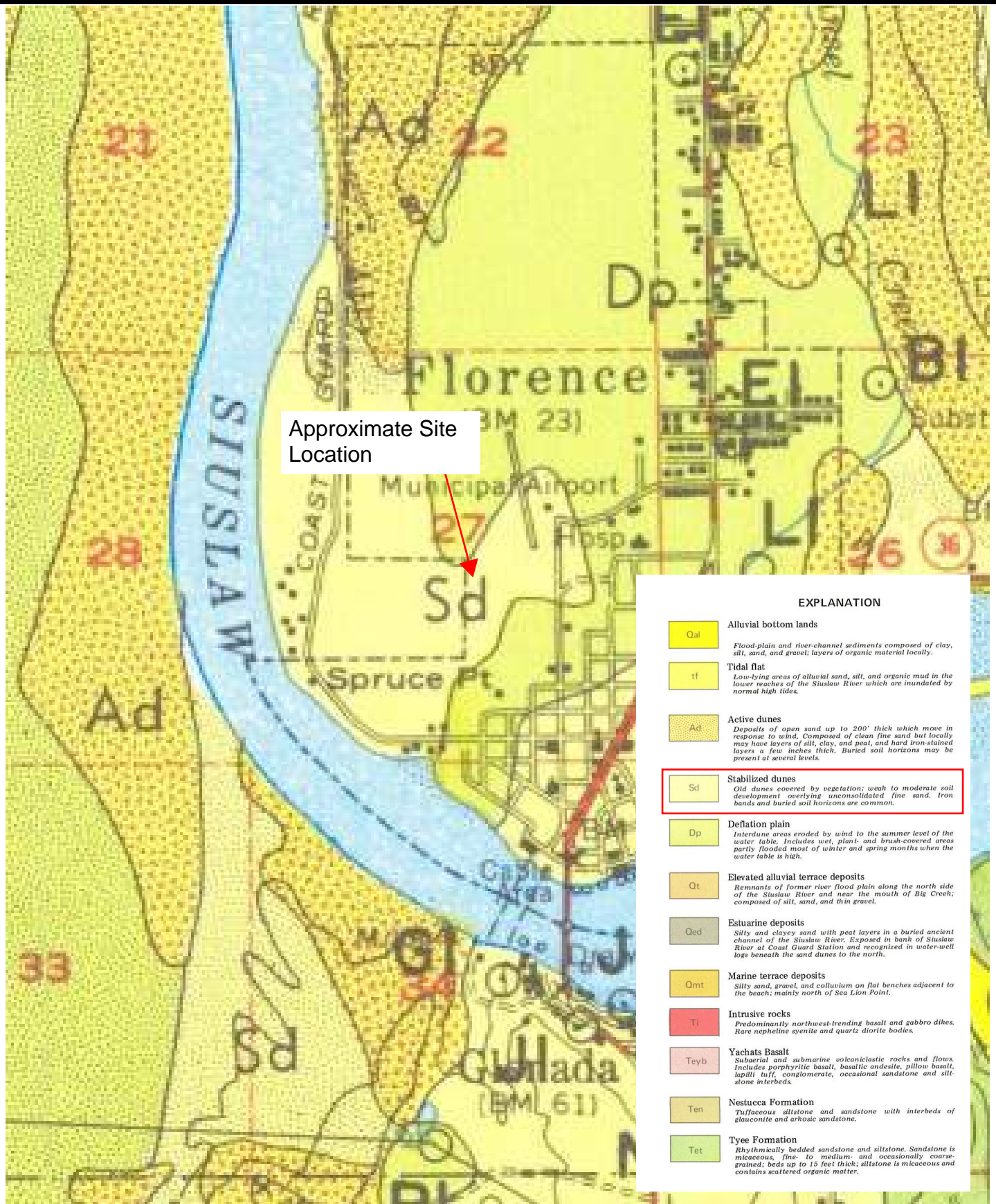


IMAGE from DOGAMI



**SITE GEOLOGY - OUR COASTAL VILLAGE, INC**  
 Tax Lots 01100 & 01200 Greenwood Street

**FIGURE-3**  
 6-01-2024

BEI PROJECT NO. 21-191

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## **APPENDIX A:**

- USCS SOIL KEY
- SOIL TEST PIT LOGS
- OWRD WELL LOGS
- USDA SOIL SURVEY



**RELATIVE DENSITY - COARSE GRAINED SOILS**

RELATIVE DENSITY	SPT N-VALUE	D&M SAMPLER (140 lbs hammer)	D&M SAMPLER (300 lbs hammer)
VERY LOOSE	< 4	< 11	< 4
LOOSE	4 - 10	11 - 26	4 - 10
MEDIUM DENSE	10 - 30	26 - 74	10 - 30
DENSE	30 - 50	74 - 120	30 - 47
VERY DENSE	> 50	> 120	> 47

**USCS GRAIN SIZE**

FINES	< #200 (.075 mm)
SAND	Fine #200 - #40 (.425 mm)
	Medium #40 - #10 (2 mm)
	Coarse #10 - #4 (4.75 mm)
GRAVEL	Fine #4 - 0.75 inch
	Coarse 0.75 - 3 inch
COBBLES	3 - 12 inches

**CONSISTENCY - FINE GRAINED SOILS**

CONSISTENCY	SPT N-VALUE	D&M SAMPLER (140 lbs hammer)	D&M SAMPLER (300 lbs hammer)	POCKET PEN. / UNCONFINED (TSF)	MANUAL PENETRATION TEST
VERY SOFT	< 2	< 3	< 2	< 0.25	Easy several inches by fist
SOFT	2 - 4	3 - 6	2 - 5	0.25 - 0.50	Easy several inches by thumb
MEDIUM STIFF	4 - 8	6 - 12	5 - 9	0.50 - 1.00	Moderate several inches by thumb
					Readily indented by thumb
VERY STIFF	15 - 30	25 - 65	19 - 31	2.00 - 4.00	Readily indented by thumbnail
HARD	> 30	> 65	> 31	> 4.00	Difficult by thumbnail

**UNIFIED SOIL CLASSIFICATION CHART**

MAJOR DIVISIONS		GROUP SYMBOLS AND TYPICAL NAMES			
COARSE-GRAINED SOILS: More than 50% retained on No. 200 sieve	GRAVELS: 50% or more retained on the No. 4 sieve	CLEAN GRAVELS	GW Well-graded gravels and gravel-sand mixtures, little or no fines. GP Poorly-graded gravels and gravel-sand mixtures, little or no fines.		
		GRAVELS WITH FINES	GM Silty gravels, gravel-sand-silt mixtures. GC Clayey gravels, gravel-sand-clay mixtures.		
		CLEAN SANDS	SW Well-graded sands and gravelly sands, little or no fines. SP Poorly-graded sands and gravelly sands, little or no fines.		
			SANDS WITH FINES	SM Silty sands, sand-silt mixtures. SC Clayey sands, sand-clay mixtures.	
	FINE-GRAINED SOILS: Less than 50% retained on No. 200 sieve	SILT AND CLAY	LIQUID LIMIT LESS THAN 50	ML Inorganic silts, rock flour, clayey silts. CL Inorganic clays of low to medium plasticity, lean clays. OL Organic silt and organic silty clays of low plasticity.	
				LIQUID LIMIT 50 OR GREATER	MH Inorganic silts, clayey silts. CH Inorganic clays of high plasticity, fat clays. OH Organic clays of medium to high plasticity.
			HIGHLY ORGANIC SOILS		PT Peat, muck, and other highly organic soil.

**MOISTURE CONTENT**

DRY: Absence of moisture, dusty, dry to the touch  
 DAMP: Some moisture but leaves no moisture on hand  
 MOIST: Leaves moisture on hand  
 WET: Visible free water, usually saturated

	PLASTICITY	DRY STRENGTH	DILATANCY	TOUGHNESS
ML	Non to Low	Non to Low	Slow to Rapid	Low, can't roll
CL	Low to Med.	Med. to High	None to Slow	Medium
MH	Med. to High	Low to Med.	None to Slow	Low to Med.
CH	Med. to High	High to V.High	None	High

**STRUCTURE**

STRATIFIED: Alternating layers of material or color > 6mm thick.  
 LAMINATED: Alternating layers < 6mm thick.  
 FISSURED: Breaks along definite fracture planes.  
 SLICKENSIDED: Striated, polished, or glossy fracture planes.  
 BLOCKY: Cohesive soil that can be broken down into small angular lumps which resist further breakdown.  
 LENSES: Has small pockets of different soils, note thickness.  
 HOMOGENEOUS: Same color and appearance throughout.

**LIST OF ABBREVIATION & EXPLANATIONS**

SPT	Standard Penetration Test split barrel sampler	G	Grab sample
D&M	Dames and Moore sampler	MC	Moisture Content
LL	Atterberg Liquid Limit	MD	Moisture Density
PL	Atterberg Plastic Limit	UC	Unconfined Compressive Strength
PP	Pocket Penetrometer		
VS	Vane Shear		

TABLE A-1





















<b>Client:</b> Layne Morrill	<b>Project Name:</b> Our Coastal Village
<b>Project Number:</b> 24-191	<b>Project Location:</b> Greenwood Street Florence, Oregon
<b>Date Started:</b> Jun 11 2024 <b>Completed:</b> Jun 11 2024	<b>Logged By:</b> SPR <b>Checked By:</b> RJD
<b>Drilling Contractor:</b> Branch Engineering Inc.	<b>Latitude:</b> _____ <b>Longitude:</b> _____ <b>Elevation:</b> _____
<b>Drilling Method:</b> Test Pit Excavation	<b>Ground Water Levels</b>
<b>Equipment:</b> Rubber Tracked Mini-Excavator	▼
<b>Hammer Type:</b> _____	▼
<b>Notes:</b> _____	▼

Depth	Graphic	Material Description	Sample	Pocket Pen. (tsf)	Free Swell	Moisture Content: ⊗ PL and LL: ●■
						10 20 30 40 50 60 70 80 90
		Very loose, damp, dark brown sandy organics, forest duff.				
1		Loose, moist, reddish-orange gray poorly graded sand (SP), trace roots.				
2		Medium dense, moist, reddish-orange poorly graded sand (SP), weak cementation.				
3		Medium dense, moist, brown-tan poorly graded sand (SP)				
4						
5		Medium dense, moist, gray poorly graded sand (SP) with roots. Interpreted as a buried topsoil horizon.				
6		Medium dense, moist to wet, brown-tan poorly graded sand (SP)				
7						
8						
9						
10						





Client: Layne Morrill Project Name: Our Coastal Village  
 Project Number: 24-191 Project Location: Greenwood Street Florence, Oregon  
 Date Started: Jun 11 2024 Completed: Jun 11 2024 Logged By: SPR Checked By: RJD  
 Drilling Contractor: Branch Engineering Inc. Latitude: \_\_\_\_\_ Longitude: \_\_\_\_\_ Elevation: \_\_\_\_\_  
 Drilling Method: Test Pit Excavation Ground Water Levels \_\_\_\_\_  
 Equipment: Rubber Tracked Mini-Excavator   
 Hammer Type: \_\_\_\_\_   
 Notes: \_\_\_\_\_ 

Depth	Graphic	Material Description	Sample	Pocket Pen. (tsf)	Free Swell	Moisture Content: ⊗ PL and LL: ●■
						10 20 30 40 50 60 70 80 90
0		Very loose, damp, dark brown sandy organics, forest duff				
1		Medium dense, moist reddish-orange poorly graded sand (SP), weakly cemented				
2						
3		Medium dense to dense, moist, brown-tan poorly graded sand (SP)				
4						
5						
6						
7						
8						
9						
10						









# DYNAMIC CONE LOG

PROJECT NUMBER: 21-191  
 DATE STARTED: 06-11-2024  
 DATE COMPLETED: 06-11-2024

HOLE #: DC-1  
 CREW: Sam Rabe EI  
 PROJECT: Our Coastal Village  
 ADDRESS: Greenwood Street  
 LOCATION: Florence, Oregon

SURFACE ELEVATION: \_\_\_\_\_  
 WATER ON COMPLETION: No  
 HAMMER WEIGHT: 35 lbs.  
 CONE AREA: 10 sq. cm

DEPTH	BLOWS PER 10 cm	RESISTANCE Kg/cm <sup>2</sup>	GRAPH OF CONE RESISTANCE				N'	TESTED CONSISTENCY	
			0	50	100	150		NON-COHESIVE	COHESIVE
1 ft	4	17.8	•••••				5	LOOSE	MEDIUM STIFF
	3	13.3	•••				3	VERY LOOSE	SOFT
	4	17.8	•••••				5	LOOSE	MEDIUM STIFF
	6	26.6	••••••				7	LOOSE	MEDIUM STIFF
2 ft	7	31.1	•••••••				8	LOOSE	MEDIUM STIFF
	11	48.8	••••••••••				13	MEDIUM DENSE	STIFF
3 ft	12	53.3	••••••••••				15	MEDIUM DENSE	STIFF
	14	62.2	•••••••••••				17	MEDIUM DENSE	VERY STIFF
	12	53.3	••••••••••				15	MEDIUM DENSE	STIFF
1 m	14	54.0	••••••••••				15	MEDIUM DENSE	STIFF
	15	57.9	••••••••••				16	MEDIUM DENSE	VERY STIFF
4 ft	9	34.7	•••••••				9	LOOSE	STIFF
	10	38.6	••••••••				11	MEDIUM DENSE	STIFF
5 ft	8	30.9	•••••••				8	LOOSE	MEDIUM STIFF
	11	42.5	••••••••				12	MEDIUM DENSE	STIFF
6 ft	10	38.6	••••••••				11	MEDIUM DENSE	STIFF
	10	38.6	••••••••				11	MEDIUM DENSE	STIFF
	14	54.0	••••••••••				15	MEDIUM DENSE	STIFF
2 m									
7 ft									
8 ft									
9 ft									
3 m									
10 ft									
11 ft									
12 ft									
4 m									
13 ft									

NOTICE TO WATER WELL CONTRACTOR  
The original and first copy of this report are to be filed with the

**RECEIVED**  
**WATER WELL REPORT LANE**  
FEB 5 1981  
STATE OF OREGON  
WATER RESOURCES DEPT  
SALEM, OREGON  
019298  
Please type or print  
Do not write above this line

WATER RESOURCES DEPARTMENT,  
SALEM, OREGON 97310  
within 30 days from the date  
of well completion.

State Well No. 183-12w-27  
State Permit No. Best well  
PAGE 1 of 3 PAGES

**(1) OWNER:**  
Name Lane Council of Governments  
Address 125 East 8th Avenue  
Eugene, Oregon 97401

**(2) TYPE OF WORK (check):**  
New Well  Deepening  Reconditioning  Abandon   
If abandonment, describe material and procedure in Item 12.

**(3) TYPE OF WELL:** Rotary  Driven  Jetted  Bored   
 **(4) PROPOSED USE (check):** Domestic  Industrial  Municipal  Irrigation  Test Well  Other

**(5) CASING INSTALLED:** Threaded  Welded   
6 5/8" Diam. from +11 ft. to 189 ft. Gage \*250  
**(PULLED CASING AT COMPLETION OF JOB)**  
" Diam. from ..... ft. to ..... ft. Gage .....

**(6) PERFORATIONS:** Perforated?  Yes  No.  
Type of perforator used .....  
Size of perforations in. by in.  
..... perforations from ..... ft. to ..... ft.  
..... perforations from ..... ft. to ..... ft.  
..... perforations from ..... ft. to ..... ft.

**(7) SCREENS:** Well screen installed?  Yes  No  
Manufacturer's Name .....  
Type ..... Model No. ....  
Diam. .... Slot size ..... Set from ..... ft. to ..... ft.  
Diam. .... Slot size ..... Set from ..... ft. to ..... ft.

**(8) WELL TESTS:** Drawdown is amount water level is lowered below static level  
a pump test made?  Yes  No If yes, by whom?  
Yield: gal./min. with ft. drawdown after hrs.  
" " " " " "  
" " " " " "  
Packer test gal./min. with ft. drawdown after hrs.  
Artesian flow g.p.m.  
Temperature of water Depth artesian flow encountered ft.

**(9) CONSTRUCTION:** Well seal—Material used See No. 12  
Well sealed from land surface to ..... ft.  
Diameter of well bore to bottom of seal ..... in.  
Diameter of well bore below seal ..... in.  
Number of sacks of cement used in well seal ..... sacks  
How was cement grout placed? .....

Was a drive shoe used?  Yes  No Plugs ..... Size: location ..... ft.  
Did any strata contain unusable water?  Yes  No  
Type of water? depth of strata .....  
Method of sealing strata off .....  
Was well gravel packed?  Yes  No Size of gravel: .....  
Gravel placed from ..... ft. to ..... ft.

**(10) LOCATION OF WELL:**  
County Lane Driller's well number 605-165  
..... 1/4 Section 27 T. 18 S. R. 12 W. W.M.  
Bearing and distance from section or subdivision corner  
Tax Lot No. 105

**(11) WATER LEVEL: Completed well.**  
Depth at which water was first found 9'8"   
Static level 17'10"  below land surface. Date 1/7/81  
Artesian pressure lbs. per square inch. Date .....

**(12) WELL LOG:** Diameter of well below casing 6"  
Depth drilled 225 ft. Depth of completed well 0 ft.  
Formation: Describe color, texture, grain size and structure of materials; and show thickness and nature of each stratum and aquifer penetrated, with at least one entry for each change of formation. Report each change in position of Static Water Level and indicate principal water-bearing strata.

MATERIAL	From	To	SWL
Rock - surfacing	0	6"	
Sand, dry, tan	6"	8'6"	
Sand, plastic, some tan clay	8'6"	18'2"	
" , fine, brown	18'2"	20'	
" , fine, gray, heaving	20'	44'	
" , fine, gray w/wash.	44'	48'	
" , fine, gray, heaving	48'	50'	
" , fine, gray-tan, mottled, heaving	50'	58'	
" , fine, gray w/red wash & vegetative matter	58'	60'	
" , fine, gray, clean	60'	75'	
" , fine, gray w/brn wash	75'	90'6"	
" , fine, gray, heaving	90'6"	98'	
" , fine, gray w/brn wash	98'	102'	
" , fine, gray, heaving	102'	108'	
" , fine, gray w/brn wash	108'	116'6"	
" , fine, gray; dark green w/ silt clay	116'6"	131'	

CONTINUED ON NEXT SHEET  
Work started Dec. 8 1980 Completed Jan. 8 1981  
Date well drilling machine moved off of well Jan 8 1981

**Drilling Machine Operator's Certification:**  
This well was constructed under my direct supervision. Materials used and information reported above are true to my best knowledge and belief.  
[Signed] Jhu J Hoek Date 2/2/81  
(Drilling Machine Operator)  
Drilling Machine Operator's License No. 931

**Water Well Contractor's Certification:**  
This well was drilled under my jurisdiction and this report is true to the best of my knowledge and belief.  
Name Hoek Well Drilling  
(Person, firm or corporation) (Type or print)  
Address P. O. Box 1577, Eugene, OR 97440  
[Signed] Jhu J Hoek  
(Water Well Contractor)  
Contractor's License No. 605 Date Feb. 2, 1981

WATER RESOURCES DEPARTMENT,  
SALEM, OREGON 97310  
within 30 days from the date  
of well completion.

FEB 5 1981 STATE OF OREGON

(Please type or print)

WATER RESOURCES DEPT  
SALEM, OREGON

(Do not write above this line)

State Well No. 185-12w-27

State Permit No. \_\_\_\_\_

PAGE 2 of 3 PAGES

**(1) OWNER:**

Name Lane Council of Governments  
Address 125 East 8th Avenue  
Eugene, Oregon 97401

**(2) TYPE OF WORK (check):**

New Well  Deepening  Reconditioning  Abandon

If abandonment, describe material and procedure in Item 12.

**(3) TYPE OF WELL:**

Rotary  Driven   
 Jetted   
 Bored

**(4) PROPOSED USE (check):**

Domestic  Industrial  Municipal   
Irrigation  Test Well  Other

**(5) CASING INSTALLED:**

Threaded  Welded

" Diam. from \_\_\_\_\_ ft. to \_\_\_\_\_ ft. Gage \_\_\_\_\_  
" Diam. from \_\_\_\_\_ ft. to \_\_\_\_\_ ft. Gage \_\_\_\_\_  
" Diam. from \_\_\_\_\_ ft. to \_\_\_\_\_ ft. Gage \_\_\_\_\_

**(6) PERFORATIONS:**

Perforated?  Yes  No.

Type of perforator used \_\_\_\_\_

Size of perforations \_\_\_\_\_ in. by \_\_\_\_\_ in.  
\_\_\_\_\_ perforations from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.  
\_\_\_\_\_ perforations from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.  
\_\_\_\_\_ perforations from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.

**(7) SCREENS:**

Well screen installed?  Yes  No

Manufacturer's Name \_\_\_\_\_ Model No. \_\_\_\_\_  
Type \_\_\_\_\_  
Diam. \_\_\_\_\_ Slot size \_\_\_\_\_ Set from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.  
Diam. \_\_\_\_\_ Slot size \_\_\_\_\_ Set from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.

**(8) WELL TESTS:**

Drawdown is amount water level is lowered below static level

\_\_\_\_\_ a pump test made?  Yes  No. If yes, by whom?  
Yield: \_\_\_\_\_ gal./min. with \_\_\_\_\_ ft. drawdown after \_\_\_\_\_ hrs.  
" " " " " " " "  
" " " " " " " "  
\_\_\_\_\_ a pump test \_\_\_\_\_ gal./min. with \_\_\_\_\_ ft. drawdown after \_\_\_\_\_ hrs.  
Artesian flow \_\_\_\_\_ g.p.m.  
Temperature of water \_\_\_\_\_ Depth artesian flow encountered \_\_\_\_\_ ft.

**(9) CONSTRUCTION:**

Well seal—Material used \_\_\_\_\_  
Well sealed from land surface to \_\_\_\_\_ ft.  
Diameter of well bore to bottom of seal \_\_\_\_\_ in.  
Diameter of well bore below seal \_\_\_\_\_ in.  
Number of sacks of cement used in well seal \_\_\_\_\_ sacks  
How was cement grout placed? \_\_\_\_\_

Was a drive shoe used?  Yes  No Plugs \_\_\_\_\_ Size: location \_\_\_\_\_ ft.  
Did any strata contain unusable water?  Yes  No  
Type of water? \_\_\_\_\_ depth of strata \_\_\_\_\_  
Method of sealing strata off \_\_\_\_\_  
Was well gravel packed?  Yes  No Size of gravel: \_\_\_\_\_  
Gravel placed from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.

**(10) LOCATION OF WELL:**

County Lane Driller's well number 605-165  
1/4 1/4 Section 27 T. 18 S. R. 12 W W.M.  
Bearing and distance from section or subdivision corner  
Tax Lot No. 105

**(11) WATER LEVEL: Completed well.**

Depth at which water was first found \_\_\_\_\_ ft.  
Static level \_\_\_\_\_ ft. below land surface. Date \_\_\_\_\_  
Artesian pressure \_\_\_\_\_ lbs. per square inch. Date \_\_\_\_\_

**(12) WELL LOG:**

Diameter of well below casing \_\_\_\_\_

Depth drilled \_\_\_\_\_ ft. Depth of completed well \_\_\_\_\_ ft.

Formation: Describe color, texture, grain size and structure of materials; and show thickness and nature of each stratum and aquifer penetrated, with at least one entry for each change of formation. Report each change in position of Static Water Level and indicate principal water-bearing strata.

MATERIAL	From	To	SWL
Sand, fine, gray w/shells	131'	148'	
" " " lighter gray	148'	150'	
" " " w/some shells	150'	156'	
" " " fine, gray, w/less shell			
some wood	156'	166'	
" " " fine, lighter, more wood	166'	168' 6"	
Clay, dk. gray w/silt	168' 6"	172'	
Silt, dk. gray w/clay	172'	180'	
Sand, fine, brown, heaving	180'	181'	
Silt & clay, dark gray	181'	184' 6"	
Silt & clay, dk. gray, firm	184' 6"	189' 6"	
Silt w/some clay, dk gray	189' 6"	201'	
Sandstone, gray, brown	201'	204'	
Silt w/clay w/wood, shell			
charcoal, pine cone; some			
blue shale	204'	210'	
Silt, more clay, dk gray, less			
wood & shell	210'	213'	
Sand, dark gray, heaving	213'	215'	

CONTINUED ON NEXT SHEET  
Work started \_\_\_\_\_ 19 \_\_\_\_\_ Completed \_\_\_\_\_ 19 \_\_\_\_\_  
Date well drilling machine moved off of well \_\_\_\_\_ 19 \_\_\_\_\_

**Drilling Machine Operator's Certification:**

This well was constructed under my direct supervision. Materials used and information reported above are true to my best knowledge and belief.

[Signed] John Z. Hoeck Date 2/2/81  
(Drilling Machine Operator)

Drilling Machine Operator's License No. 931

**Water Well Contractor's Certification:**

This well was drilled under my jurisdiction and this report is true to the best of my knowledge and belief.

Name Hoeck Well Drilling  
(Person, firm or corporation) (Type or print)

Address P. O. Box 1577, Eugene, OR 97440

[Signed] John Z. Hoeck  
(Water Well Contractor)

Contractor's License No. 605 Date Feb. 2, 1981

NOTICE TO WATER WELL CONTRACTOR  
The original and first copy of this report  
are to be filed with the

WATER RESOURCES DEPARTMENT,  
SALEM, OREGON 97310  
within 30 days from the date  
of well completion.

# WATER WELL REPORT

STATE OF OREGON  
(Please type or print)

(Do not write above this line)

State Well No. 18s-12w-27

State Permit No. \_\_\_\_\_

PAGE 3 of 3 PAGES

(1) OWNER:  
Name Lane Council of Governments  
Address 125 East 8th Avenue  
Eugene, Oregon 97401

(2) TYPE OF WORK (check):  
New Well  Deepening  Reconditioning  Abandon   
If abandonment, describe material and procedure in Item 12.

(3) TYPE OF WELL: (4) PROPOSED USE (check):  
Rotary  Driven  Domestic  Industrial  Municipal   
 Jetted  Irrigation  Test Well  Other   
 Bored

(5) CASING INSTALLED: Threaded  Welded   
" Diam. from \_\_\_\_\_ ft. to \_\_\_\_\_ ft. Gage \_\_\_\_\_  
" Diam. from \_\_\_\_\_ ft. to \_\_\_\_\_ ft. Gage \_\_\_\_\_  
" Diam. from \_\_\_\_\_ ft. to \_\_\_\_\_ ft. Gage \_\_\_\_\_

(6) PERFORATIONS: Perforated?  Yes  No.  
Type of perforator used \_\_\_\_\_  
Size of perforations in. by \_\_\_\_\_ in.  
\_\_\_\_\_ perforations from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.  
\_\_\_\_\_ perforations from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.  
\_\_\_\_\_ perforations from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.

(7) SCREENS: Well screen installed?  Yes  No  
Manufacturer's Name \_\_\_\_\_  
Type \_\_\_\_\_ Model No. \_\_\_\_\_  
Diam. \_\_\_\_\_ Slot size \_\_\_\_\_ Set from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.  
Diam. \_\_\_\_\_ Slot size \_\_\_\_\_ Set from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.

(8) WELL TESTS: Drawdown is amount water level is lowered below static level  
a pump test made?  Yes  No If yes, by whom?  
Yield: gal./min. with \_\_\_\_\_ ft. drawdown after \_\_\_\_\_ hrs.  
" " " " "  
" " " " "  
Beller test gal./min. with \_\_\_\_\_ ft. drawdown after \_\_\_\_\_ hrs.  
Artesian flow g.p.m. \_\_\_\_\_  
Temperature of water \_\_\_\_\_ Depth artesian flow encountered \_\_\_\_\_ ft.

(9) CONSTRUCTION:  
Well seal—Material used \_\_\_\_\_  
Well sealed from land surface to \_\_\_\_\_ ft.  
Diameter of well bore to bottom of seal \_\_\_\_\_ in.  
Diameter of well bore below seal \_\_\_\_\_ in.  
Number of sacks of cement used in well seal \_\_\_\_\_ sacks  
How was cement grout placed? \_\_\_\_\_  
Was a drive shoe used?  Yes  No Plugs \_\_\_\_\_ Size: location \_\_\_\_\_ ft.  
Did any strata contain unusable water?  Yes  No  
Type of water? \_\_\_\_\_ depth of strata \_\_\_\_\_  
Method of sealing strata off \_\_\_\_\_  
Was well gravel packed?  Yes  No Size of gravel: \_\_\_\_\_  
Gravel placed from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.

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County Lane Driller's well number 605-165  
1/4 1/4 Section 27 T. 18 S. 12 W. W.M.  
Bearing and distance from section or subdivision corner  
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Depth at which water was first found \_\_\_\_\_ ft.  
Static level \_\_\_\_\_ ft. below land surface. Date \_\_\_\_\_  
Artesian pressure \_\_\_\_\_ lbs. per square inch. Date \_\_\_\_\_

(12) WELL LOG: Diameter of well below casing \_\_\_\_\_  
Depth drilled \_\_\_\_\_ ft. Depth of completed well \_\_\_\_\_ ft.  
Formation: Describe color, texture, grain size and structure of materials; and show thickness and nature of each stratum and aquifer penetrated, with at least one entry for each change of formation. Report each change in position of Static Water Level and indicate principal water-bearing strata.

MATERIAL	From	To	SWL
Silt w/clay and some sand, dark gray	215'	225'	17'10"
PIEZOMETERS INSTALLED IN HOLE TO 210 FEET. CASING REMOVED. HOLE FILLED AND CAVED IN AS CASING WAS REMOVED.			

Work started \_\_\_\_\_ 19 \_\_\_\_\_ Completed \_\_\_\_\_ 19 \_\_\_\_\_  
Date well drilling machine moved off of well \_\_\_\_\_ 19 \_\_\_\_\_

Drilling Machine Operator's Certification:  
This well was constructed under my direct supervision. Materials used and information reported above are true to my best knowledge and belief.  
[Signed] John L. Hoek Date 2/2/81  
(Drilling Machine Operator)  
Drilling Machine Operator's License No. 931

Water Well Contractor's Certification:  
This well was drilled under my jurisdiction and this report is true to the best of my knowledge and belief.  
Hoek Well Drilling  
Name \_\_\_\_\_ (Person, firm or corporation) (Type or print)  
Address P.O. Box 1577, Eugene, OR 97440  
[Signed] John L. Hoek  
(Water Well Contractor)  
Contractor's License No. 931 Date Feb. 2, 1981

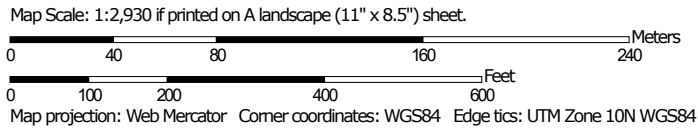




Soil Map—Lane County Area, Oregon  
(Elm Park PUD - Florence)



Soil Map may not be valid at this scale.



## MAP LEGEND

### Area of Interest (AOI)

 Area of Interest (AOI)

### Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

### Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

### Water Features



Streams and Canals

### Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

### Background



Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

**Warning:** Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL:  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Lane County Area, Oregon  
Survey Area Data: Version 22, Sep 8, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: May 19, 2023—Jun 3, 2023

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
131C	Waldport fine sand, 0 to 12 percent slopes	29.7	82.4%
131E	Waldport fine sand, 12 to 30 percent slopes	6.4	17.6%
<b>Totals for Area of Interest</b>		<b>36.1</b>	<b>100.0%</b>

## Lane County Area, Oregon

### 131E—Waldport fine sand, 12 to 30 percent slopes

#### Map Unit Setting

*National map unit symbol:* 234s

*Elevation:* 0 to 150 feet

*Mean annual precipitation:* 60 to 100 inches

*Mean annual air temperature:* 48 to 54 degrees F

*Frost-free period:* 165 to 300 days

*Farmland classification:* Not prime farmland

#### Map Unit Composition

*Waldport and similar soils:* 85 percent

*Minor components:* 6 percent

*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### Description of Waldport

##### Setting

*Landform:* Dunes

*Down-slope shape:* Linear

*Across-slope shape:* Linear

*Parent material:* Eolian sand of mixed origin

##### Typical profile

*Oi - 0 to 1 inches:* slightly decomposed plant material

*Oe - 1 to 3 inches:* moderately decomposed plant material

*H1 - 3 to 8 inches:* fine sand

*H2 - 8 to 60 inches:* fine sand

##### Properties and qualities

*Slope:* 12 to 30 percent

*Depth to restrictive feature:* More than 80 inches

*Drainage class:* Excessively drained

*Capacity of the most limiting layer to transmit water (Ksat):* High to very high (5.95 to 99.90 in/hr)

*Depth to water table:* More than 80 inches

*Frequency of flooding:* None

*Frequency of ponding:* None

*Available water supply, 0 to 60 inches:* Low (about 4.8 inches)

##### Interpretive groups

*Land capability classification (irrigated):* None specified

*Land capability classification (nonirrigated):* 7e

*Hydrologic Soil Group:* A

*Ecological site:* F004AB202OR - Dune Forest

*Hydric soil rating:* No

### **Minor Components**

#### **Heceta**

*Percent of map unit:* 3 percent

*Landform:* Interdunes

*Hydric soil rating:* Yes

#### **Yaquina**

*Percent of map unit:* 3 percent

*Landform:* Marine terraces

*Hydric soil rating:* Yes

## **Data Source Information**

Soil Survey Area: Lane County Area, Oregon

Survey Area Data: Version 22, Sep 8, 2023



## **APPENDIX B:**

### **Recommended Earthwork Specifications**



## GEOTECHNICAL SPECIFICATIONS

### General Earthwork

1. All areas where structural fills, fill slopes, structures, or roadways are to be constructed shall be stripped of organic topsoil and cleared of surface and subsurface deleterious material, including but limited to vegetation, roots, or other organic material, undocumented fill, construction debris, soft or unsuitable soils as directed by the Geotechnical Engineer of Record. These materials shall be removed from the site or stockpiled in a designated location for reuse in landscape areas if suitable for that purpose. Existing utilities and structures that are not to be used as part of the project design or by neighboring facilities, shall be removed or properly abandoned, and the associated debris removed from the site.
2. Upon completion of site stripping and clearing, the exposed soil and/or rock shall be observed by the Geotechnical Engineer of Record or a designated representative to assess the subgrade condition for the intended overlying use. Pits, depressions, or holes created by the removal of root wads, utilities, structures, or deleterious material shall be properly cleared of loose material, benched and backfilled with fill material approved by the Geotechnical Engineer of Record compacted to the project specifications.
3. In structural fill areas, the subgrade soil shall be scarified to a depth of 4-inches, if soil fill is used, moisture conditioned to within 2% of the materials optimum moisture for compaction, and blended with the first lift of fill material. The fill placement and compaction equipment shall be appropriate for fill material type, required degree of blending, and uncompacted lift thickness. Assuming proper equipment selection, the total uncompacted thickness of the scarified subgrade and first fill lift shall not exceed 8-inches, subsequent lifts of uncompacted fill shall not exceed 8-inches unless otherwise approved by the Geotechnical Engineer of Record. The uncompacted lift thickness shall be assessed based on the type of compaction equipment used and the results of initial compaction testing. Fine-grain soil fill is generally most effectively compacted using a kneading style compactor, such as a sheeps-foot roller; granular materials are more effectively compacted using a smooth, vibratory roller or impact style compactor.
4. All structural soil fill shall be well blended, moisture conditioned to within 2% of the **material's** optimum moisture content for compaction and compacted to at least 90% of the **material's** maximum dry density as determined by ASTM Method D-1557, or an equivalent method. Soil fill shall not contain more than 10% rock material and no solid material over 3-inches in diameter unless approved by the Geotechnical Engineer of Record. Rocks shall be evenly distributed throughout each lift of fill that they are contained within and shall not be clumped together in such a way that voids can occur.
5. All structural granular fill shall be well blended, moisture conditioned at or up to 3% above of the **material's optimum moisture content for compaction and compacted to at least 90%** of the **material's maximum dry density as determined by ASTM Method D-1557**, or an equivalent method. 95% relative compaction may be required for pavement base rock or in upper lifts of the granular structural fill where a sufficient thickness of the fill section allows for higher compaction percentages to be achieved. The granular fill shall not contain solid particles over 2-inches in diameter unless special density testing methods or proof-rolling is approved by the Geotechnical Engineer of Record. Granular fill is generally considered to be a crushed aggregate with a fracture surface of at least 70% and a maximum size not exceeding 1.5-inches in diameter, well-graded with less than 10%, by weight, passing the No. 200 Sieve.
6. Structural fill shall be field tested for compliance with project specifications for every 2-feet in vertical rise or 500 cy placed, whichever is less. In-place field density testing shall be performed by a competent individual, trained in the testing and placement of soil and aggregate fill placement, using either ASTM Method D-1556/4959/4944 (Sand Cone), D-6938 (Nuclear Densometer), or D-2937/4959/4944 (Drive Cylinder). Should the fill materials not be suitable for testing by the above methods, then observation of placement, compaction and proof-rolling with a loaded 10 cy dump-truck, or equivalent ground pressure equipment, by a trained individual may be used to assess and document the compliance with structural fill specifications.

## Utility Excavations

- Utility excavations are to be excavated to the design depth for bedding and placement and shall not be over-excavated. Trench widths shall only be of sufficient width to allow placement and proper construction of the utility and backfill of the trench.
- Backfilling of a utility trench will be dependent on its location, use, depth, and utility line material type. Trenches that are required to meet structural fill specifications, such as those under or near buildings, or within pavement areas, shall have granular material strategically compacted to at least the spring-line of the utility conduit to mitigate pipeline movement and deformation. The initial lift thickness of backfill overlying the pipeline will be dependent on the pipeline material, type of backfill, and the compaction equipment, so as not to cause deflection or deformation of the pipeline. Trench backfill shall conform to the General Earthwork specifications for placement, compaction, and testing of structural fill.

## Geotextiles

- All geotextiles shall be resistant to ultraviolet degradation, and to biological and chemical environments normally found in soils. Geotextiles shall be stored so that they are not in direct sunlight or exposed to chemical products. The use of a geotextile shall be specified and shall meet the following specification for each use.

### Subgrade/Aggregate Separation

Woven or nonwoven fabric conforming to the following physical properties:

• Minimum grab tensile strength	ASTM Method D-4632	180 lb
• Minimum puncture strength (CBR)	ASTM Method D-6241	371 lb
• Elongation	ASTM Method D-4632	15%
• Maximum apparent opening size	ASTM Method D-4751	No. 40
• Minimum permittivity	ASTM Method D-4491	0.05 s <sup>-1</sup>

### Drainage Filtration

Woven fabric conforming to the following physical properties:

• Minimum grab tensile strength	ASTM Method D-4632	110 lb
• Minimum puncture strength (CBR)	ASTM Method D-6241	220 lb
• Elongation	ASTM Method D-4632	50%
• Maximum apparent opening size	ASTM Method D-4751	No. 40
• Minimum permittivity	ASTM Method D-4491	0.5 s <sup>-1</sup>

### Geogrid Base Reinforcement

Extruded biaxially or triaxially oriented polypropylene conforming to the following physical properties:

• Peak tensile strength lb/ft	ASTM Method D-6637	925
• Tensile strength at 2% strain lb/ft	ASTM Method D-6637	300
• Tensile strength at 5% strain lb/ft	ASTM Method D-6637	600
• Flexural Rigidity	ASTM Method D-1388	250,000 mg-cm
• Effective Opening Size rock size	ASTM Method D-4751	1.5x
• <b>Pavement areas use Hanes Geocomponets or Terragrid BX1200 or Equivalent</b>		<b>Tensile Strength of 1,300 lb-ft Recommended</b>



United States  
Department of  
Agriculture

NRCS

Natural  
Resources  
Conservation  
Service

A product of the National  
Cooperative Soil Survey,  
a joint effort of the United  
States Department of  
Agriculture and other  
Federal agencies, State  
agencies including the  
Agricultural Experiment  
Stations, and local  
participants

# Custom Soil Resource Report for Lane County Area, Oregon



# Preface

---

Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist ([http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2\\_053951](http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951)).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

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131C—Waldport fine sand, 0 to 12 percent slopes.....	10
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# Soil Map

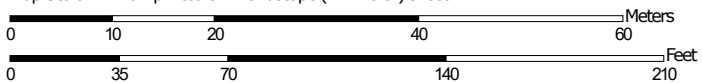
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The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

# Custom Soil Resource Report Soil Map




Map Scale: 1:740 if printed on A landscape (11" x 8.5") sheet.




Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 10N WGS84

### MAP LEGEND

**Area of Interest (AOI)**

 Area of Interest (AOI)




















**Soils**







 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

**Special Point Features**






-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features


**Water Features**

 Streams and Canals

**Transportation**

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

**Background**

 Aerial Photography

### MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL:  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Lane County Area, Oregon  
 Survey Area Data: Version 22, Sep 8, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: May 19, 2023—Jun 3, 2023

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.



## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
131C	Waldport fine sand, 0 to 12 percent slopes	2.9	100.0%
<b>Totals for Area of Interest</b>		<b>2.9</b>	<b>100.0%</b>

## Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

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An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

## Lane County Area, Oregon

### 131C—Waldport fine sand, 0 to 12 percent slopes

#### Map Unit Setting

*National map unit symbol:* 234r  
*Elevation:* 0 to 150 feet  
*Mean annual precipitation:* 60 to 100 inches  
*Mean annual air temperature:* 48 to 54 degrees F  
*Frost-free period:* 165 to 300 days  
*Farmland classification:* Not prime farmland

#### Map Unit Composition

*Waldport and similar soils:* 85 percent  
*Minor components:* 8 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### Description of Waldport

##### Setting

*Landform:* Dunes  
*Down-slope shape:* Linear  
*Across-slope shape:* Linear  
*Parent material:* Eolian sand of mixed origin

##### Typical profile

*O<sub>i</sub> - 0 to 1 inches:* slightly decomposed plant material  
*O<sub>e</sub> - 1 to 3 inches:* moderately decomposed plant material  
*H<sub>1</sub> - 3 to 8 inches:* fine sand  
*H<sub>2</sub> - 8 to 60 inches:* fine sand

##### Properties and qualities

*Slope:* 0 to 12 percent  
*Depth to restrictive feature:* More than 80 inches  
*Drainage class:* Excessively drained  
*Capacity of the most limiting layer to transmit water (K<sub>sat</sub>):* High to very high (5.95 to 99.90 in/hr)  
*Depth to water table:* More than 80 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Available water supply, 0 to 60 inches:* Low (about 4.8 inches)

##### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 6e  
*Hydrologic Soil Group:* A  
*Ecological site:* F004AB202OR - Dune Forest  
*Hydric soil rating:* No

#### Minor Components

##### Heceta

*Percent of map unit:* 4 percent  
*Landform:* Interdunes  
*Hydric soil rating:* Yes

## Custom Soil Resource Report

### **Yaquina**

*Percent of map unit: 4 percent*

*Landform: Marine terraces*

*Hydric soil rating: Yes*

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- United States Department of Agriculture, Natural Resources Conservation Service. National range and pasture handbook. <http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/landuse/rangepasture/?cid=stelprdb1043084>



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United States Department of Agriculture, Natural Resources Conservation Service. National soil survey handbook, title 430-VI. [http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/scientists/?cid=nrcs142p2\\_054242](http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/scientists/?cid=nrcs142p2_054242)

United States Department of Agriculture, Natural Resources Conservation Service. 2006. Land resource regions and major land resource areas of the United States, the Caribbean, and the Pacific Basin. U.S. Department of Agriculture Handbook 296. [http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/soils/?cid=nrcs142p2\\_053624](http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/soils/?cid=nrcs142p2_053624)

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## WETLAND DELINEATION / DETERMINATION REPORT COVER FORM

A complete report and signed report cover form, along with applicable review fee, are required before a report review timeline can be initiated by the Department of State Lands. All applicants will receive an emailed confirmation that includes the report's unique file number and other information.

**Ways to submit report:**

- ❖ **Under 50MB** - A single unlocked PDF can be emailed to: [wetland.delineation@dsl.oregon.gov](mailto:wetland.delineation@dsl.oregon.gov).
- ❖ **50MB or larger** - A single unlocked PDF can be uploaded to DSL's [Box.com](http://Box.com) website. After upload notify DSL by email at: [wetland.delineation@dsl.oregon.gov](mailto:wetland.delineation@dsl.oregon.gov).
- ❖ **OR** a hard copy of the unbound report and signed cover form can be mailed to: Oregon Department of State Lands, 775 Summer Street NE, Suite 100, Salem, OR 97301-1279.

**Ways to pay review fee:**

- ❖ By credit card on DSL's [epayment portal](#) after receiving the unique file number from DSL's emailed confirmation.
- ❖ By check payable to the Oregon Department of State Lands attached to the unbound mailed hardcopy **OR** attached to the complete signed cover form if report submitted electronically.

**Contact and Authorization Information**

<input type="checkbox"/> Applicant <input checked="" type="checkbox"/> Owner Name, Firm and Address: City of Florence Attn Erin Reynolds, City Manager 250 Highway 101 Florence, OR 97439	Business phone # (541) 997-3437 Mobile phone # (optional) E-mail: <a href="mailto:erin.reynolds@ci.florence.or.us">erin.reynolds@ci.florence.or.us</a>
<input checked="" type="checkbox"/> Authorized Legal Agent, Name and Address (if different): Layne Morrill Our Coastal Village, Inc. P.O. Box 108 Yachats, OR 97498	Business phone # (602) 432-6291 Mobile phone # (optional) E-mail: <a href="mailto:klaynemorrill@gmail.com">klaynemorrill@gmail.com</a>

I either own the property described below or I have legal authority to allow access to the property. I authorize the Department to access the property for the purpose of confirming the information in the report, after prior notification to the primary contact.

**Typed/Printed Name:** K. Layne Morrill      **Signature:**   
**Date:** 08/13/2024      **Special instructions regarding site access:** None

**Project and Site Information**

Project Name: Elm Park PUD	Latitude: 43.976083°      Longitude: -124.114426° <b>decimal degree</b> - centroid of site or start & end points of linear project
Proposed Use: Multi-family residential housing	Tax Map # 18-12-27-31
	Tax Lot(s) 01100 and 01200
Project Street Address (or other descriptive location): NW Corner Greenwood Street and 10th Street -- no official address yet.	Tax Map #
	Tax Lot(s)
City: Florence      County: Lane	Township 18 S      Range 12 W      Section 27      QQ
	Use separate sheet for additional tax and location information
	Waterway:      River Mile:

**Wetland Delineation Information**

Wetland Consultant Name, Firm and Address: Sam Rabe EI Branch Engineering Inc. 310 5th Street Springfield, Oregon 97477	Phone # (541) 746-0637 Mobile phone # (if applicable) E-mail: <a href="mailto:samr@branchengineering.com">samr@branchengineering.com</a>
The information and conclusions on this form and in the attached report are true and correct to the best of my knowledge.	
<b>Consultant Signature:</b> Sam Rabe	<small>Digitally signed by Sam Rabe Date: 2024.08.13 14:58:42 -0700</small> <b>Date:</b> 08/13/2024

**Primary Contact** for report review and site access is  Consultant     Applicant/Owner     Authorized Agent

Wetland/Waters Present?     Yes     No    Study Area size: 1.5    Total Wetland Acreage: 0.0020

**Check Applicable Boxes Below**

<input type="checkbox"/> R-F permit application submitted	<input type="checkbox"/> Fee payment submitted \$ _____
<input type="checkbox"/> Mitigation bank site	<input type="checkbox"/> Resubmittal of rejected report (\$100)
<input type="checkbox"/> EFSC/ODOE Proj. Mgr: _____	<input type="checkbox"/> Request for Reissuance. See eligibility criteria. (no fee)
<input type="checkbox"/> Wetland restoration/enhancement project (not mitigation)	DSL # _____      Expiration date _____
<input type="checkbox"/> Previous delineation/application on parcel If known, previous DSL # _____	<input type="checkbox"/> LWI shows wetlands or waters on parcel Wetland ID code _____

**For Office Use Only**

DSL Reviewer: _____	Fee Paid Date: ____/____/____	DSL WD # _____
Date Delineation Received: ____/____/____		DSL App.# _____



# Wetland Delineation Elm Park PUD Florence, Oregon

SECTION	TOWNSHIP	RANGE	TAX LOT(S)
27	18 SOUTH	12 WEST	01100 & 01200

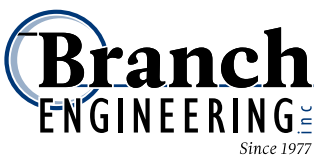


Prepared for  
Layne Morrill  
Our Coastal Village, Inc.

Prepared by  
Sam Rabe EI

Water Resource Engineer in Training  
Branch Engineering, Inc  
1215 Main Street, Suite 104  
Philomath, Oregon 97370  
541.746.0637 Ext:120

BEI Project Number: 24-191.1



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FIGURE 1 - Site Vicinity Map

FIGURE 2 - Tax Lot Map

FIGURE 3 - State Wetland Inventory Map

FIGURE 4 - Local Wetland Inventory Map

FIGURE 5 - National Wetlands Inventory Map

FIGURE 6 - DOGAMI LIDAR Map

FIGURE 7 - NRCS Soil Unit Map

FIGURE 8 - Google Earth Aerial Images

FIGURE 9 - Wetland Delineation Map

APPENDIX A - Wetland Delineation Data Forms

APPENDIX B - Ground Level Color Photos

APPENDIX C - Antecedent Precipitation Tool output

## 1. INTRODUCTION

Branch Engineering, Inc. (BEI) conducted a wetland delineation at the request of Layne Morrill of Our Coastal Village, Inc to determine the extent of wetlands and waters of the state within the subject area (SA). The SA is located in Florence, Oregon, approximately 0.6-miles west of Highway 101, and 0.4-miles north of the tidally influenced shore of the Siuslaw River. The SA includes two (2) Tax Lots, 01100 and 01200, Tax Map 18-12-27-31. The proposed development will consist of multi-family residential housing, currently called the Elm Park PUD

This report presents the results of our wetland delineation within the boundaries of the above-mentioned tax lots. Also presented in this report are required figures, data forms documenting conditions recorded during the site visit, ground level photographs, and maps showing locations of wetlands delineated within the study area.

A local wetlands inventory for the City of Florence was performed by Pacific Habitat Services (PHS) in 2013. It maps an intermittent stream, and Wetland 8 - PFO4B on adjacent lots to the west.

## 2. LANDSCAPE SETTING AND LAND USE

### Existing conditions

The 1.5-acre SA is comprised of multiple tax lots separated by an undeveloped, but platted 23-foot-wide alley right-of-way between an existing portion of Greenwood Street on the east side, and undeveloped, but platted Fir Street to the west. At the time of our investigation the SA was densely vegetated, and located at the coordinates 43.975516° North Latitude, and 124.114416° West Longitude in southwest Florence, Oregon. The SA is nearly rectangular in shape measuring 270'x260' including the alley width. The area immediately adjacent to the site is undeveloped property with a municipal building and office building located about 300-feet southeast and south, respectively. A mapped intermittent stream is aligned approximately north to south just outside of the northwest property corner. At the time of our field investigation the hydrology, soil, and vegetation were considered undisturbed and normal.

### Site Topography

The SA is mapped within an area of Quaternary aged unconsolidated sediments, which mostly consist of eolian sands of mixed origin that have been stabilized by vegetation. Topography is gently undulating, typical of old dunes that have been reduced in angle by weathering. Elevations within the SA vary from approximately 28.4-feet above mean sea level (AMSL) in the northwest corner, to 35.6-feet AMSL along Greenwood Avenue. Offsite conditions surrounding the SA are very similar.

### Vegetation

Dominant plant species within the Tax Lots include *Pseudotsuga menziesii*, *Rhododendron macrophyllum*, *Alnus rubra*, *Gaultheria shallon*, *Vaccinium ovalifolium*, *Rubus spectabilis*, *Polystichum munitum*, *Carex obnupta*, and *Athyrium felix-femina*.



Soils

One soil unit is mapped within the SA, 131C Waldport fine sand 0 to 12 percent slopes. The soil unit is described as very deep, excessively drained soil formed in mixed eolian sand, that forms on stabilized dunes. The soil unit is not hydric. This description is consistent with the majority of the SA; however, the terraces of the stream channel, and the channel itself are incised enough to be near the top of the local water table elevation, and therefore do not drain excessively.

Hydrology

Hydrology within the tax lot comes from precipitation, and the unnamed intermittent stream which runs offsite to the northwest and west of the SA.

**3. SITE ALTERATIONS**

Google Earth images dated from May 1994 to February were reviewed prior to our site visit. The images show no obvious site alterations. Additionally, the dense canopy obscures any ground features. Based on the presence of trees with diameters at breast height in exceedance of 2.5-feet within the SA, the site has been unaltered for many years.

**4. PRECIPITATION DATA AND ANALYSIS**

BEI conducted the wetland delineation fieldwork on August 8, 2024. Our climate analysis used the Environmental Protection Agency (EPA) and United States Army Corp of Engineers (USACE) Antecedent Precipitation Tool output which is tabulated below in Table 1.

Table 1: Precipitation Data obtained using the USACE Antecedent Precipitation Tool Version 2.0

30-Days Ending	WETS Rainfall Percentile (inches)		Measured Rainfall (inches)	Condition Dry, Wet, Normal	Condition Value (1=Dry, 2=Normal, 3=Wet)	Month Weight	Product of Condition Value and Month Weight
	30th	70th					
8-8-2024	0.15	0.57	0.15	Normal	2	3	6
7-9-2024	1.17	2.20	0.14	Dry	1	2	2
6-9-2024	2.42	5.12	2.57	Normal	2	1	2
Sum = 10 Normal Conditions							

Table 1 shows the weighted precipitation preceding our fieldwork which was normal. No precipitation was recorded on the day of fieldwork, and the preceding two weeks had no recorded precipitation. The Antecedent Precipitation Tool output is attached as Appendix C. Precipitation fluctuations preceding our delineation are not expected to impact the boundary of the SA wetlands. Delineated wetlands are in our opinion a result of geomorphic position rather than precipitation.

**5. METHODS**

The delineation followed procedures defined in the 1987 Corps Wetland Delineation Manual, and the Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Western Mountains, Valley and Coast Range (Version 2.0). The 2020 National Wetland Plant List (NWPL) was used for determining plant indicator status. For the office work that occurred prior to the site visit we reviewed historical aerials available on the Google Earth website, the USDA Soil Survey, the Oregon

Statewide Wetlands Inventory (SWI), local wetland inventories, previous delineations in the site vicinity, and the U.S. National Wetland Inventory (NWI).

Fieldwork was guided by the local wetlands inventory, and site geomorphology. Soil colors were recorded for moist soil and sample pits were excavated to a minimum depth of 16-inches BGS. Two (2) sample plots, and numerous informal plots were completed within the Tax Lots, with a wetland-confirming point located within the stream terrace, and an upland point located along the shoulder slope. Hydric soils and vegetation were the determining factors. Visual observations were used to estimate percent vegetative cover for each plant species observed within a 5-foot radius for herbaceous cover, 15-feet for shrubs, and 30-feet for trees. The wetland boundary and sample point locations were mapped using a sub-meter accuracy GNSS receiver and hand-held GPS collection device both produced by Juniper Systems, Inc.

## 6. DESCRIPTION OF ALL WETLANDS AND OTHER NON-WETLAND WATERS

BEI identified and delineated the boundaries of one (1) continuous wetland (Wetland 1) in the northwest corner of the SA where a stream has incised a channel and by meandering, created a small alcove terrace that is approximately 4- to 6-inches higher than the OHW of the adjacent stream. During a visit for a Geotechnical investigation in June 2024, BEI staff observed running water in the stream, and shallow pooling/saturation within the wetland area mapped during the subsequent wetland delineation.

### Wetland 1

Is a palustrine forested, broad leaved deciduous, seasonally saturated (PFO1B). This feature is connected with the other wetlands that continue offsite upgradient, and downgradient along the unnamed intermittent stream flood terraces. This wetland begins at the approximate toe of the slope and continues west and beyond the unnamed intermittent stream into adjacent tax lots.

Table 2: Wetland Area within Tax Lot 01100

Tax Lot	Wetland 1 Area
01100	112.5 ft <sup>2</sup> = 0.002 acres

## 7. DEVIATION FROM LOCAL WETLAND INVENTORY OR NATIONAL WETLAND INVENTORY

No wetlands are mapped by the LWI or NWI. The LWI performed by Pacific Habitat Services shows an intermittent stream and a PFO4B wetland on adjacent lots to the west.

## 8. MAPPING METHOD

The wetland boundary and sample point locations were mapped using a sub-meter accuracy GNSS receiver and hand-held GPS collection device both produced by Juniper Systems, Inc. The lot boundary was obtained from Lane County online GPS services and the mtb tiles were uploaded to the Juniper Systems tablet.

## 9. ADDITIONAL INFORMATION

Additional information for this investigation includes the following websites and databases:

- Regional Land Information Database
- Lane County GIS Maps
- United States Fish and Wildlife National Wetland Inventory
- Oregon's Statewide Wetlands Inventory
- SFAM Map Viewer
- ODOT Bulletin GE09-07(B)
- NRCS Web Soil Survey
- DOGAMI LIDAR Viewer
- DOGAMI Geology Viewer

## 10. RESULTS AND CONCLUSIONS

BEI mapped one wetland within Tax Lot 01100, the rest of the SA is upland.

### Wetland 1

Is a palustrine forested, broad leaved deciduous, seasonally saturated (PFO1B). This feature is connected with the other wetlands that continue offsite upgradient, and downgradient along the unnamed intermittent stream flood terraces. This wetland begins at the approximate toe of the slope and continues west and beyond the unnamed stream into adjacent tax lots. The size of the area delineated within the SA is  $112.5 \text{ ft}^2 = 0.002 \text{ acres}$ .

## 11. REPORT LIMITATIONS

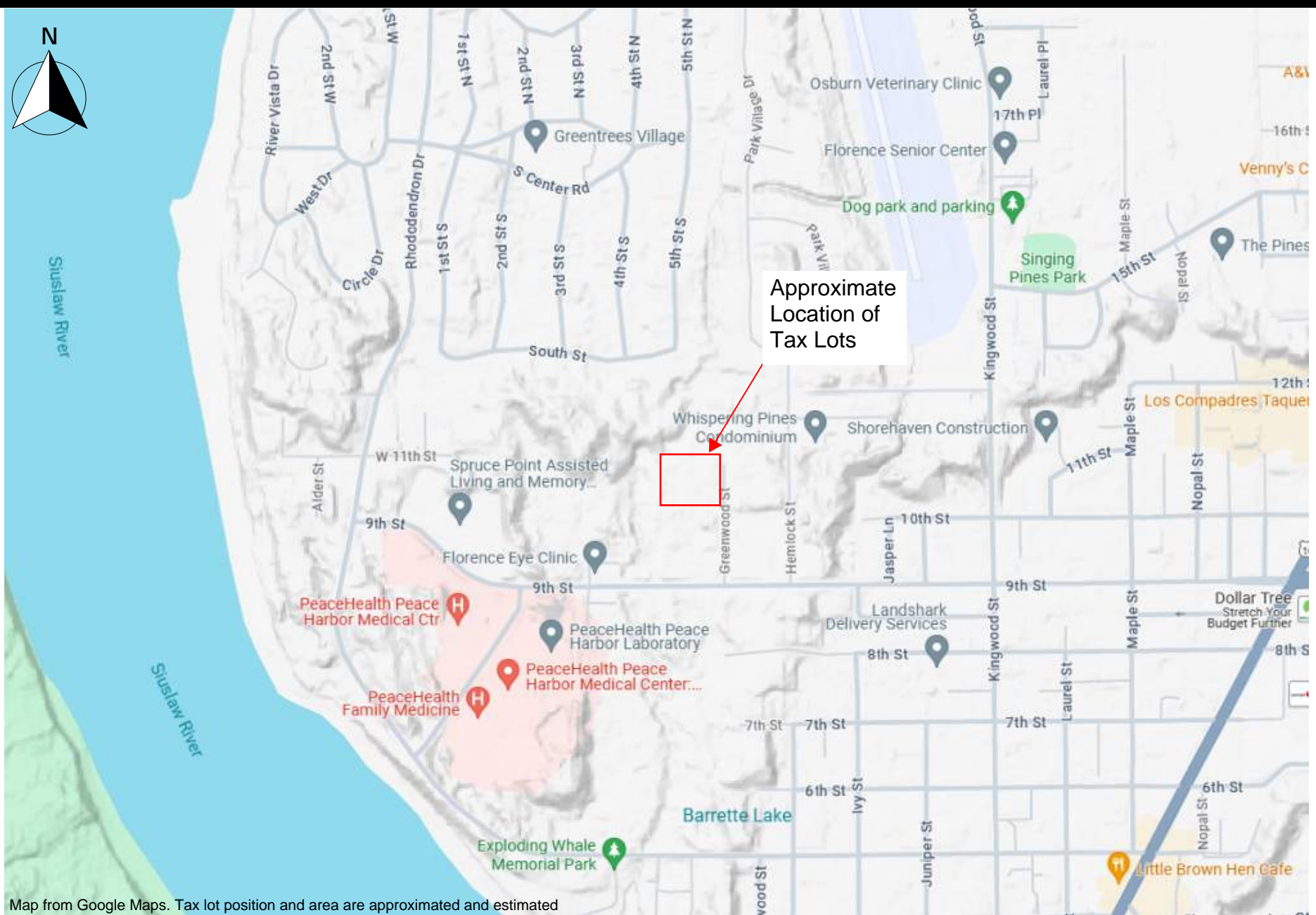
This report presents BEI's site observations, site research, site explorations, and best professional judgement and conclusions.

The conclusions in this report are based on the site conditions as they existed at the time of the investigation and are correct and complete to the best of our knowledge. It should be considered a Preliminary Jurisdictional Determination of wetlands and other waters and used at your own risk unless it has been reviewed and approved in writing by the Oregon Department of State Lands in accordance with OAR 141-090-0005 through 141-090-0055. If you have any questions regarding the contents of this report, or if we can be of further assistance, please contact our office.

## 12. REFERENCES

- *Google Earth aerial imagery*
- *Munsell Color, 2010. Munsell Soil Color Charts. Grand Rapids, Michigan. 2009 Year Revised, 2022 production.*
- *Hitchcock, CL and A. Cronquist. 1973. Flora of the Pacific Northwest: An Illustrated manual. University of Washington Press.*
- *USACE Antecedent Precipitation Tool, Version 2.0*
- *USACE Environmental Laboratory, 1987. Corps of Engineers Wetland Delineation Manual. Technical Report Y-87-1*

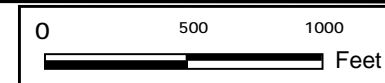
- *USACE Environmental Laboratory, 2010. Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Western Mountains, Valleys, and Coast Region, Version 2.0*
- *USACE 2020. National Wetland Plant List, version 3.5.*
- *US Department of Agriculture, Natural Resource Conservation Services, 2022. Web Soil Survey for Benton County.*
- *Lane County Tax Maps*



Map from Google Maps. Tax lot position and area are approximated and estimated



**SITE LOCATION MAP**  
**TAX LOT(S) 01100 and 01200 TAX MAP 18-12-27-31**



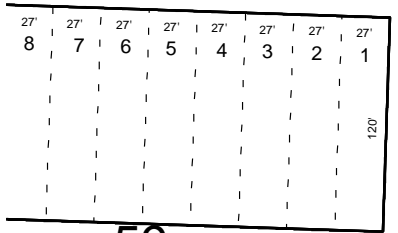
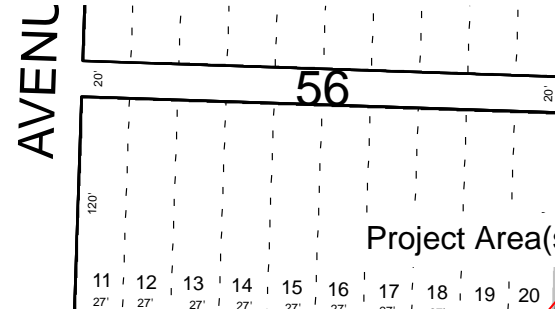
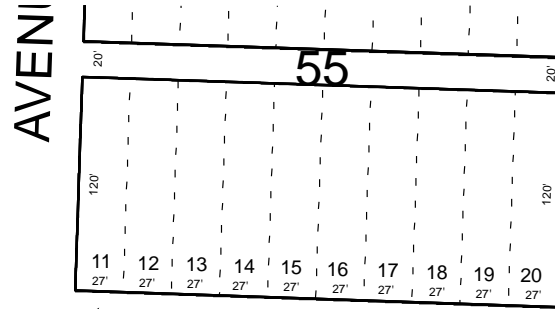
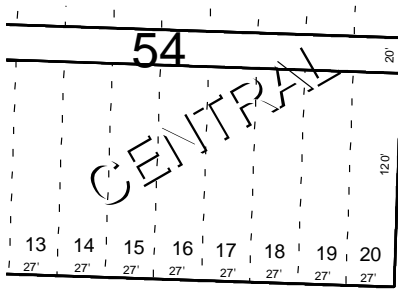
APPROXIMATE SCALE

**FIGURE-1**

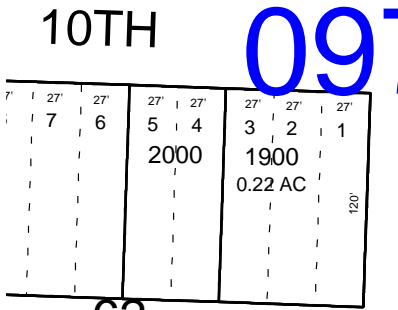
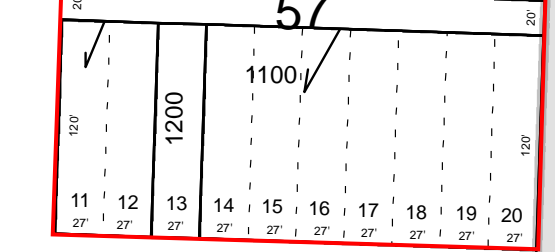
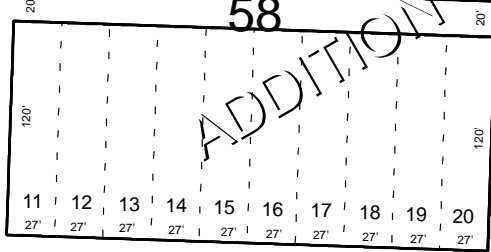
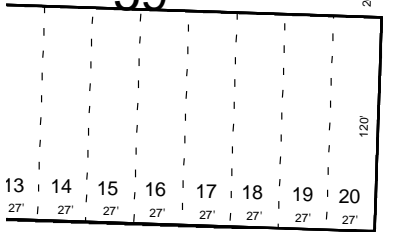
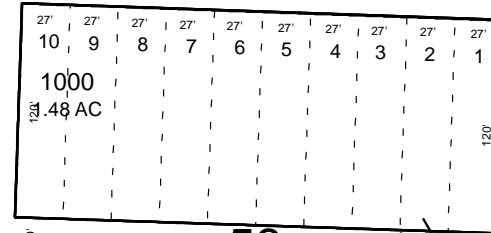
**8-12-2024**

PROJECT NO. 24-191

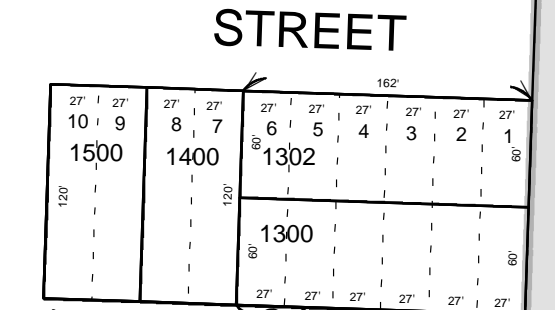
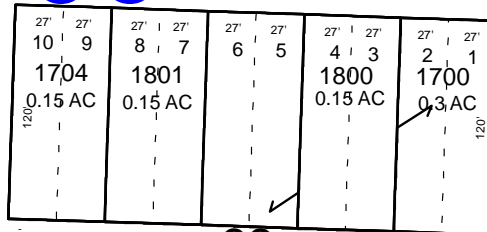




PARK



10TH 097-00



Project Area(s) Outlined

STREET

STREET

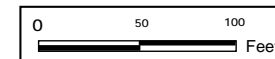
GREENWOOD AVENUE

SEE MAP 18122742

Tax Map from Lane County Maps and GIS



SITE TAX MAP  
TAX LOT(S) 01100 and 01200 TAX MAP 18-12-27-31



APPROXIMATE SCALE

FIGURE-2

8-12-2024

PROJECT NO. 24-1491



- 7RZQVKLSV
- 6('\$7 '%2 1+':DWHUER \$)
- 6('\$7 '%2 1+':SUHD
- 6('\$7 '%2 1+')ORZOLQH
- 3HUHQQLDO
- ,QWHUPLWWHQW
- (SKHPHUDO
- 8QNQRZQ
- &DQDO 'LWFK
- &DQDO 'LWFK
- &DQDO 'LWFK
- 6('\$7 '%2 1+'3RLQW
- :HWODQGV
- (VWXDULQH DQG ODULQH 'HHSZDWHU
- (VWXDULQH DQG ODULQH :HWODQG
- )UHVKZDWHU (PHUJHQW :HWODQG
- )UHVKZDWHU )RUHVWHG 6KUXE :HWODQG
- )UHVKZDWHU 3RQG
- /DNH
- 5LYHULQH

Project Area(s) Outlined

18S 12W

PSSC

R-3BC

PSSC

R-3BC

Maxar, Microsoft, State of Oregon, SW of Oregon CEJ, ISIRI (RE 6/20/17), Repair Unit R-C (2) ( 6/20/17) / DQGV

7KH 6WDWHZLGH :HWODGV ,QYHQWRU 6: UHSUHVHQW WKH EHUV GDWD DYDLODEOH DW WKH WLPH WKLV PDS ZDY SXEOLWV DQG 6WKH QHZ GDWD EHRPHV DYDLODEOH Q DOO FDVHV DFWXDO ILHOG FRQGLWLRV GHWHUPLQH WKH SUHVHGFH DEVHQFH DQG SUHVHGHV RYHU 6WKH DQG ZDWHU VXFK DV FUHHNV DQG SRQV SO ROLWH LQYHVWLJDLRQ E D ZHWODQG SURIHVLRQDO FQG YHULI DFWXDO HURVHQW 6DOHP 25

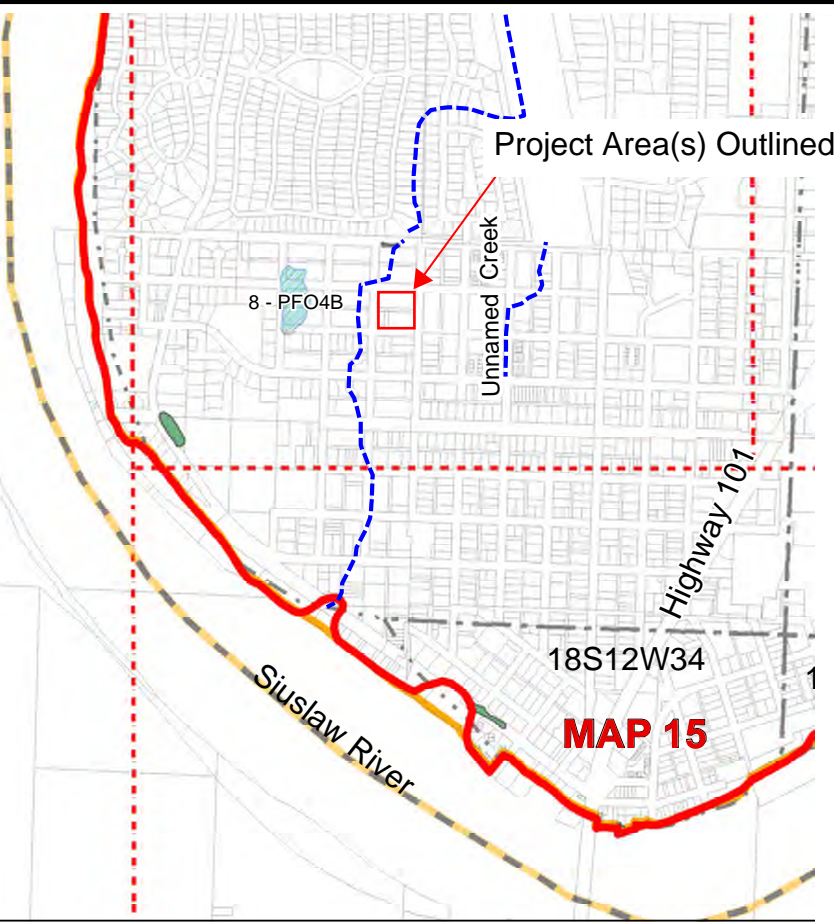


STATE WETLAND INVENTORY MAP  
TAX LOT(S) 01100 and 01200 TAX MAP 18-12-27-31

FIGURE-3  
8-12-2024  
PROJECT NO. 24-191



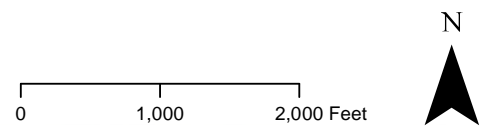
- Legend**
- Sample Plots
  - Streams
  - ▨ Artificial Wetlands
  - ▭ Urban Growth Boundary
  - ▭ Study Area
  - ▭ Tax Lots
  - ▨ Lakes
  - ▨ Wetlands
  - - - Matchline
  - - - Public Land Survey System
  - ▭ Probable Wetlands
  - ▭ 7th Field HUC



Information shown on this map is for planning purposes, represents the conditions that exist at the map date, and is subject to change. The location and extent of wetlands and other waters approximate. There may be unmapped wetlands and other waters present that are subject to regulation. A current Oregon Department of State Lands-approved wetland delineation is required for state removal-fill permits. You are advised to contact the Department of State Lands and the U.S. Army Corps of Engineers with any regulatory questions.

Map Date 06-13-2013

**FLORENCE, OREGON**  
Local Wetlands Inventory - Index Map



**LOCAL WETLAND INVENTORY MAP**  
TAX LOT(S) 01100 and 01200 TAX MAP 18-12-27-31

**FIGURE-4**  
8-12-2024

PROJECT NO. 24-191



**U.S. Fish and Wildlife Service**  
**National Wetlands Inventory**



U.S. Fish and Wildlife Service, National Standards and Support Team, wetlands\_team@fws.gov

August 12, 2024

**Wetlands**

- |                                |                                   |       |
|--------------------------------|-----------------------------------|-------|
| Estuarine and Marine Deepwater | Freshwater Emergent Wetland       | Lake  |
| Estuarine and Marine Wetland   | Freshwater Forested/Shrub Wetland | Other |
| Freshwater Pond                | Riverine                          |       |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

National Wetlands Inventory (NWI)  
 This page was produced by the NWI mapper



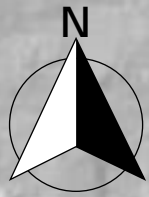
**NATIONAL WETLAND INVENTORY MAP**  
**TAX LOT(S) 01100 and 01200 TAX MAP 18-12-27-31**

**FIGURE-5**

**8-12-2024**

**PROJECT NO. 24-191**





Approximate Channel of Stream

Project Area(s) Outlined

Image from DOGAMI LIDAR Viewer



DOGAMI LIDAR MAP  
TAX LOT(S) 01100 and 01200 TAX MAP 18-12-27-31

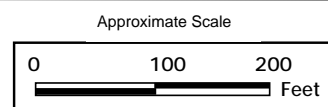
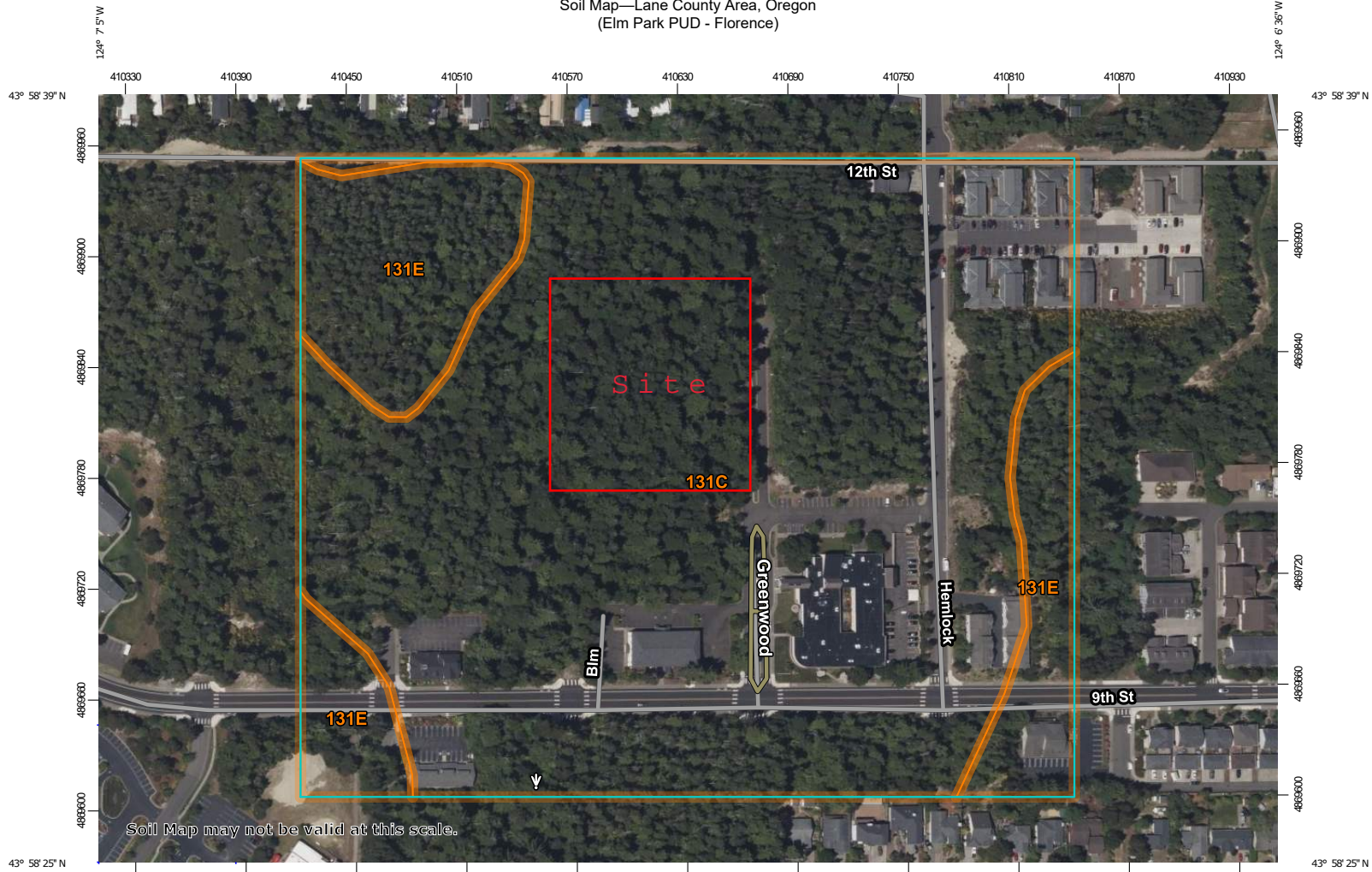


FIGURE-6  
8-12-2024

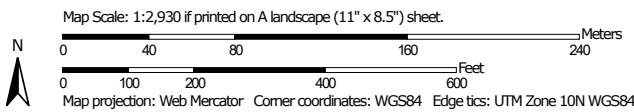
PROJECT NO. 24-191



Soil Map—Lane County Area, Oregon  
(Elm Park PUD - Florence)



Soil Map may not be valid at this scale.



Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
131C	Waldport fine sand, 0 to 12 percent slopes	29.7	82.4%

Soil unit is not hydric



Web Soil Survey  
National Cooperative Soil Survey

6/7/2024  
Page 1 of 3

Tax Lot Boundaries are Estimated



NRCS SOIL UNITS MAP  
TAX LOT(S) 01100 and 01200 TAX MAP 18-12-27-31

FIGURE-7  
8-12-2024

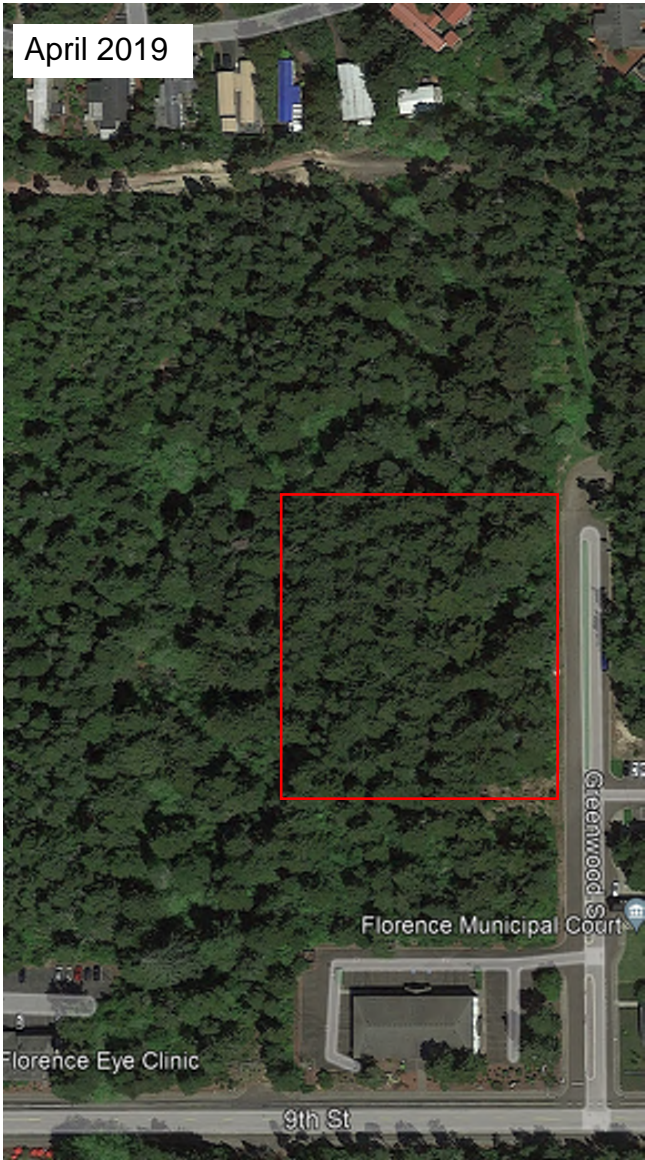
PROJECT NO. 24-191



May 1994

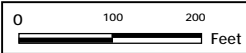
April 2019

February 2024



Images from Google Earth

Approximate Scale



HISTORICAL AERIAL IMAGES  
 TAX LOT(S) 01100 and 01200 TAX MAP 18-12-27-31

FIGURE-8

8-12-2024

PROJECT NO. 24-191



Data Source Statement:

Locations of Sample Points, Wetland Boundaries, and other Mapped Features were collected using a GNSS receiver and handheld GPS collection device that achieved sub-meter accuracy in the field. No warranties are expressed or implied with this map product or mapped features.

Preliminary  
Delineation Subject  
to Change

ATTRIBUTES

Wetland 1 PFO1C  
Area: 112.5 SF 0.03 Acres

Stream

Wetland 1

Wetlands  
continue  
off site to  
the north,  
south,  
and west

Informal sample plots  
throughout the Tax Lot(s)  
indicated upland  
conditions

LEGEND

- Upland Sample Point
- Wetland Sample Point
- ⊗ Photo Location
- Wetland Area

Image and lot boundaries  
from Lane County GIS :  
Drawn and delineated by  
Sam Rabe



WETLAND DELINEATION MAP  
TAX LOT(S) 01100 and 01200 TAX MAP 18-12-27-31

Approximate Scale

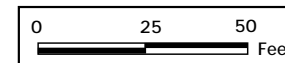


FIGURE-9

8-12-2024

PROJECT NO. 24-191

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# **APPENDIX A:**

## Wetland Delineation Data Forms

Project/Site: Elm Park PUD City/County: Florence/Linn Sampling Date: 8/8/2024  
 Applicant/Owner: Our Coastal Village, inc/ City of Florence State: OR Sampling Point: SP-1  
 Investigator(s): Sam Rabe EI Section, Township, Range: Sec 27, T.18S, R.12W  
 Landform (hillside, terrace, etc.): Terrace Local relief (concave, convex, none): Concave Slope (%): 0  
 Subregion (LRR/MLRA): LRR A Lat: 43.97627282 Long: -124.11487614 Datum: WGS84  
 Soil Map Unit Name: Waldport fine sand 0 - 12 percent slopes NWI classification: PFO4B

Are climatic / hydrologic conditions on the site typical for this time of year? Yes X No      (If no, explain in Remarks.)  
 Are Vegetation     , Soil     , or Hydrology      significantly disturbed? Are "Normal Circumstances" present? Yes X No       
 Are Vegetation     , Soil     , or Hydrology      naturally problematic? (If needed, explain any answers in Remarks.)

**SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.**

Hydrophytic Vegetation Present? Yes <u>X</u> No <u>    </u> Hydric Soil Present? Yes <u>X</u> No <u>    </u> Wetland Hydrology Present? Yes <u>X</u> No <u>    </u>	<b>Is the Sampled Area within a Wetland?</b> Yes <u>X</u> No <u>    </u>
---	---

Remarks:

**VEGETATION – Use scientific names of plants.**

Tree Stratum (Plot size: <u>30</u> )	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test worksheet:																
1. <u><i>Alnus rubra</i></u>	80	Yes	FAC	Number of Dominant Species That Are OBL, FACW, or FAC: <u>4</u> (A)  Total Number of Dominant Species Across All Strata: <u>5</u> (B)  Percent of Dominant Species That Are OBL, FACW, or FAC: <u>80.0%</u> (A/B)																
2. <u><i>Pseudotsuga menziesii</i></u>	20	Yes	FACU																	
3. <u>    </u>																				
4. <u>    </u>																				
<u>100</u> =Total Cover																				
Sapling/Shrub Stratum (Plot size: <u>15</u> )				<b>Prevalence Index worksheet:</b>  <table style="width:100%; font-size: small;"> <tr> <td style="text-align: center;">Total % Cover of:</td> <td style="text-align: center;">Multiply by:</td> </tr> <tr> <td>OBL species <u>20</u></td> <td>x 1 = <u>20</u></td> </tr> <tr> <td>FACW species <u>0</u></td> <td>x 2 = <u>0</u></td> </tr> <tr> <td>FAC species <u>130</u></td> <td>x 3 = <u>390</u></td> </tr> <tr> <td>FACU species <u>25</u></td> <td>x 4 = <u>100</u></td> </tr> <tr> <td>UPL species <u>0</u></td> <td>x 5 = <u>0</u></td> </tr> <tr> <td>Column Totals: <u>175</u> (A)</td> <td><u>510</u> (B)</td> </tr> <tr> <td colspan="2" style="text-align: center;">Prevalence Index = B/A = <u>2.91</u></td> </tr> </table>	Total % Cover of:	Multiply by:	OBL species <u>20</u>	x 1 = <u>20</u>	FACW species <u>0</u>	x 2 = <u>0</u>	FAC species <u>130</u>	x 3 = <u>390</u>	FACU species <u>25</u>	x 4 = <u>100</u>	UPL species <u>0</u>	x 5 = <u>0</u>	Column Totals: <u>175</u> (A)	<u>510</u> (B)	Prevalence Index = B/A = <u>2.91</u>	
Total % Cover of:	Multiply by:																			
OBL species <u>20</u>	x 1 = <u>20</u>																			
FACW species <u>0</u>	x 2 = <u>0</u>																			
FAC species <u>130</u>	x 3 = <u>390</u>																			
FACU species <u>25</u>	x 4 = <u>100</u>																			
UPL species <u>0</u>	x 5 = <u>0</u>																			
Column Totals: <u>175</u> (A)	<u>510</u> (B)																			
Prevalence Index = B/A = <u>2.91</u>																				
1. <u><i>Rubus spectabilis</i></u>	40	Yes	FAC																	
2. <u>    </u>																				
3. <u>    </u>																				
4. <u>    </u>																				
5. <u>    </u>																				
<u>40</u> =Total Cover																				
Herb Stratum (Plot size: <u>5</u> )				<b>Hydrophytic Vegetation Indicators:</b> <u>    </u> 1 - Rapid Test for Hydrophytic Vegetation <u>X</u> 2 - Dominance Test is >50% <u>X</u> 3 - Prevalence Index is ≤3.0 <sup>1</sup> <u>    </u> 4 - Morphological Adaptations <sup>1</sup> (Provide supporting data in Remarks or on a separate sheet) <u>    </u> 5 - Wetland Non-Vascular Plants <sup>1</sup> <u>    </u> Problematic Hydrophytic Vegetation <sup>1</sup> (Explain)  <sup>1</sup> Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.																
1. <u><i>Carex obnupta</i></u>	20	Yes	OBL																	
2. <u><i>Polystichum munitum</i></u>	5	No	FACU																	
3. <u><i>Athyrium cyclosum</i></u>	10	Yes	FAC																	
4. <u>    </u>																				
5. <u>    </u>																				
6. <u>    </u>																				
7. <u>    </u>																				
8. <u>    </u>																				
9. <u>    </u>																				
10. <u>    </u>																				
11. <u>    </u>																				
<u>35</u> =Total Cover																				
Woody Vine Stratum (Plot size: <u>    </u> )				<b>Hydrophytic Vegetation Present?</b> Yes <u>X</u> No <u>    </u>																
1. <u>    </u>																				
2. <u>    </u>																				
<u>    </u> =Total Cover																				
% Bare Ground in Herb Stratum <u>65</u>																				

Remarks:  
Some vegetation was cleared by surveyors



**SOIL**

Sampling Point: SP-1

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)								
Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type <sup>1</sup>	Loc <sup>2</sup>		
0-2	10YR 3/1	100					Peat	Decomposed Forest duff
2-6	10YR 3/1	95	5YR 5/6	5	C	M	Mucky Sand	Prominent redox concentrations
6-18	10YR 6/3	90	5YR 5/6	10	C	M	Sandy	Prominent redox concentrations

<sup>1</sup>Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. <sup>2</sup>Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)			Indicators for Problematic Hydric Soils <sup>3</sup> :		
<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Sandy Gleyed Matrix (S4)	<input type="checkbox"/> 2 cm Muck (A10) (LRR A, E)			
<input type="checkbox"/> Histic Epipedon (A2)	<input checked="" type="checkbox"/> Sandy Redox (S5)	<input type="checkbox"/> Iron-Manganese Masses (F12) (LRR D)			
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Stripped Matrix (S6)	<input type="checkbox"/> Red Parent Material (F21)			
<input type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Mucky Mineral (F1) (except MLRA 1)	<input type="checkbox"/> Very Shallow Dark Surface (F22)			
<input type="checkbox"/> 1 cm Muck (A9) (LRR D, G)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)	<input type="checkbox"/> Other (Explain in Remarks)			
<input type="checkbox"/> Depleted Below Dark Surface (A11)	<input type="checkbox"/> Depleted Matrix (F3)				
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Redox Dark Surface (F6)				
<input checked="" type="checkbox"/> Sandy Mucky Mineral (S1)	<input type="checkbox"/> Depleted Dark Surface (F7)				
<input type="checkbox"/> 2.5 cm Mucky Peat or Peat (S2) (LRR G)	<input type="checkbox"/> Redox Depressions (F8)				

<sup>3</sup>Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

<b>Restrictive Layer (if observed):</b> Type: _____ Depth (inches): _____	<b>Hydric Soil Present?</b> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
---	---

Remarks:

**HYDROLOGY**

Wetland Hydrology Indicators:		
Primary Indicators (minimum of one is required; check all that apply)		Secondary Indicators (2 or more required)
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9) (except MLRA 1, 2, 4A, and 4B)	<input type="checkbox"/> Water-Stained Leaves (B9) (MLRA 1, 2, 4A, and 4B)
<input checked="" type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Salt Crust (B11)	<input type="checkbox"/> Drainage Patterns (B10)
<input checked="" type="checkbox"/> Saturation (A3)	<input type="checkbox"/> Aquatic Invertebrates (B13)	<input type="checkbox"/> Dry-Season Water Table (C2)
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)	<input checked="" type="checkbox"/> Geomorphic Position (D2)
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Presence of Reduced Iron (C4)	<input type="checkbox"/> Shallow Aquitard (D3)
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	<input type="checkbox"/> FAC-Neutral Test (D5)
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Stunted or Stressed Plants (D1) (LRR A)	<input type="checkbox"/> Raised Ant Mounds (D6) (LRR A)
<input type="checkbox"/> Surface Soil Cracks (B6)	<input type="checkbox"/> Other (Explain in Remarks)	<input type="checkbox"/> Frost-Heave Hummocks (D7)
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)		
<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)		

<b>Field Observations:</b>		<b>Wetland Hydrology Present?</b> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Surface Water Present?      Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Depth (inches): _____		
Water Table Present?      Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Depth (inches): <u>11</u>		
Saturation Present?      Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Depth (inches): <u>9</u> (includes capillary fringe)		

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:  
BEI staff (Sam Rabe) was on-site on June 11th for the Geotechnical Investigation. The stream was actively running with 3- to 6-inches of water in the direct vicinity of the NW property pin (see ground level photos), and the delineated wetland was saturated to the surface with an area of pooled water adjacent to the toe slope.

<b>U.S. Army Corps of Engineers</b> <b>WETLAND DETERMINATION DATA SHEET – Western Mountains, Valleys, and Coast Region</b> See ERDC/EL TR-10-3; the proponent agency is CECW-CO-R	OMB Control #: 0710-0024, Exp: 11/30/2024 Requirement Control Symbol EXEMPT: (Authority: AR 335-15, paragraph 5-2a)
---	---

Project/Site: Elm Park PUD City/County: Florence/Linn Sampling Date: 8/8/2024  
 Applicant/Owner: Our Coastal Village, inc/ City of Florence State: OR Sampling Point: SP-2  
 Investigator(s): Sam Rabe EI Section, Township, Range: Sec 27, T.18S, R.12W  
 Landform (hillside, terrace, etc.): Terrace Local relief (concave, convex, none): Convex Slope (%): 10  
 Subregion (LRR/MLRA): LRR A Lat: 43.97627282 Long: -124.11487614 Datum: WGS84  
 Soil Map Unit Name: Waldport fine sand 0 - 12 percent slopes NWI classification: Not hydric  
 Are climatic / hydrologic conditions on the site typical for this time of year? Yes X No      (If no, explain in Remarks.)  
 Are Vegetation     , Soil     , or Hydrology      significantly disturbed? Are "Normal Circumstances" present? Yes X No       
 Are Vegetation     , Soil     , or Hydrology      naturally problematic? (If needed, explain any answers in Remarks.)

**SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.**

Hydrophytic Vegetation Present? Yes <u>    </u> No <u>X</u> Hydric Soil Present? Yes <u>    </u> No <u>X</u> Wetland Hydrology Present? Yes <u>    </u> No <u>X</u>	<b>Is the Sampled Area within a Wetland?</b> Yes <u>    </u> No <u>X</u>
---	--

Remarks:

**VEGETATION – Use scientific names of plants.**

Tree Stratum (Plot size: <u>30</u> )	Absolute % Cover	Dominant Species?	Indicator Status																	
1. <u><i>Pseudotsuga menziesii</i></u>	80	Yes	FACU	<b>Dominance Test worksheet:</b> Number of Dominant Species That Are OBL, FACW, or FAC: <u>0</u> (A) Total Number of Dominant Species Across All Strata: <u>3</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>0.0%</u> (A/B)																
2. _____	_____	_____	_____																	
3. _____	_____	_____	_____																	
4. _____	_____	_____	_____																	
80 =Total Cover																				
Sapling/Shrub Stratum (Plot size: <u>15</u> )				<b>Prevalence Index worksheet:</b> <table style="width:100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">Total % Cover of:</td> <td style="text-align: center;">Multiply by:</td> </tr> <tr> <td>OBL species <u>0</u></td> <td>x 1 = <u>0</u></td> </tr> <tr> <td>FACW species <u>0</u></td> <td>x 2 = <u>0</u></td> </tr> <tr> <td>FAC species <u>0</u></td> <td>x 3 = <u>0</u></td> </tr> <tr> <td>FACU species <u>120</u></td> <td>x 4 = <u>480</u></td> </tr> <tr> <td>UPL species <u>20</u></td> <td>x 5 = <u>100</u></td> </tr> <tr> <td>Column Totals: <u>140</u> (A)</td> <td><u>580</u> (B)</td> </tr> <tr> <td colspan="2" style="text-align: center;">Prevalence Index = B/A = <u>4.14</u></td> </tr> </table>	Total % Cover of:	Multiply by:	OBL species <u>0</u>	x 1 = <u>0</u>	FACW species <u>0</u>	x 2 = <u>0</u>	FAC species <u>0</u>	x 3 = <u>0</u>	FACU species <u>120</u>	x 4 = <u>480</u>	UPL species <u>20</u>	x 5 = <u>100</u>	Column Totals: <u>140</u> (A)	<u>580</u> (B)	Prevalence Index = B/A = <u>4.14</u>	
Total % Cover of:	Multiply by:																			
OBL species <u>0</u>	x 1 = <u>0</u>																			
FACW species <u>0</u>	x 2 = <u>0</u>																			
FAC species <u>0</u>	x 3 = <u>0</u>																			
FACU species <u>120</u>	x 4 = <u>480</u>																			
UPL species <u>20</u>	x 5 = <u>100</u>																			
Column Totals: <u>140</u> (A)	<u>580</u> (B)																			
Prevalence Index = B/A = <u>4.14</u>																				
1. <u><i>Gaultheria shallon</i></u>	40	Yes	FACU																	
2. <u><i>Vaccinium ovalifolium</i></u>	20	Yes	UPL																	
3. _____	_____	_____	_____																	
4. _____	_____	_____	_____																	
60 =Total Cover																				
Herb Stratum (Plot size: <u>5</u> )				<b>Hydrophytic Vegetation Indicators:</b> ___ 1 - Rapid Test for Hydrophytic Vegetation ___ 2 - Dominance Test is >50% ___ 3 - Prevalence Index is ≤3.0 <sup>1</sup> ___ 4 - Morphological Adaptations <sup>1</sup> (Provide supporting data in Remarks or on a separate sheet) ___ 5 - Wetland Non-Vascular Plants <sup>1</sup> ___ Problematic Hydrophytic Vegetation <sup>1</sup> (Explain) <sup>1</sup> Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.																
1. _____	_____	_____	_____																	
2. _____	_____	_____	_____																	
3. _____	_____	_____	_____																	
4. _____	_____	_____	_____																	
5. _____	_____	_____	_____																	
6. _____	_____	_____	_____																	
7. _____	_____	_____	_____																	
8. _____	_____	_____	_____																	
9. _____	_____	_____	_____																	
10. _____	_____	_____	_____																	
=Total Cover																				
Woody Vine Stratum (Plot size: _____)																				
1. _____	_____	_____	_____																	
2. _____	_____	_____	_____																	
=Total Cover																				
% Bare Ground in Herb Stratum <u>100</u>																				

Remarks:  
Some vegetation was cleared by surveyors

**SOIL**

Sampling Point: SP-2

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)								
Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type <sup>1</sup>	Loc <sup>2</sup>		
0-8	7.5YR 4/6	100						Forest duff - leaf litter
8-16	7.5YR 5/2	100						Sand

<sup>1</sup>Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. <sup>2</sup>Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)			Indicators for Problematic Hydric Soils <sup>3</sup> :		
<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Sandy Gleyed Matrix (S4)	<input type="checkbox"/> 2 cm Muck (A10) (LRR A, E)			
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Sandy Redox (S5)	<input type="checkbox"/> Iron-Manganese Masses (F12) (LRR D)			
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Stripped Matrix (S6)	<input type="checkbox"/> Red Parent Material (F21)			
<input type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Mucky Mineral (F1) (except MLRA 1)	<input type="checkbox"/> Very Shallow Dark Surface (F22)			
<input type="checkbox"/> 1 cm Muck (A9) (LRR D, G)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)	<input type="checkbox"/> Other (Explain in Remarks)			
<input type="checkbox"/> Depleted Below Dark Surface (A11)	<input type="checkbox"/> Depleted Matrix (F3)				
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Redox Dark Surface (F6)				
<input type="checkbox"/> Sandy Mucky Mineral (S1)	<input type="checkbox"/> Depleted Dark Surface (F7)				
<input type="checkbox"/> 2.5 cm Mucky Peat or Peat (S2) (LRR G)	<input type="checkbox"/> Redox Depressions (F8)				

<sup>3</sup>Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

<b>Restrictive Layer (if observed):</b> Type: _____ Depth (inches): _____	<b>Hydric Soil Present?</b> Yes _____ No <u>X</u>
---	---

Remarks:

**HYDROLOGY**

Wetland Hydrology Indicators:		
Primary Indicators (minimum of one is required; check all that apply)		Secondary Indicators (2 or more required)
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9) (except MLRA 1, 2, 4A, and 4B)	<input type="checkbox"/> Water-Stained Leaves (B9) (MLRA 1, 2, 4A, and 4B)
<input type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Salt Crust (B11)	<input type="checkbox"/> Drainage Patterns (B10)
<input type="checkbox"/> Saturation (A3)	<input type="checkbox"/> Aquatic Invertebrates (B13)	<input type="checkbox"/> Dry-Season Water Table (C2)
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)	<input type="checkbox"/> Geomorphic Position (D2)
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Presence of Reduced Iron (C4)	<input type="checkbox"/> Shallow Aquitard (D3)
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	<input type="checkbox"/> FAC-Neutral Test (D5)
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Stunted or Stressed Plants (D1) (LRR A)	<input type="checkbox"/> Raised Ant Mounds (D6) (LRR A)
<input type="checkbox"/> Surface Soil Cracks (B6)	<input type="checkbox"/> Other (Explain in Remarks)	<input type="checkbox"/> Frost-Heave Hummocks (D7)
<input checked="" type="checkbox"/> Inundation Visible on Aerial Imagery (B7)		
<input type="checkbox"/> ? Sparsely Vegetated Concave Surface (B8)		

<b>Field Observations:</b> Surface Water Present?    Yes _____ No <u>X</u> Depth (inches): _____ Water Table Present?      Yes _____ No <u>X</u> Depth (inches): _____ Saturation Present?        Yes _____ No <u>X</u> Depth (inches): _____ (includes capillary fringe)	<b>Wetland Hydrology Present?</b> Yes _____ No <u>X</u>
---	---

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

---

## *APPENDIX B*

### Ground Level Photos

## GROUND LEVEL PHOTOS

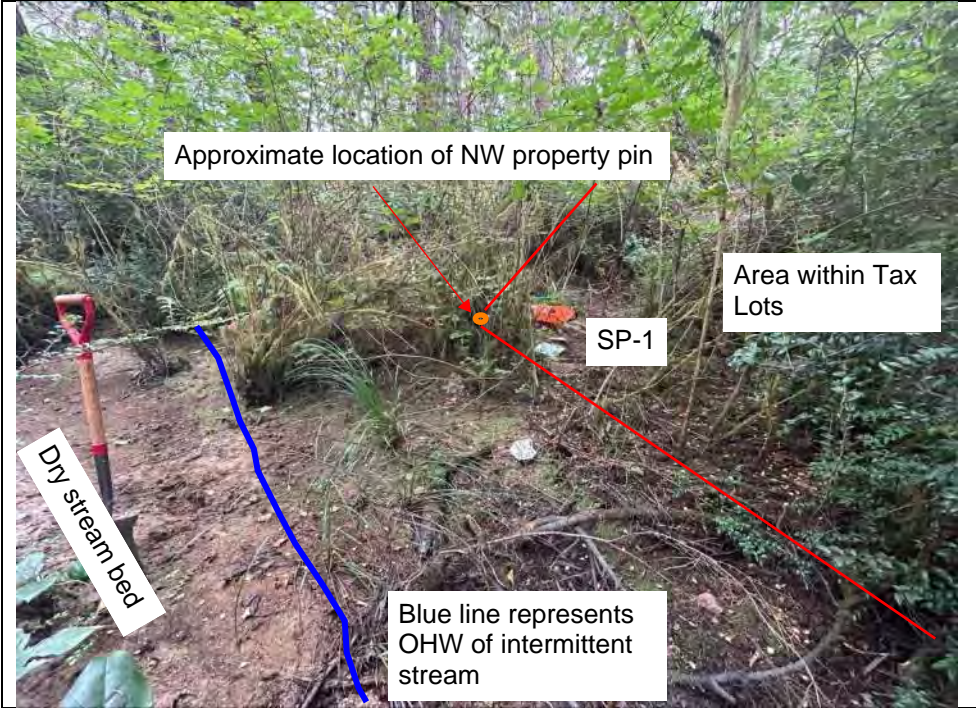


Typical upland conditions within the Tax Lots.  
Veg clearing from Geotechnical Investigation



SP-2 on slope above Wetland 1



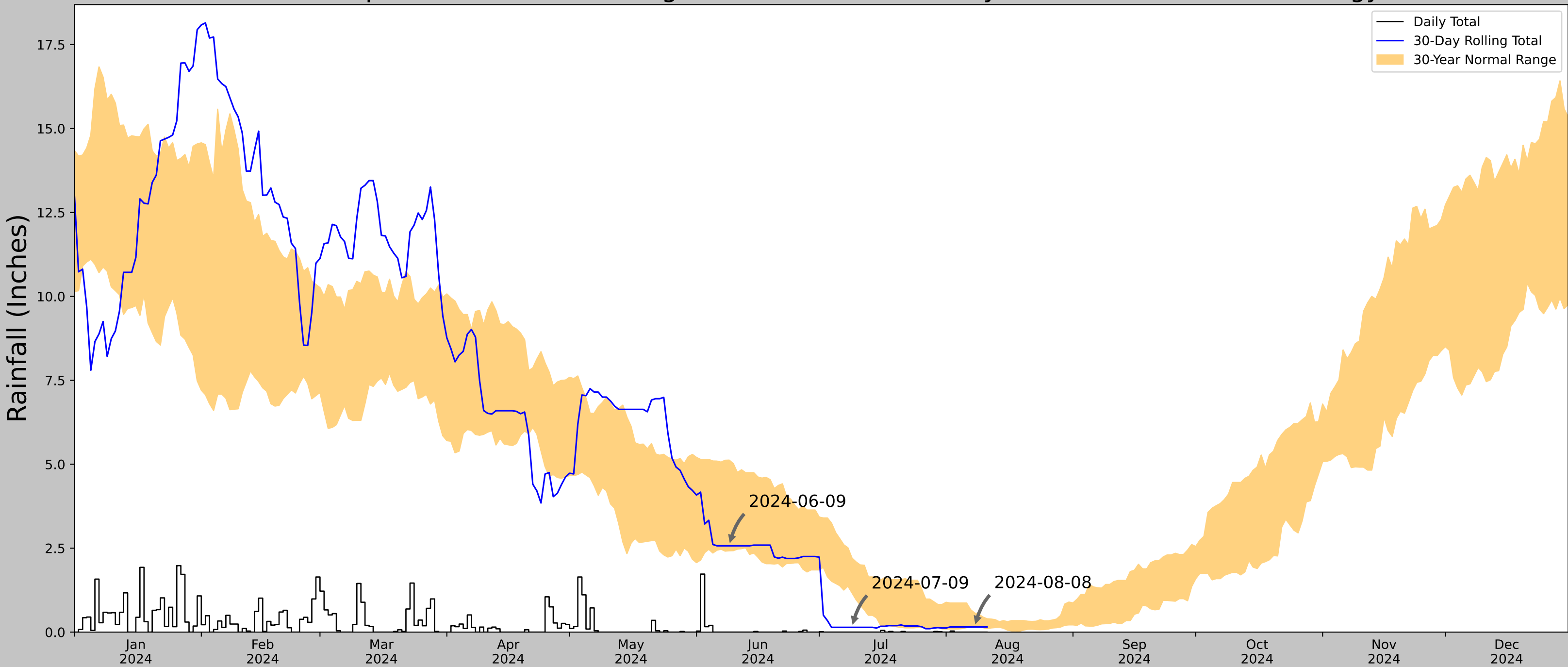


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## *APPENDIX C*

Antecedent Precipitation Tool Output  
Stream Flow Duration Worksheet


# Antecedent Precipitation vs Normal Range based on NOAA's Daily Global Historical Climatology Network



Coordinates	43.976040, -124.114609
Observation Date	2024-08-08
Elevation (ft)	34.289
Drought Index (PDSI)	Normal (2024-07)
WebWIMP H <sub>2</sub> O Balance	Dry Season


30 Days Ending	30 <sup>th</sup> %ile (in)	70 <sup>th</sup> %ile (in)	Observed (in)	Wetness Condition	Condition Value	Month Weight	Product
2024-08-08	0.146063	0.566535	0.153543	Normal	2	3	6
2024-07-09	1.171654	2.202362	0.141732	Dry	1	2	2
2024-06-09	2.424016	5.122047	2.570866	Normal	2	1	2
Result							Normal Conditions - 10

Weather Station Name	Coordinates	Elevation (ft)	Distance (mi)	Elevation Δ	Weighted Δ	Days Normal	Days Antecedent
FLORENCE #2	44.0039, -124.0947	75.131	2.164	40.842	1.062	6177	84
FLORENCE 0.9 NW	43.9956, -124.115	67.913	1.161	7.218	0.531	2	6
HONEYMAN SP	43.9281, -124.1069	115.157	5.272	40.026	2.583	4259	0
MAPLETON	44.0367, -123.8628	17.06	11.743	58.071	5.966	129	0
WINCHESTER BAY COAST GRD	43.6814, -124.1781	7.874	22.667	67.257	11.725	655	0
TIDEWATER	44.4122, -123.9022	49.869	29.778	25.262	14.152	12	0
ELKTON 3 SW	43.5992, -123.5992	120.079	37.315	44.948	18.469	114	0
ALSEA FH (FALL CREEK)	44.4044, -123.7533	229.987	32.429	154.856	19.615	4	0



Figures and tables made by the  
Antecedent Precipitation Tool  
Version 2.0

Developed by:  
U.S. Army Corps of Engineers and  
U.S. Army Engineer Research and  
Development Center





**EXHIBIT 11**

**ELM PARK APARTMENTS**

**PRELIMINARY LIGHTING**



# LUMINAIRE SCHEDULE

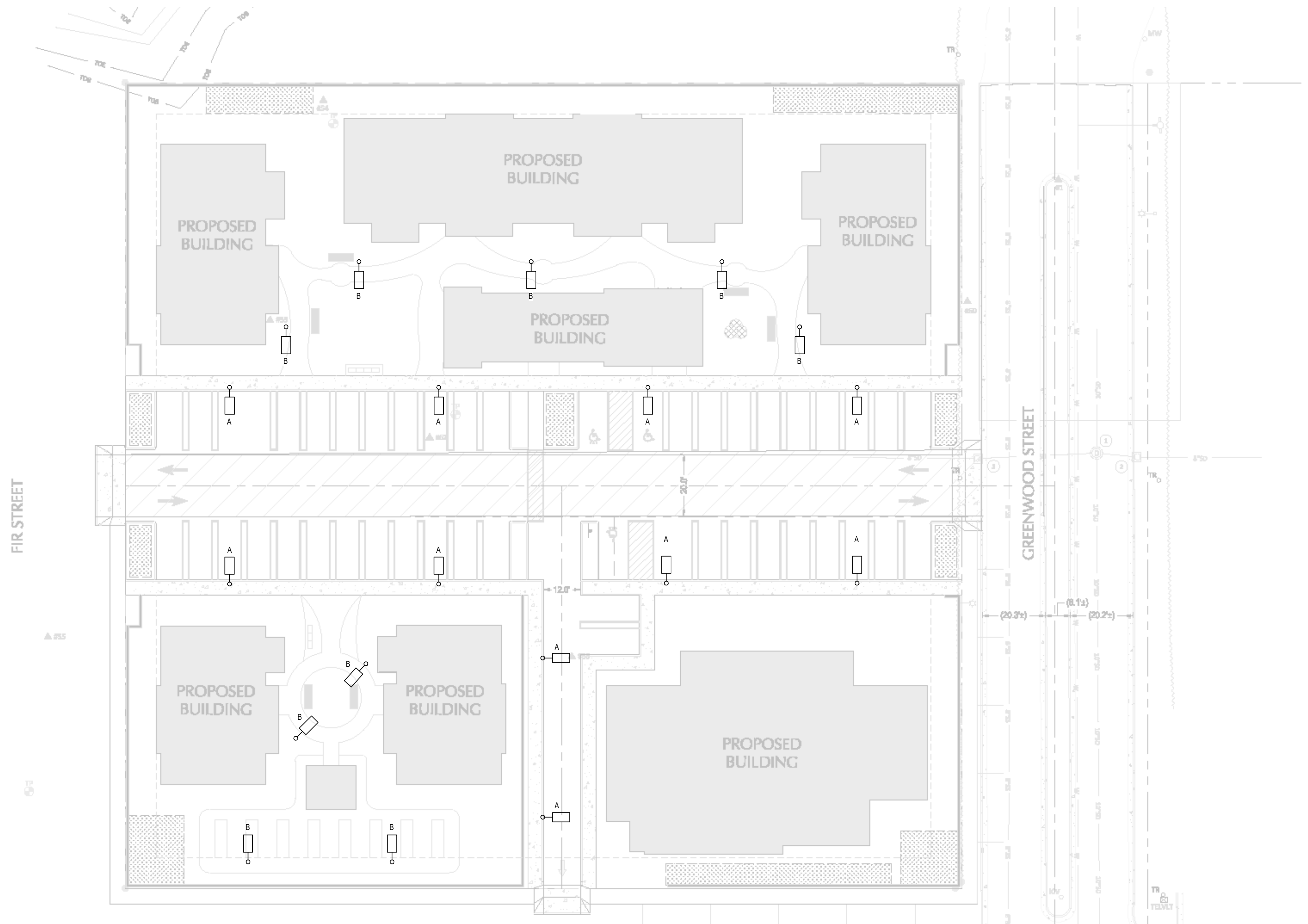
**NOTES:**

1. ALL FIXTURES SHALL BE U.L. OR SIMILARLY LISTED.
2. INCLUDE A MINIMUM 1 YEAR WARRANTY FOR LIGHTING FIXTURES, WHERE NOT OTHERWISE SPECIFIED.
3. REFER TO ARCHITECTURAL DOCUMENTS FOR EXACT MOUNTING LOCATIONS, DETAILS, AND CONFIGURATIONS OF ALL LUMINAIRES. IF ARCHITECTURAL DRAWINGS DO NOT CLARIFY EXACT MOUNTING LOCATION OR DETAIL, ISSUE AN RFI FOR ARCHITECT TO SPECIFICALLY CLARIFY PRIOR TO FIXTURE ROUGH-IN.
4. VERIFY COMPATIBILITY OF LIGHT FIXTURES WITH CEILING MATERIAL, ADJACENT CONSTRUCTION, AND ADJACENT FINISHES PRIOR TO SHOP DRAWINGS SUBMITTAL. NOTIFY THE ARCHITECT OF ANY CONFLICTS WITH THE PROPOSED INSTALLATION.
5. CONTRACTOR IS RESPONSIBLE FOR ALL MISCELLANEOUS HARDWARE NECESSARY TO INSTALL AND SUPPORT THE LUMINAIRES.
6. AIM AND TARGET ADJUSTABLE INTERIOR AND EXTERIOR LIGHT FIXTURES UNDER THE OBSERVATION AND IN COMPLIANCE WITH RECOMMENDATIONS OF THE ARCHITECT. INCLUDE LABOR AND MATERIAL COSTS MADE NECESSARY BY THIS REQUIREMENT.
7. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FILLING OUT ALL UTILITY REBATE FORMS FOR OWNER.

DESIGNED BY: JDH											
TYPE	DESCRIPTION	MANUFACTURER	MODEL	FINISH	LUMENS	CRI	DRIVER TYPE	SOURCE-CCT	VOLTAGE	INPUT WATTAGE	LUMINAIRE HEIGHT A.F.F.
A	20' LIGHT POLE AREA	LITHONIA LIGHTING	DSX1 LED P2 40K 70 CRI T3M	BLACK	9763	70	INCLUDED	LED-4000K	120 V	68 W	20 FEET
B	12' LIGHT POLE AREA	LITHONIA LIGHTING	DSX0 LED P1 40K 70 CRI T3M	BLACK	4791	70	INCLUDED	LED-4000K	120 V	33 W	12 FEET

LIGHTING SYMBOLS	
	EXTERIOR POLE MOUNTED LIGHT FIXTURE, REFER TO LIGHT FIXTURE SCHEDULE

**NOTE:**  
 MAXIMUM LIGHTING POLE HEIGHT IN RESIDENTIAL AREAS AND USES IS 20 FEET. THE LUMINAIRE SCHEDULE PROVIDED ON SHEET E101 STATES THE PROPOSED POLE HEIGHT IS 20 FEET. PLEASE ENSURE THIS IS THE FINISHED HEIGHT OF THE FIXTURE AND THAT IT WILL NOT BE INSTALLED ON A BASE THAT WILL INCREASE THE HEIGHT ABOVE THE MAXIMUM ALLOWED.



1 SITE PLAN - LIGHTING  
 1" = 20'-0"

**KCL**  
 ENGINEERING  
 309 W 4th Ave, Ste 201  
 Eugene, OR  
 97401  
 503-212-4612



OUR COASTAL VILLAGE FLORENCE

628 RADAR RD, YACHTS, OR 97498

Project No:	24218
Date:	10/31/24
FOR PUD REVIEW	
Revision	Date

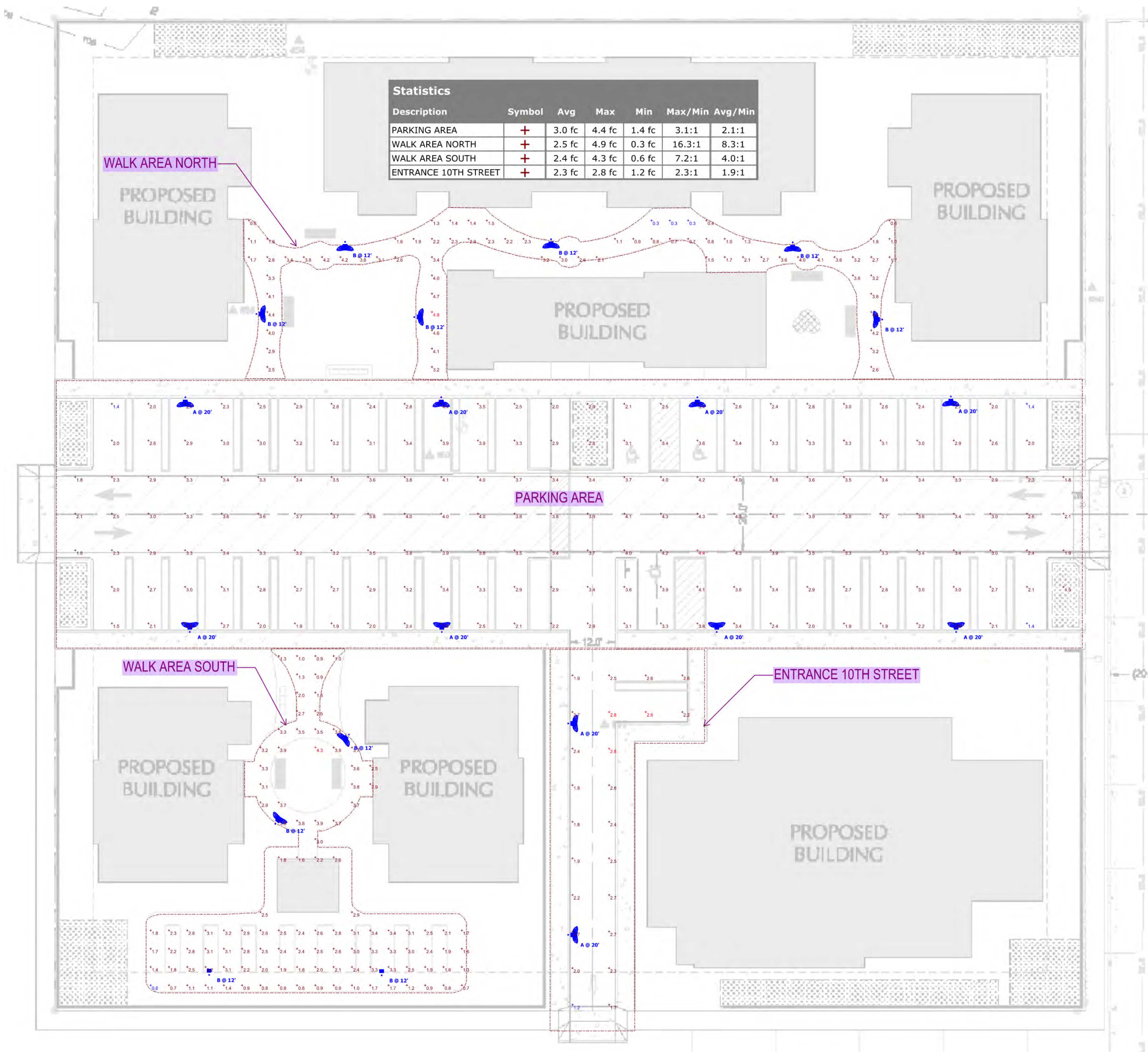
Drawing Name:  
 SITE PLAN - LIGHTING

Drawing #:  
**E101**





Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING AREA	+	3.0 fc	4.4 fc	1.4 fc	3.1:1	2.1:1
WALK AREA NORTH	+	2.5 fc	4.9 fc	0.3 fc	16.3:1	8.3:1
WALK AREA SOUTH	+	2.4 fc	4.3 fc	0.6 fc	7.2:1	4.0:1
ENTRANCE 10TH STREET	+	2.3 fc	2.8 fc	1.2 fc	2.3:1	1.9:1



OUR COASTAL VILLAGE FLORENCE

628 RADAR RD, YACHTS, OR 97498

Project No:	24218
Date:	10/31/24
FOR PUD REVIEW	
Revision	Date

Drawing Name:  
 SITE - LIGHTING  
 CALCULATIONS

Drawing #:  
**E102**



**EXHIBIT 12**

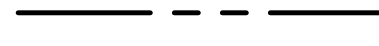
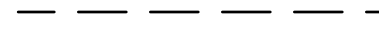
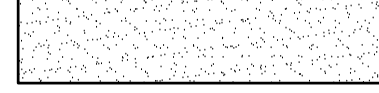
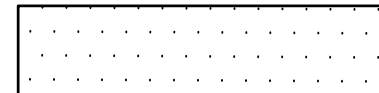
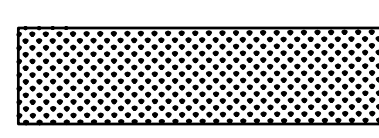



**ELM PARK EARLY LEARNING CENTER**

**PRELIMINARY ENGINEERING**

**SHEET NOTES**

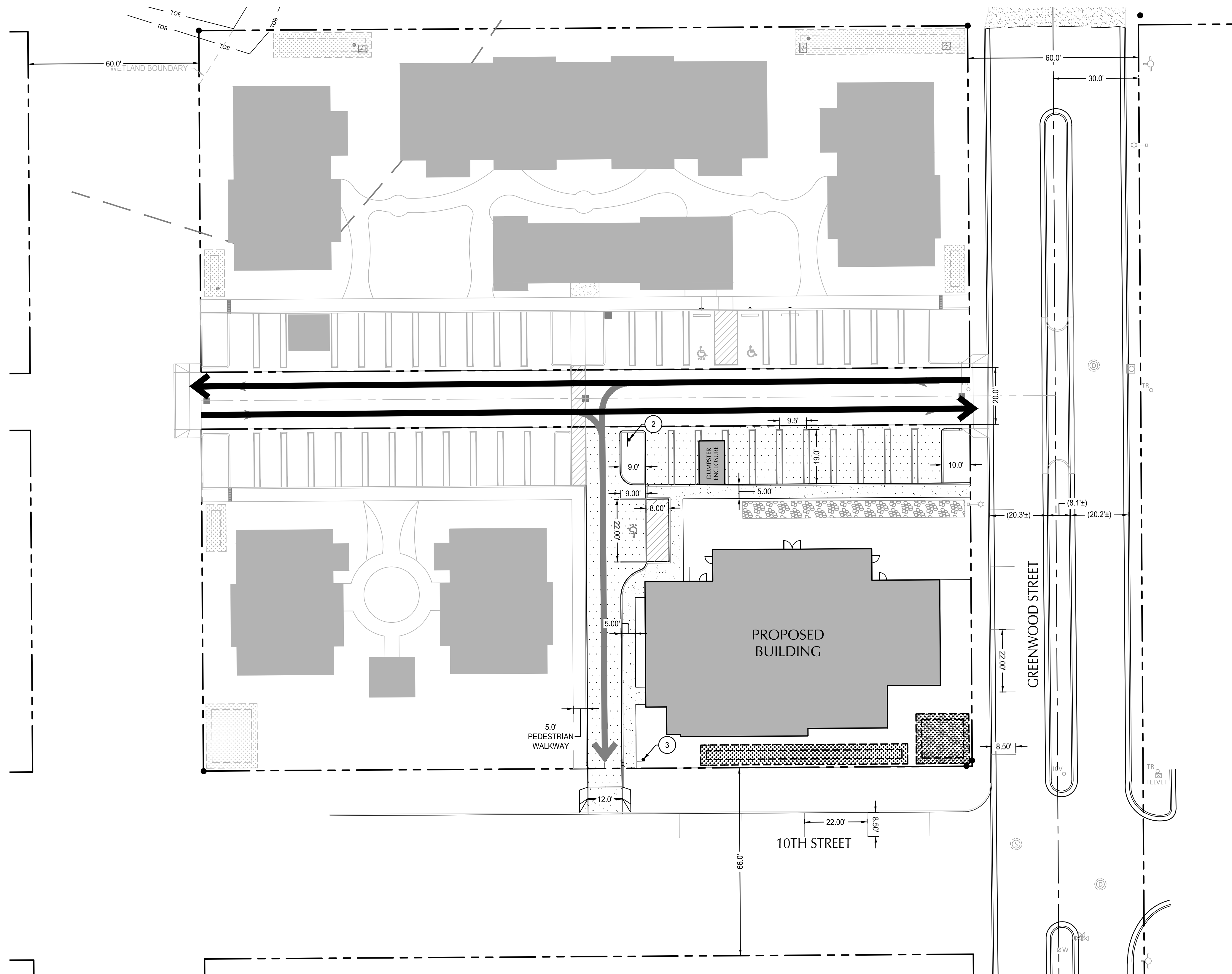
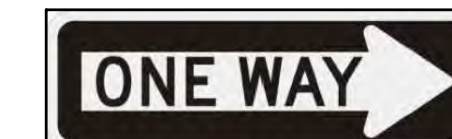
- ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF WALL.
- ALL SIDEWALKS FOR PEDESTRIAN CIRCULATION ARE CONCEPTUAL ONLY.
- ALL PUBLIC STREETS ARE CLASSIFIED AS LOCAL STREETS.

**SHEET LEGEND**

-  PROPERTY LINE
-  SAWCUT LINE
-  CONCRETE SIDEWALK
-  STANDARD ASPHALT PAVEMENT
-  STORMWATER MANAGEMENT FACILITY
-  PROPOSED FIRE ACCESS PATH
-  PROPOSED PUBLIC ALLEY
-  PROPOSED PRIVATE ALLEY

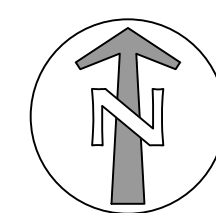
**SIGN LEGEND**

- # SIGN
- ADA PARKING SIGN. SEE DETAIL 10/C4.0
  - ONE WAY SIGN PER MUTCD R6-1, 36"x12". SEE BELOW
  - DO NOT ENTER SIGN PER MUTCD R5-1, 30"x30". SEE BELOW



File: O:\epi\2024\0153-Coastal-Village\CAD\PILOT\PILOT-INFO\240153-02PV.dwg TAB C200  
 Plotted: 11/1/24 at 5:11pm By: ABackus

REVISION	DATE	DESCRIPTION	BY



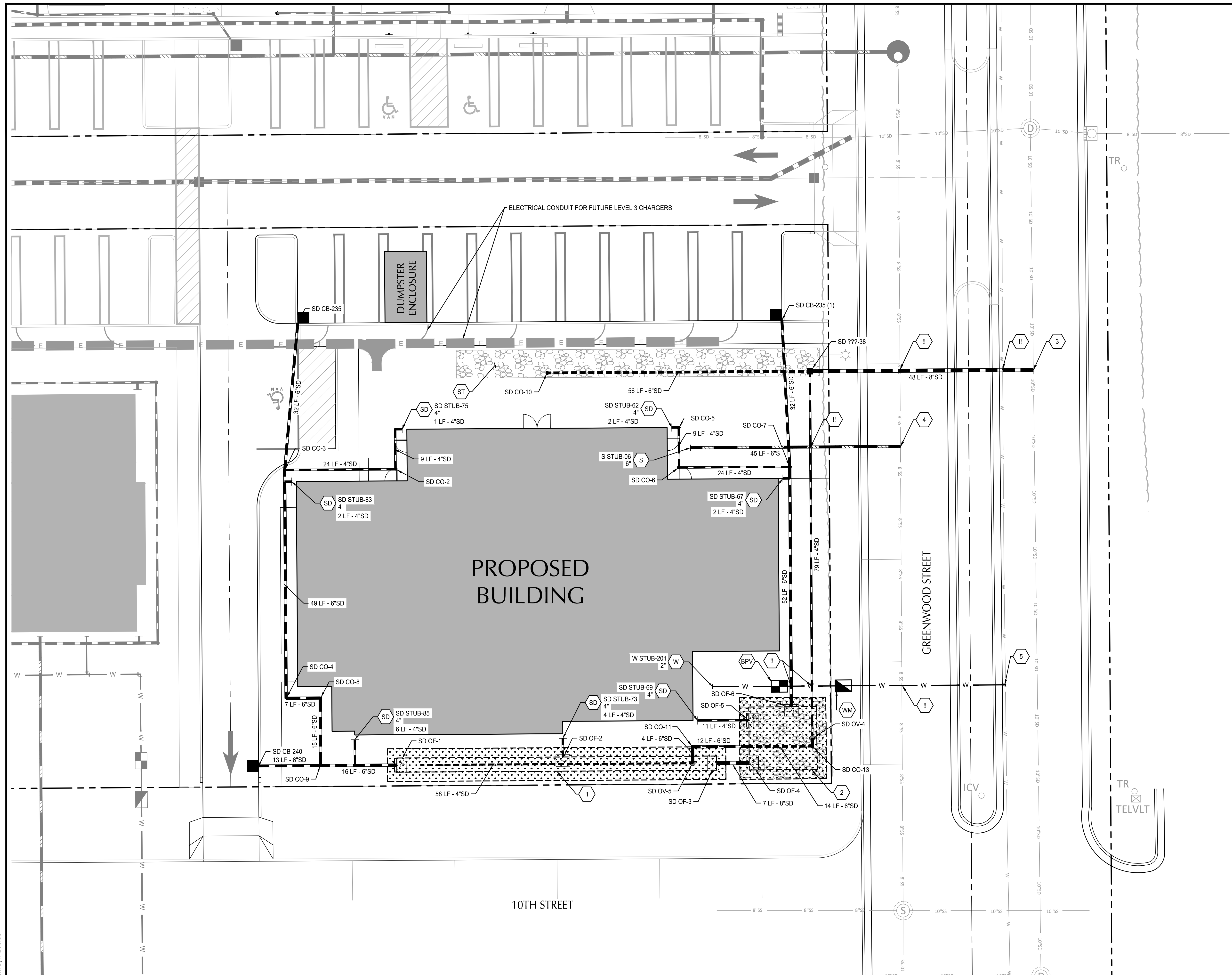
FOR INFORMATION ONLY

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DESIGNED BY:	JBP
DRAWN BY:	MB
CHECKED BY:	AB
PLOT DATE:	11/1/24 5:11pm
PLOTTED BY:	ABackus
DWG NAME:	2400153-02PV.dwg
TAB NAME:	C200

628 RADAR RD, YACHATS, OR 97498

OUR COASTAL VILLAGE FLORENCE  
 EARLY LEARNING CENTER  
 ACCESS AND CIRCULATION PLAN

SHEET NO.	
<b>C200</b>	
SHEET	OF XX
RECORD NO.	XXXX-XX



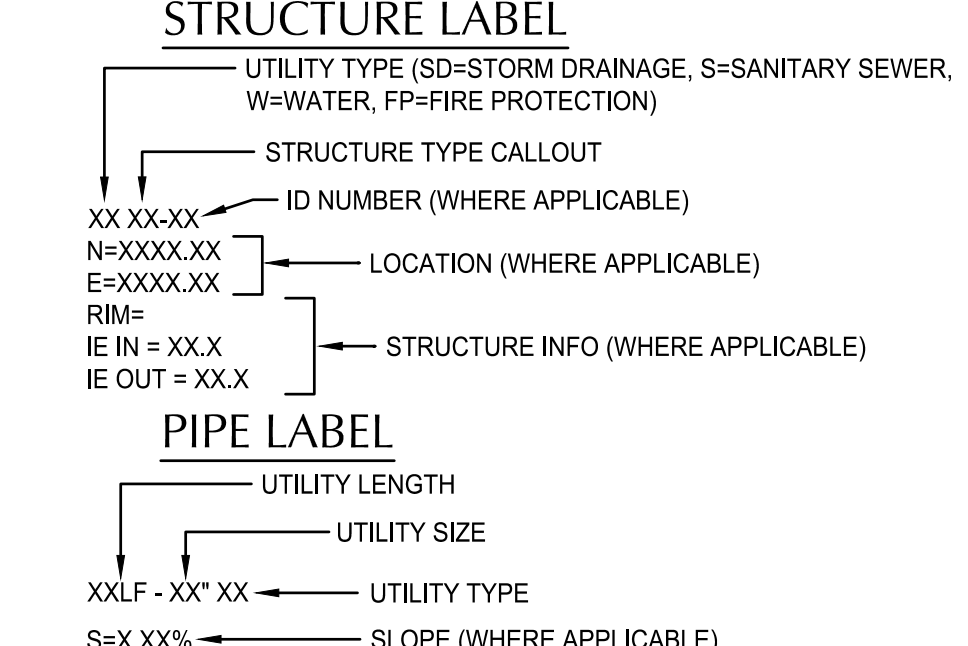
**SHEET NOTES**

- NO PUBLIC UTILITY EASEMENTS ARE PROPOSED.
- PUBLIC IMPROVEMENTS FOR 10TH STREET AND FIR STREET ARE PROPOSED UNDER A SEPARATE CITY-LED PROJECT. DESIGN TO BE COMPLETE IN JANUARY 2025.
- PUBLIC IMPROVEMENTS PROPOSED FOR THIS PROJECT ARE REFLECTED ON THIS PLAN. NO OTHER PUBLIC IMPROVEMENTS ARE PROPOSED AS PART OF THIS PROJECT.

**(X) UTILITY KEY NOTES**

NOTE	DESCRIPTION	DETAIL REF.
1	PROPOSED FILTRATION RAIN GARDEN.	
2	PROPOSED INFILTRATION RAN GARDEN.	
3	CONNECT TO EXISTING 10" STORM MAIN.	
4	CONNECT TO EXISTING 8" SANITARY MAIN.	
5	CONNECT TO EXISTING WATER MAIN.	
ST	PROPOSED INFILTRATION SOAKAGE TRENCH. SOAKAGE TRENCH TO BE DESIGNED PER UIC RULE AUTHORIZATION STANDARDS.	
WM	INSTALL WATER METER.	
BPV	BACKFLOW PREVENTION VAULT	
SD	CONNECT TO STORM DRAIN/ROOF DRAIN. SLOPE CONNECTING TO LEADER PIPE AT 2% MIN.	
S	CONNECT TO BUILDING WASTE LINE.	
W	CONNECT TO BUILDING COLD WATER SYSTEM.	
!!	UTILITY CROSSING. PROVIDE 12" MIN. CLEARANCE, U.N.O.	

**UTILITY LABEL LEGEND**

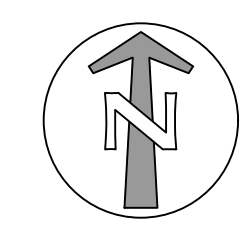


**STRUCTURE TYPE**

CALLOUT	DESCRIPTION	DETAIL REF.
AD	AREA DRAIN	
BPV	BACKFLOW PREVENTION VAULT	
CO	CLEANOUT TO GRADE	
OF	OUTFALL	
OV	OVERFLOW INLET	
STUB	STUB	
WM	WATER METER	

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 24x36

REVISION	DATE	DESCRIPTION	BY



FOR  
 INFORMATION  
 ONLY

JOB No.:	2400153
DESIGNED BY:	JBP
DRAWN BY:	MB
CHECKED BY:	AB
PLOT DATE:	11/1/24 5:12pm
PLOTTED BY:	ABackus
DWG NAME:	2400153-03UT.dwg
TAB NAME:	C300

628 RADAR RD, YACHATS, OR 97498

OUR COASTAL VILLAGE FLORENCE  
EARLY LEARNING CENTER

**STORM & UTILITY PLAN**

SHEET 1 OF XX

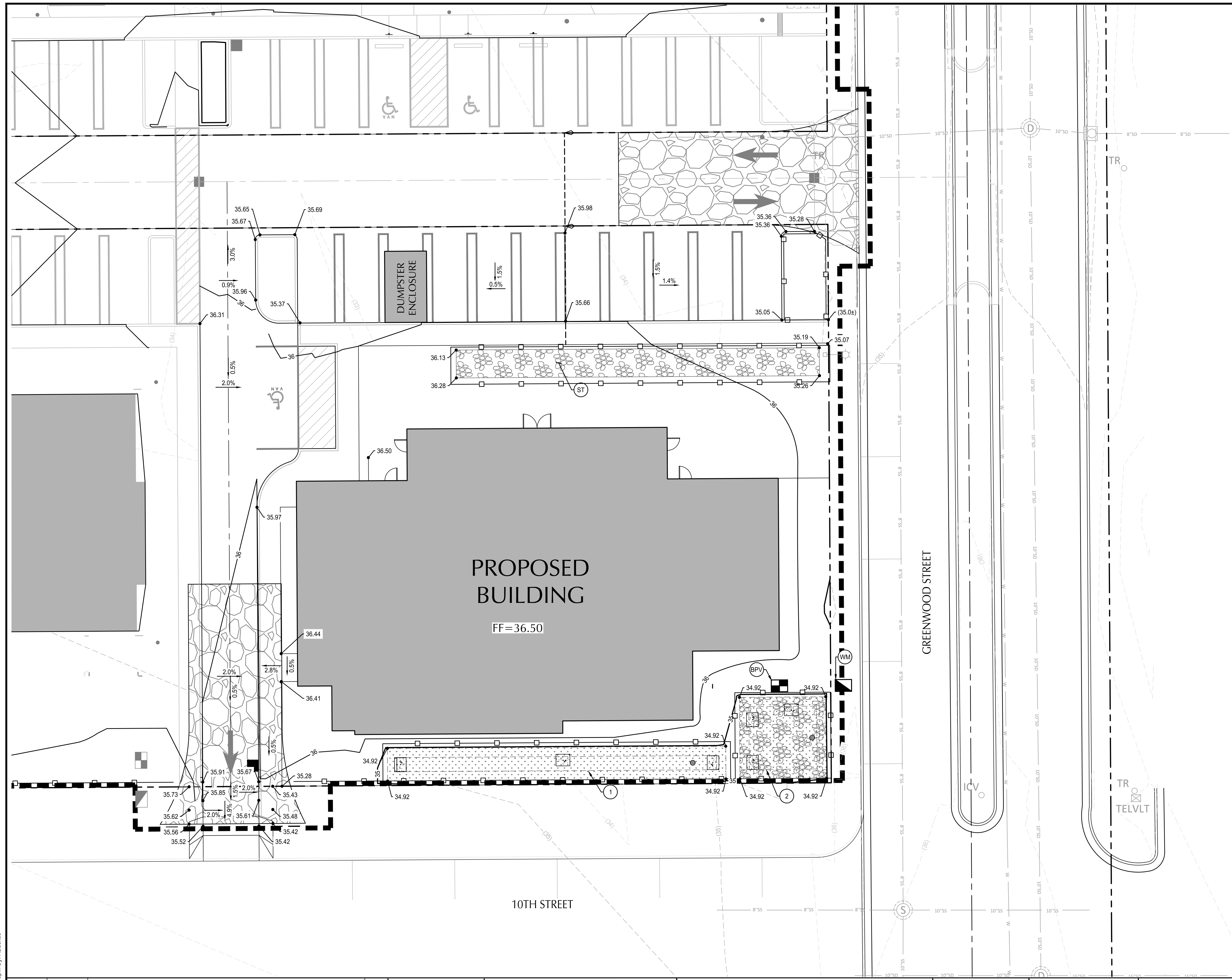
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**C300**

SHEET NO.



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 24x36



**SHEET NOTES**

1. SLOPES PROVIDED ON SLOPE ARROW ARE FOR REFERENCE ONLY.
2. LANDINGS ON ACCESSIBLE ROUTES SHALL NOT EXCEED 2% IN ANY DIRECTION.
3. ALL ACCESSIBLE ROUTES SHALL COMPLY WITH CURRENT ADA ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES (ADAAG).

**(X) KEY NOTES**

NOTE	DESCRIPTION	DETAIL REF.
1	PROPOSED FILTRATION RAIN GARDEN	
2	PROPOSED INFILTRATION RAIN GARDEN	
ST	SOAKAGE TRENCH	
BPV	BACKFLOW PREVENTION VAULT	
WM	WATER METER	

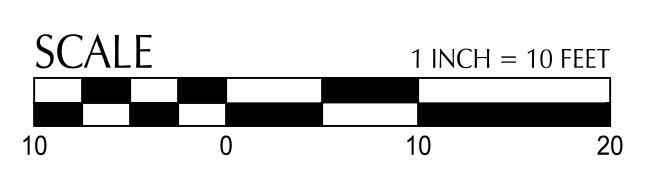
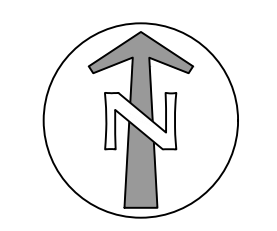
**GRADING LABEL LEGEND**

CALLOUT	DESCRIPTION
X.X%	GRADING SLOPE AND DIRECTION (DOWNHILL)
[X.X%]	SLOPE ORIENTATION INDICATING DIRECTION OF MAXIMUM GRADE (DOWNHILL)
XX.XX XX	SPOT ELEVATION DESCRIPTION LISTED BELOW. NO DESCRIPTION MEANS TP OR TG
BOS	BOTTOM OF SWALE
BOW	BACK OF WALK
BS	BOTTOM OF STEP
BW	BOTTOM OF WALL
EG	EXISTING GRADE
FF	FINISHED FLOOR
FL	FLOW LINE
G	GUTTER
HP	HIGH POINT
LP	LOW POINT
RIM	RIM OF STRUCTURE
TC	TOP OF CURB
TG	TOP OF GROUND
TP	TOP OF PAVEMENT
TS	TOP OF STEP
TW	TOP WALL
(XXX.X±)	EXISTING GRADE (MATCH WHERE APPLICABLE)

**SHEET LEGEND**

---	GRADE BREAK
(49)	EX. CONTOUR MINOR
(50)	EX. CONTOUR MAJOR
49	CONTOUR MINOR (FG)
50	CONTOUR MAJOR (FG)
---	EXTENT OF WORK
□	SEDIMENT CONTROL FENCE. PLACE AT PROPERTY LINES, UNO (SHOWN OFFSET FOR CLARITY).
⊗	INLET PROTECTION
⊞	ROCKED CONSTRUCTION ENTRANCE

REVISION	DATE	DESCRIPTION	BY



FOR  
 INFORMATION  
 ONLY

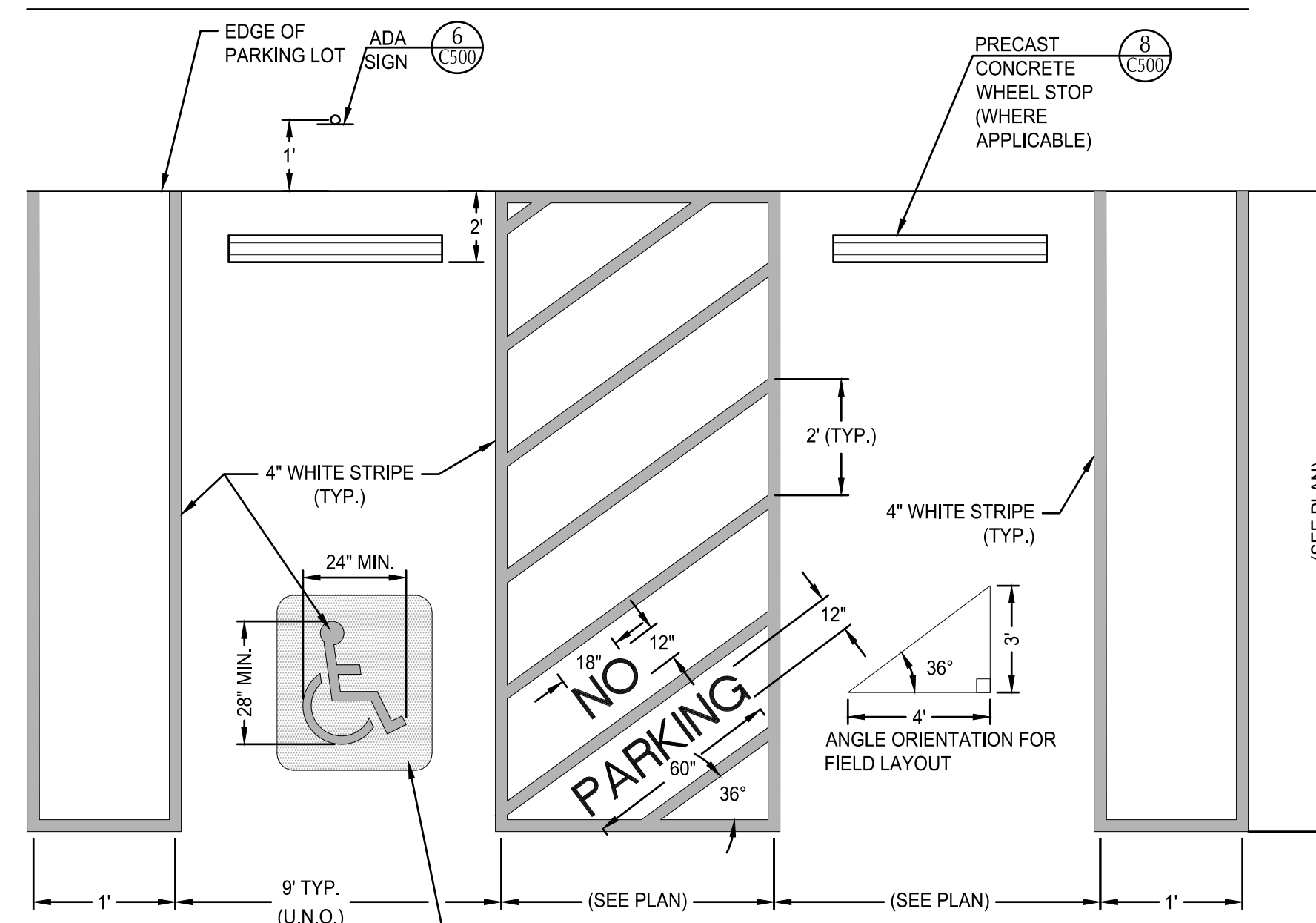
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DRAWN BY:	MB
CHECKED BY:	AB
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PLOTTED BY:	ABackus
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628 RADAR RD, YACHTS, OR 97498

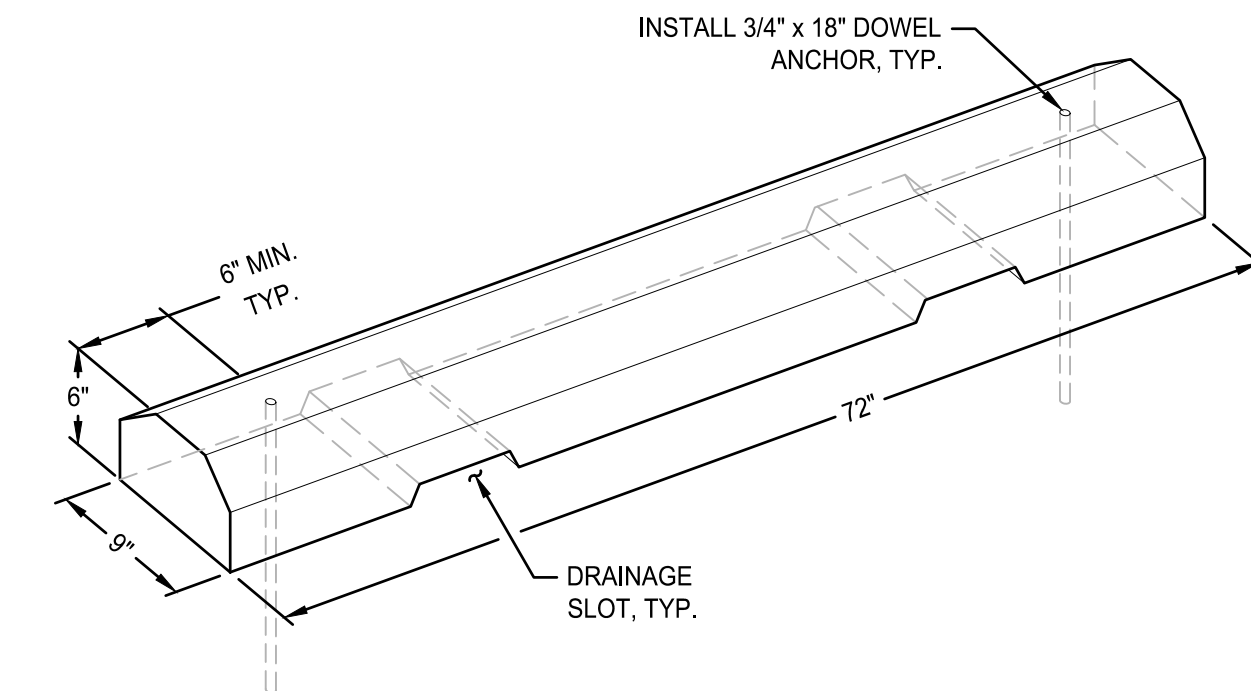
OUR COASTAL VILLAGE FLORENCE  
EARLY LEARNING CENTER

GRADING PLAN

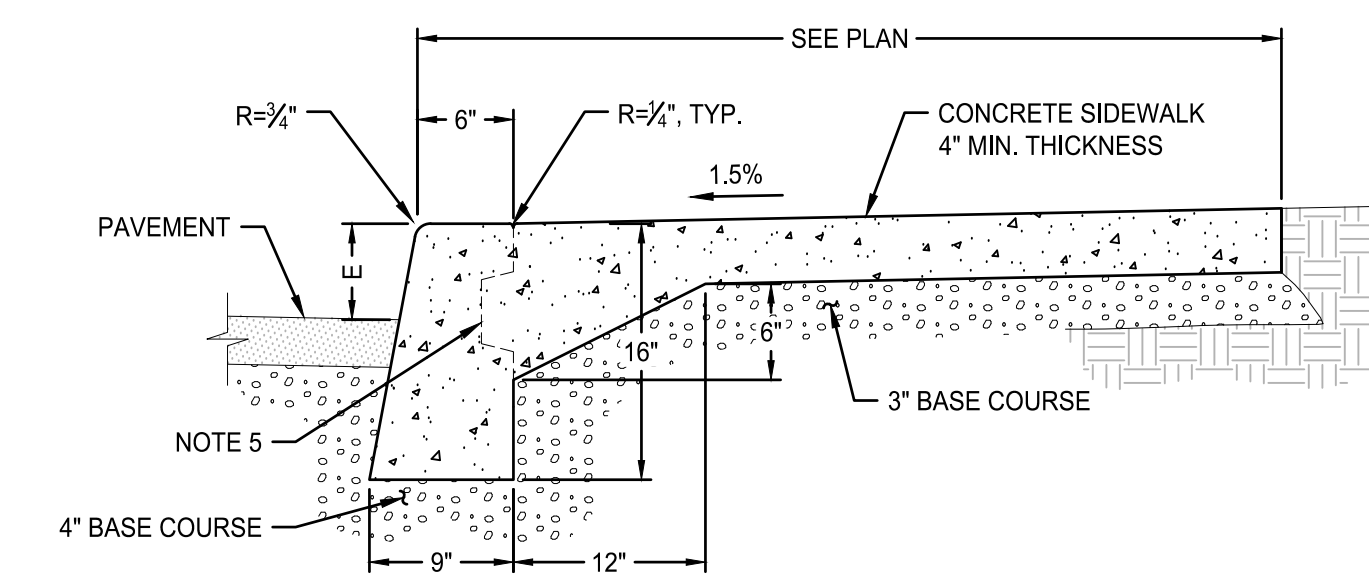
SHEET NO.	1 OF XX
RECORD NO.	XXXXX-XX
<b>C400</b>	



**7** TYPICAL PARKING STRIPING AND LAYOUT  
SCALE: NTS

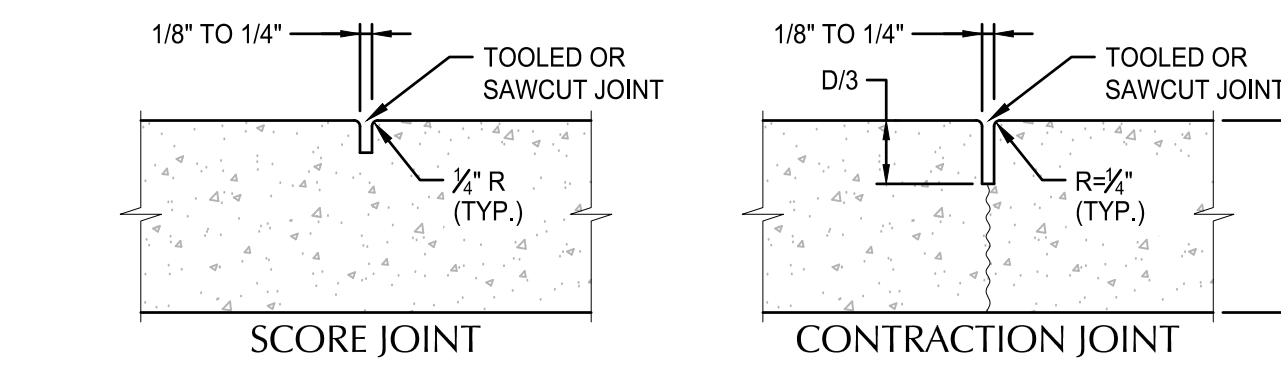


**8** PRECAST CONCRETE WHEEL STOP  
SCALE: NTS



- NOTES:**
- CURB EXPOSURE 'E' = 6", TYP. VARY AS SHOWN ON PLANS OR AS DIRECTED.
  - CONSTRUCT JOINTS PER TYP. SIDEWALK JOINTS DETAIL ON THIS SHEET.
  - TOPS OF ALL CURBS SHALL SLOPE TOWARD THE ROADWAY AT 2% UNLESS OTHERWISE SHOWN OR AS DIRECTED.
  - DIMENSIONS ARE NOMINAL AND MAY VARY TO CONFORM WITH CURB MACHINE AS APPROVED BY THE ENGINEER.
  - IF NEEDED, CURB AND SIDEWALK CAN BE CONSTRUCTED SEPARATELY USING TAPERED 2"x4" KEYWAY FORMED IN CURB AS SHOWN.

**4** CURB & SIDEWALK - MONOLITHIC  
SCALE: NTS



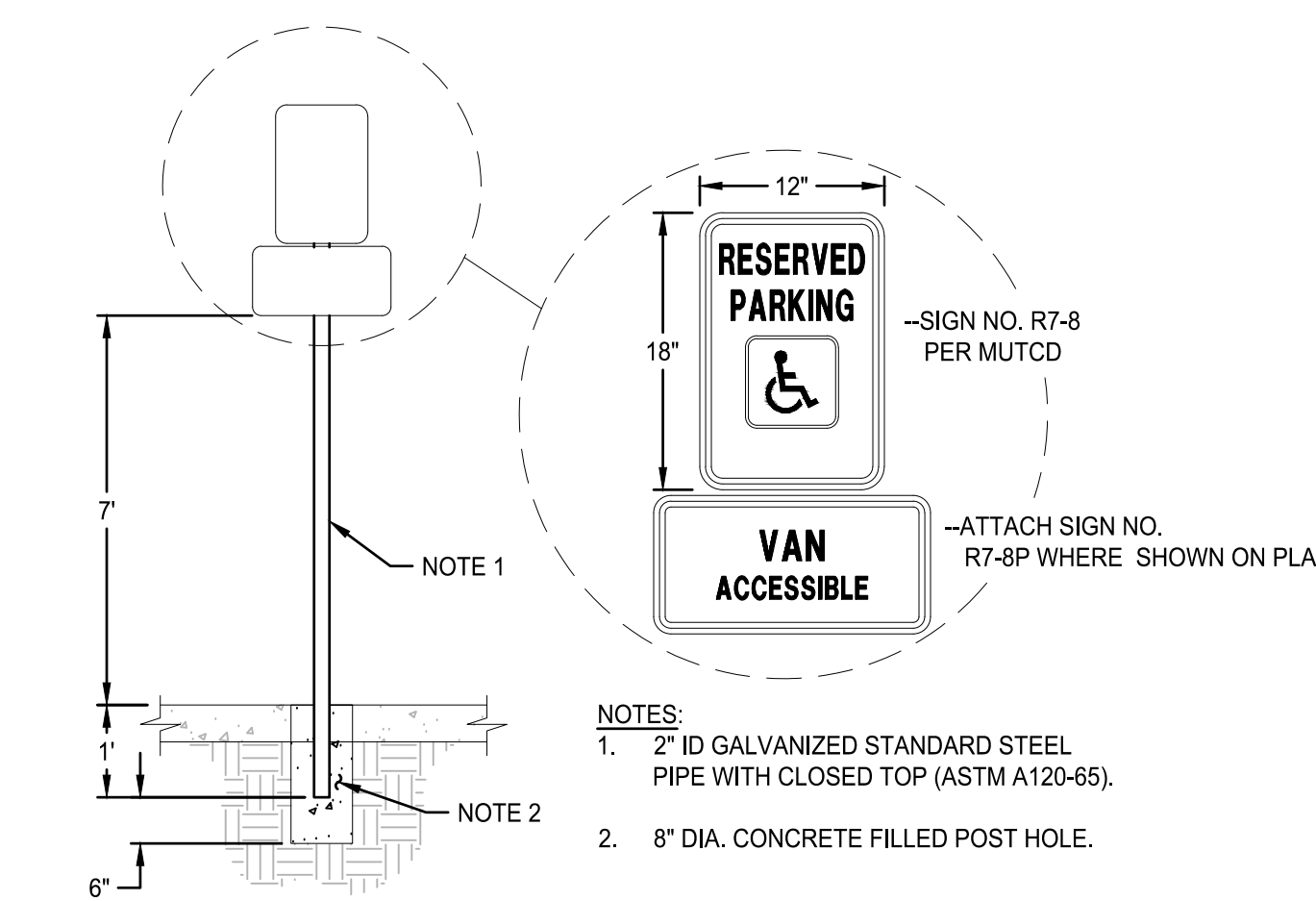
**JOINT INTERVALS TABLE**

TYPE	SPACING	OR AT...
SCORE	5' TYP.	LOCATIONS SHOWN ON PLANS
CONTRACTION	15' MAX.	END OF RAMPS AND DRIVEWAYS
EXPANSION/ISOLATION	200'*	POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY OR OTHER FIXED OBJECTS

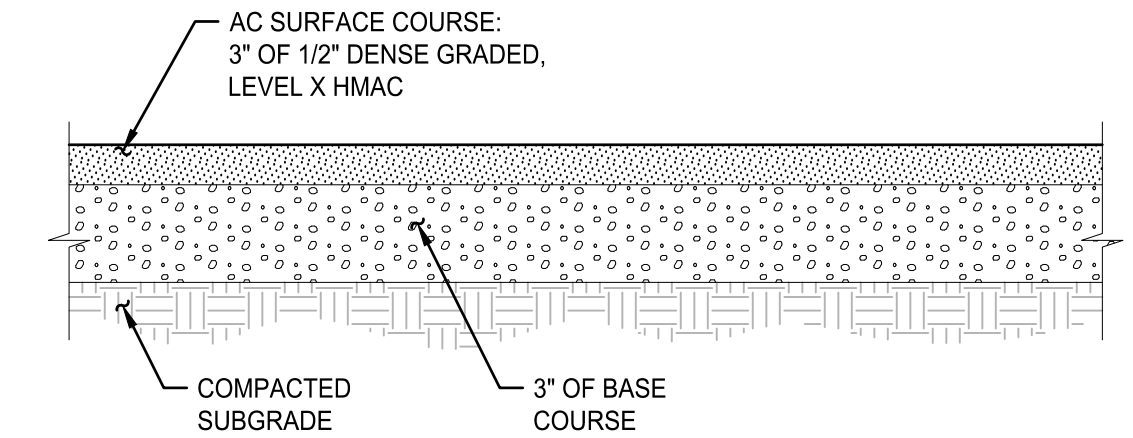
\*MONOLITHIC CURB AND SIDEWALK SHALL BE 45' MAX.

- NOTES:**
- CONTRACTION JOINTS MAY BE USED IN PLACE OF SCORE JOINTS.
  - CONSTRUCTION COLD JOINTS MAY BE USED IN PLACE OF CONTRACTION JOINTS.
  - PROVIDE MEDIUM BROOM FINISH WITH NO TOOL MARKS.

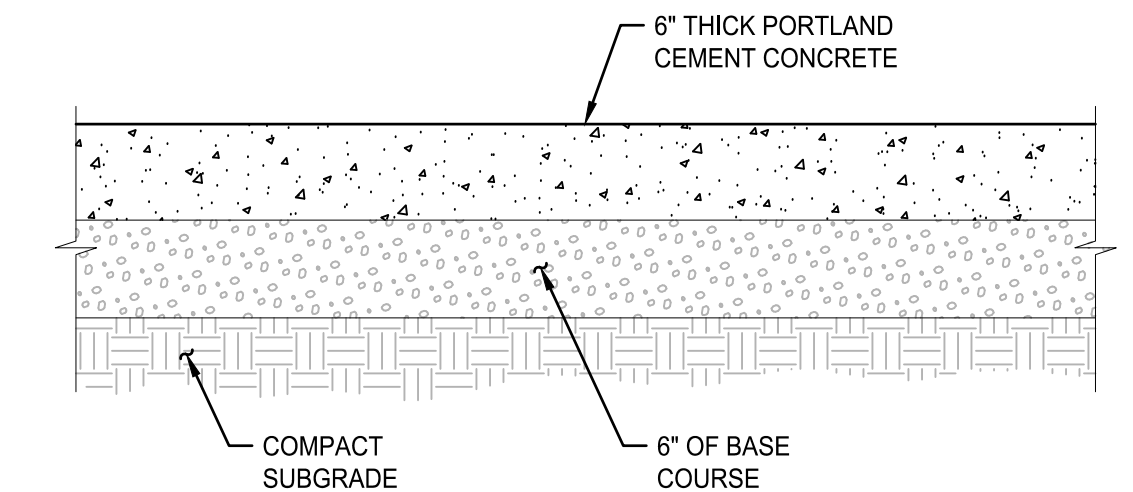
**5** TYP. SIDEWALK JOINTS  
SCALE: NTS



**6** ADA PARKING SIGN - TYPE 1  
SCALE: NTS

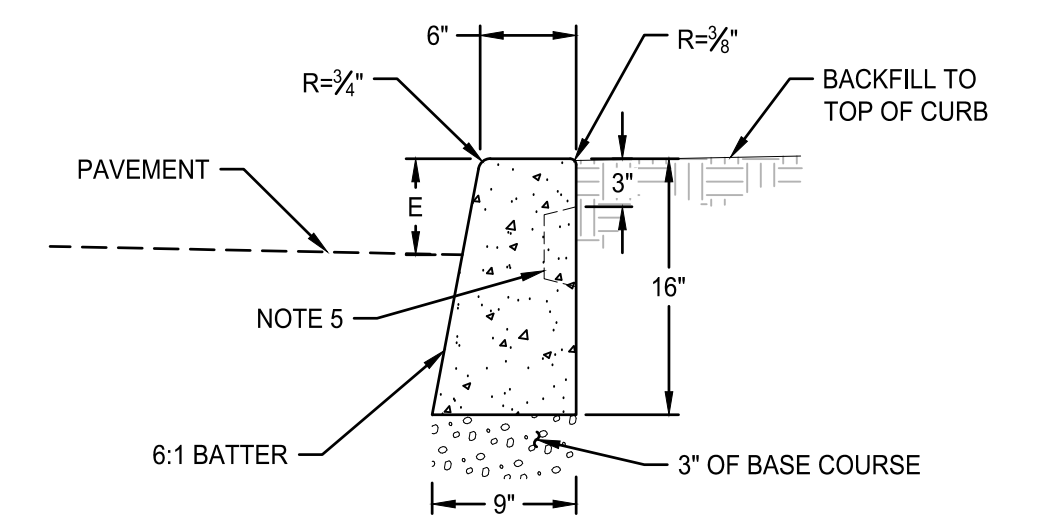


**1** ASPHALT PAVEMENT SECTION  
SCALE: NTS



- NOTES:**
- CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS.
  - CONSTRUCT EXPANSION JOINTS AT 200' MAX. SPACING AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY.
  - PROVIDE MEDIUM TO COARSE BROOM FINISH.

**2** CONCRETE PAVEMENT SECTION  
SCALE: NTS



- NOTES:**
- CURB EXPOSURE 'E' = 6", TYP. VARY AS SHOWN ON PLANS OR AS DIRECTED.
  - CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS. CONSTRUCT EXPANSION JOINTS AT 200' MAX SPACING AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY.
  - TOPS OF ALL CURBS SHALL SLOPE TOWARD THE ROADWAY AT 2% UNLESS OTHERWISE SHOWN OR AS DIRECTED.
  - DIMENSIONS ARE NOMINAL AND MAY VARY TO CONFORM WITH CURB MACHINE AS APPROVED BY THE ENGINEER.
  - WHERE CONCRETE SIDEWALK IS USED, INSTALL KEYWAY INTO CURB AS SHOWN.

**3** CONCRETE CURB - STANDARD  
SCALE: NTS

File: O:\cpl\2024\0153-Coastal-Village\CAD\PL\LOT\ELP\UD-INFO\240153-05DT.dwg TAB C500  
24x36  
Ploated: 11/2/24 at 2:11pm By: ABackus

REVISION	DATE	DESCRIPTION	BY

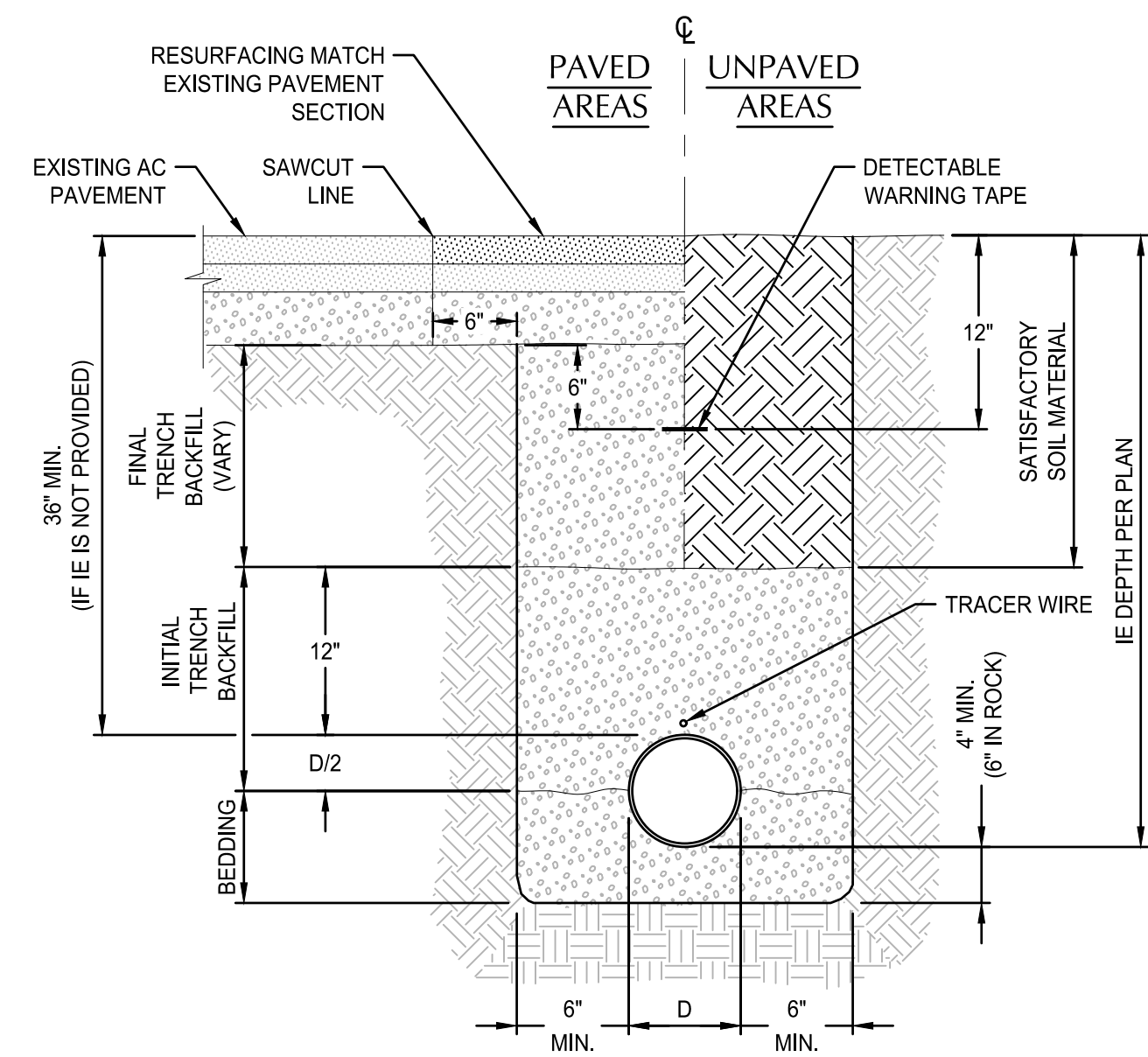
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**FOR INFORMATION ONLY**

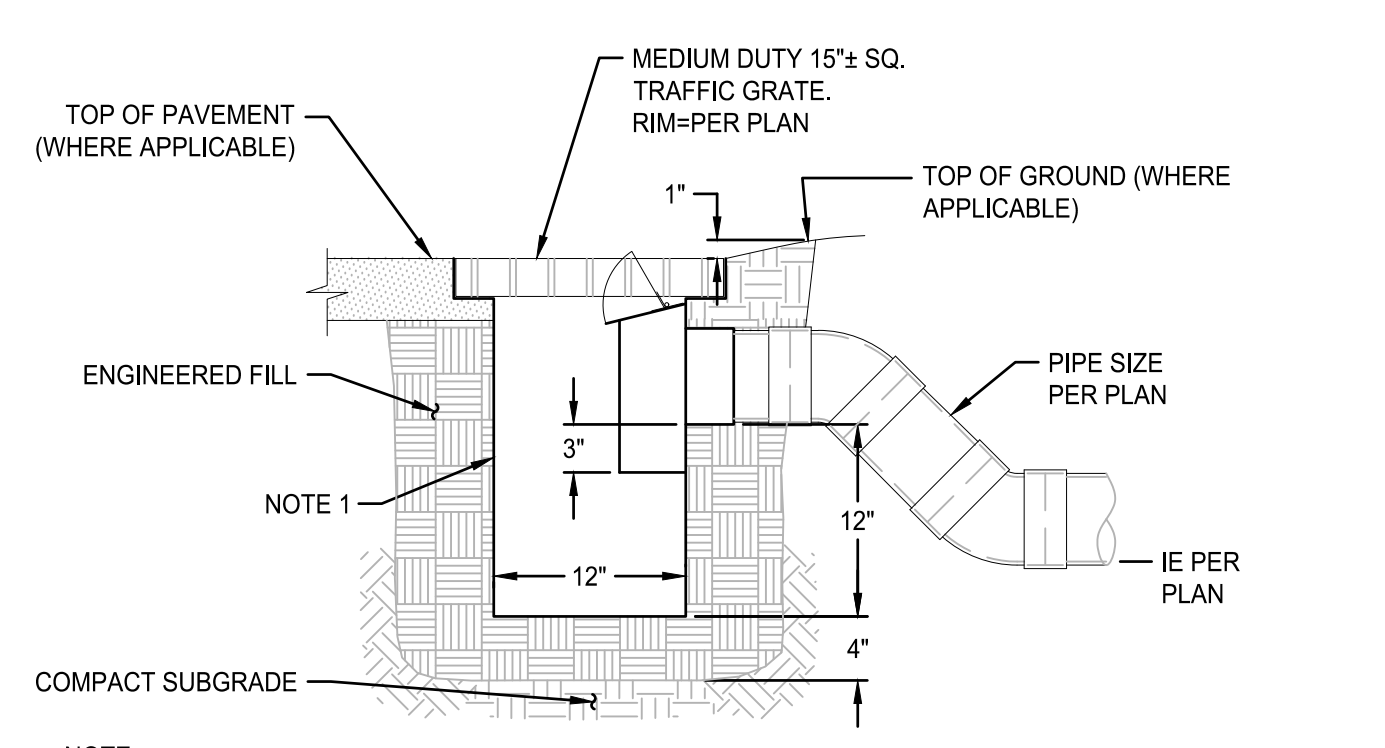
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CHECKED BY:	AB
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PLOTTED BY:	ABackus
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628 RADAR RD, YACHTS, OR 97498
OUR COASTAL VILLAGE FLORENCE EARLY LEARNING CENTER
CIVIL DETAILS

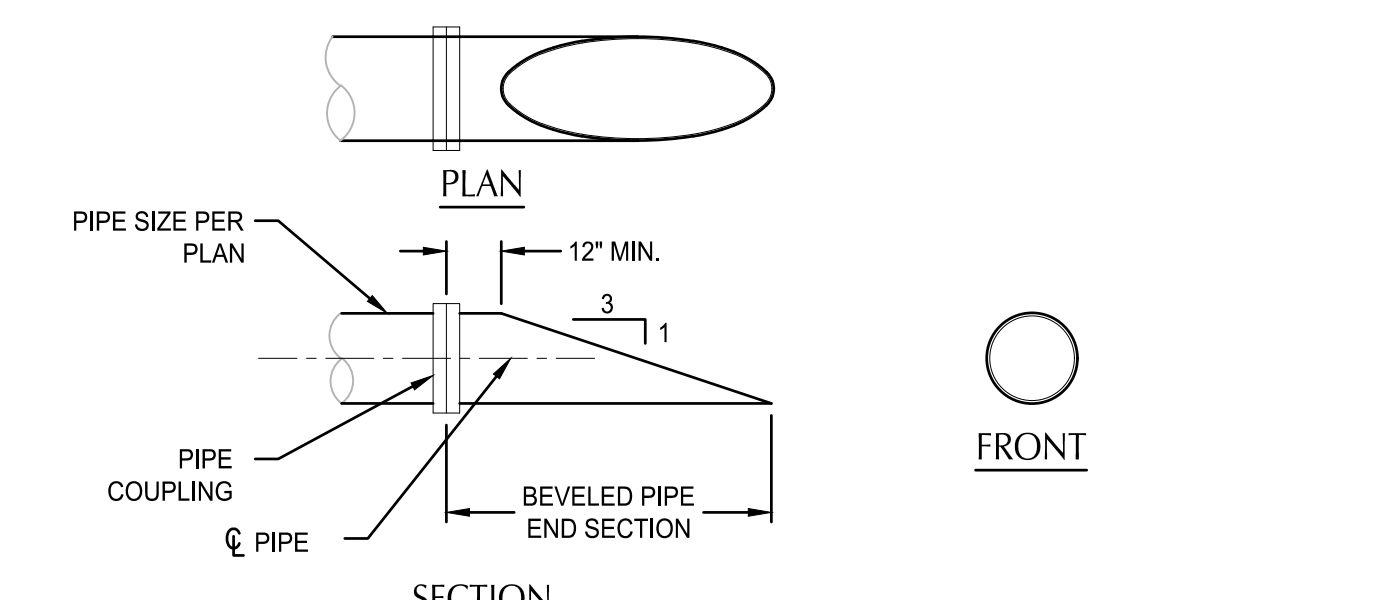
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SHEET 1 OF XX	
RECORD NO.	XXXXX-XX



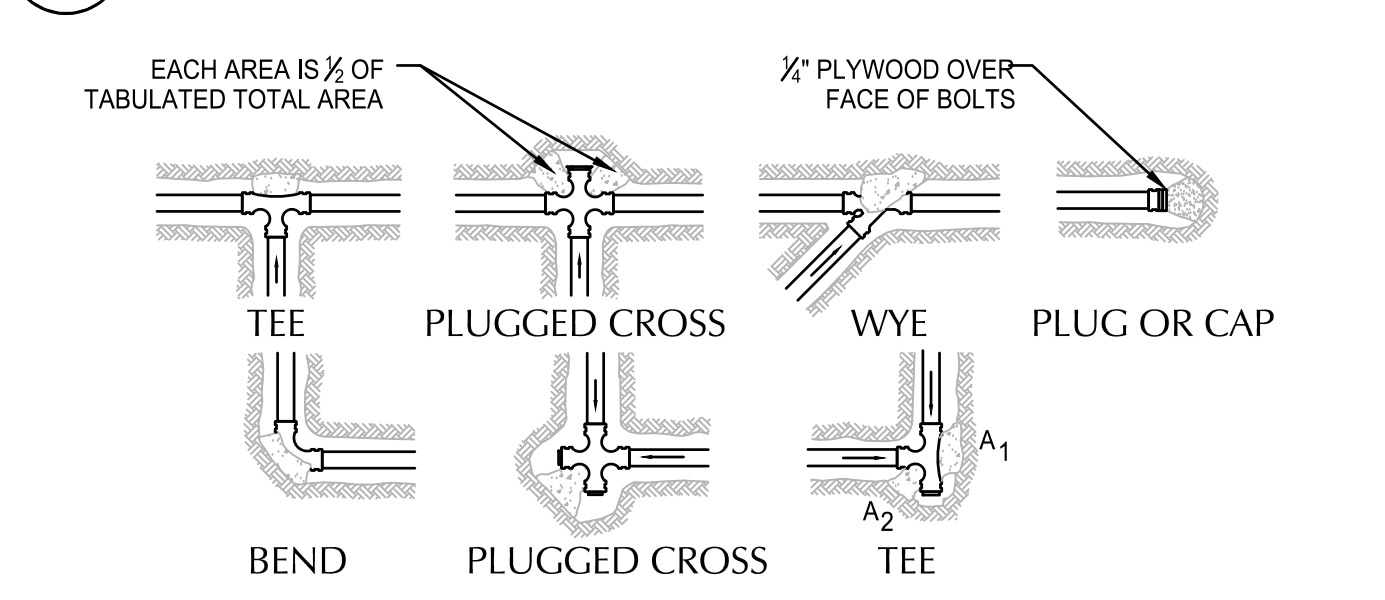
**8 TYPICAL PIPE BEDDING AND BACKFILL**  
SCALE: NTS



**5 TRAPPED AREA DRAIN**  
SCALE: NTS



**6 MITERED OUTFALL**  
SCALE: NTS



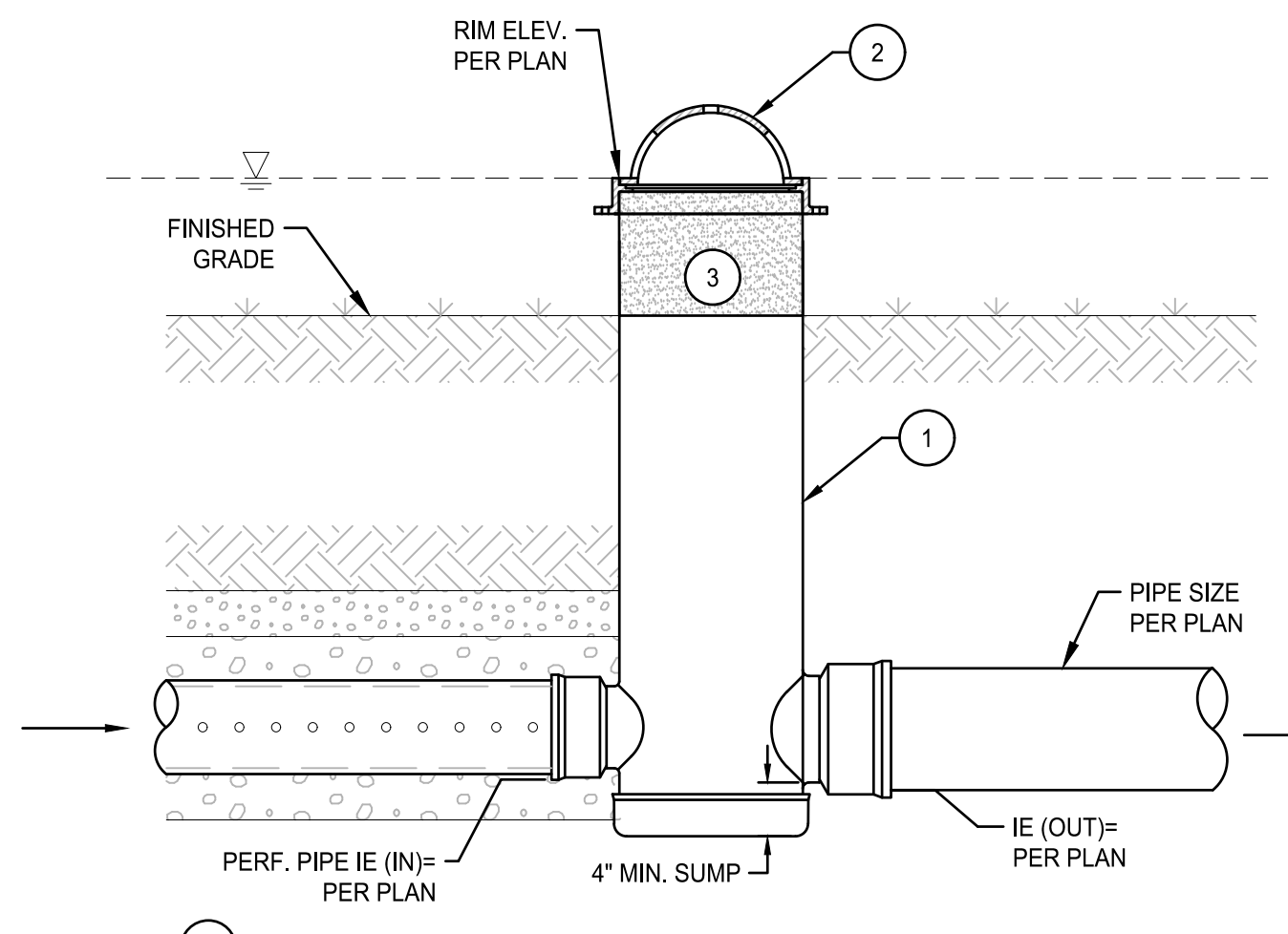
1. CONCRETE THRUST BLOCKING TO BE POURED AGAINST UNDISTURBED EARTH.
2. KEEP CONCRETE CLEAR OF JOINT AND ACCESSORIES.
3. THE REQUIRED THRUST BEARING AREAS FOR SPECIAL CONNECTIONS ARE SHOWN ENCIRCLED ON THE PLAN; e.g. (15) INDICATES 15 SQUARE FEET BEARING AREA REQUIRED.
4. IF NOT SHOWN ON PLANS REQUIRED BEARING AREAS AT FITTING SHALL BE AS INDICATED BELOW. ADJUST IF NECESSARY, TO CONFORM TO THE TEST PRESSURE(S) AND ALLOWABLE SOIL BEARING STRESS (ES) STATED IN THE SPECIAL SPECIFICATIONS.
5. BEARING AREAS AND SPECIAL BLOCKING DETAILS SHOWN ON PLANS TAKE PRECEDENCE OVER BEARING AREAS AND BLOCKING DETAILS SHOWN ON THIS STANDARD DETAIL.

BEARING AREA OF THRUST BLOCK IN SQUARE FOOT

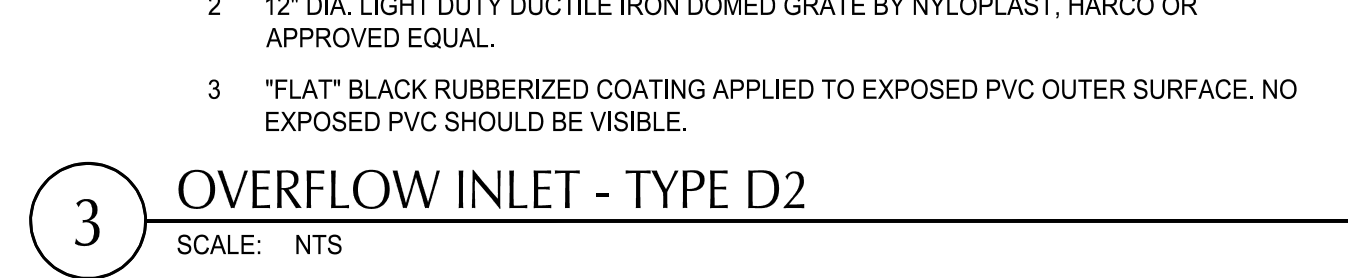
FITTING SIZE	TEE, WYE, PLUG, OR CAP	90° BEND PLUGGED CROSS	TEE PLUGGED ON RUN		45° BEND	22 1/2° BEND	1 1/2° BEND
			A1	A2			
4	1.0	1.4	1.9	1.4	1.0		
6	2.1	3.0	4.3	3.0	1.6	1.0	
8	3.8	5.3	7.6	5.4	2.9	1.5	1.0
10	5.9	8.4	11.8	8.4	4.6	2.4	1.2

NOTE: ABOVE BEARING AREAS BASED ON TEST PRESSURE OF 150 p.s.i. AND AN ALLOWABLE SOIL BEARING STRESS OF 2000 p.s.i.. TO COMPUTE BEARING AREAS FOR DIFFERENT TEST PRESSURE AND SOIL BEARING STRESSES, USE THE FOLLOWING EQUATION: BEARING AREA = (TEST PRESSURE/150)X(TABLE VALUE).

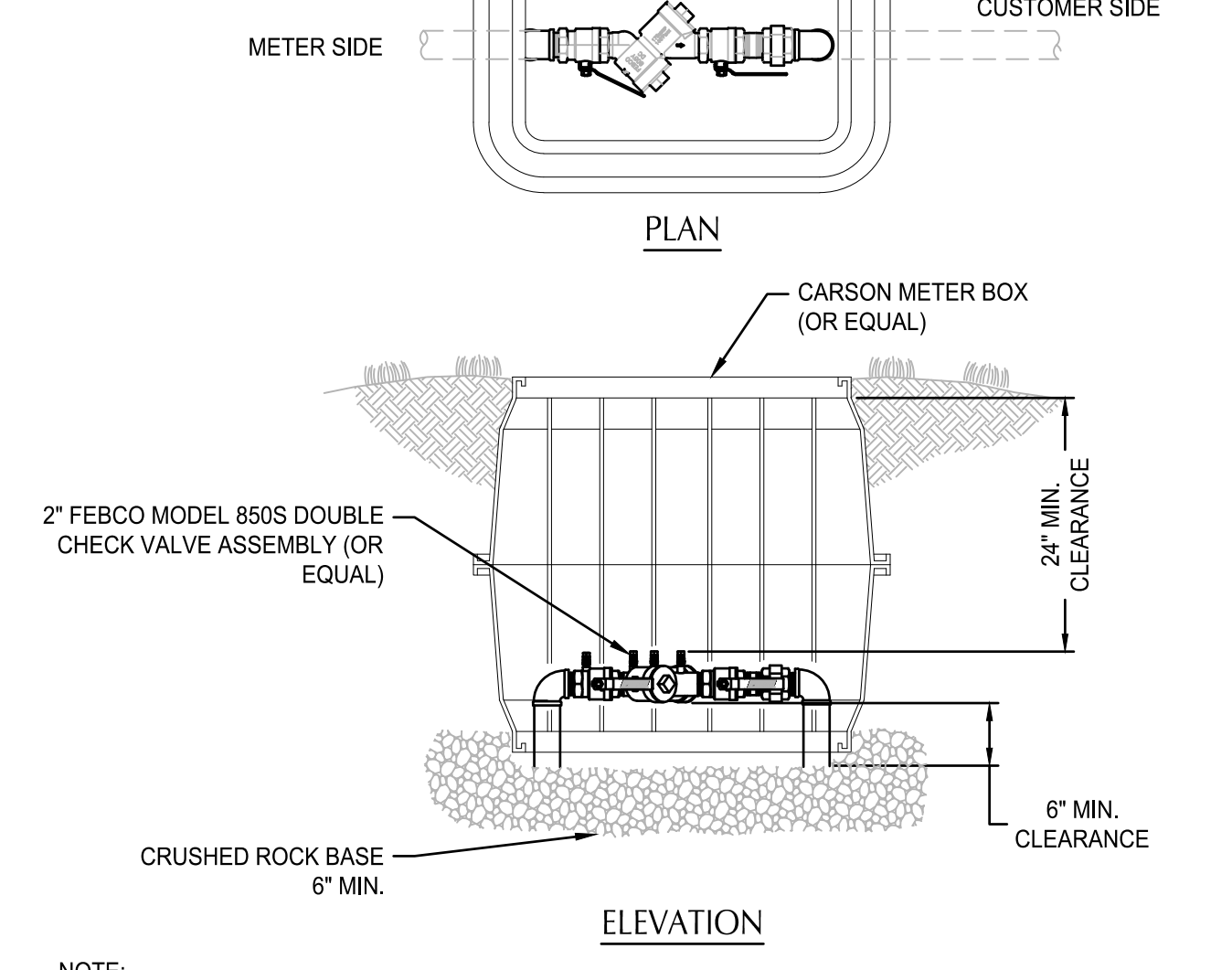
**7 THRUST BLOCK**  
SCALE: NTS



**3 OVERFLOW INLET - TYPE D2**  
SCALE: NTS



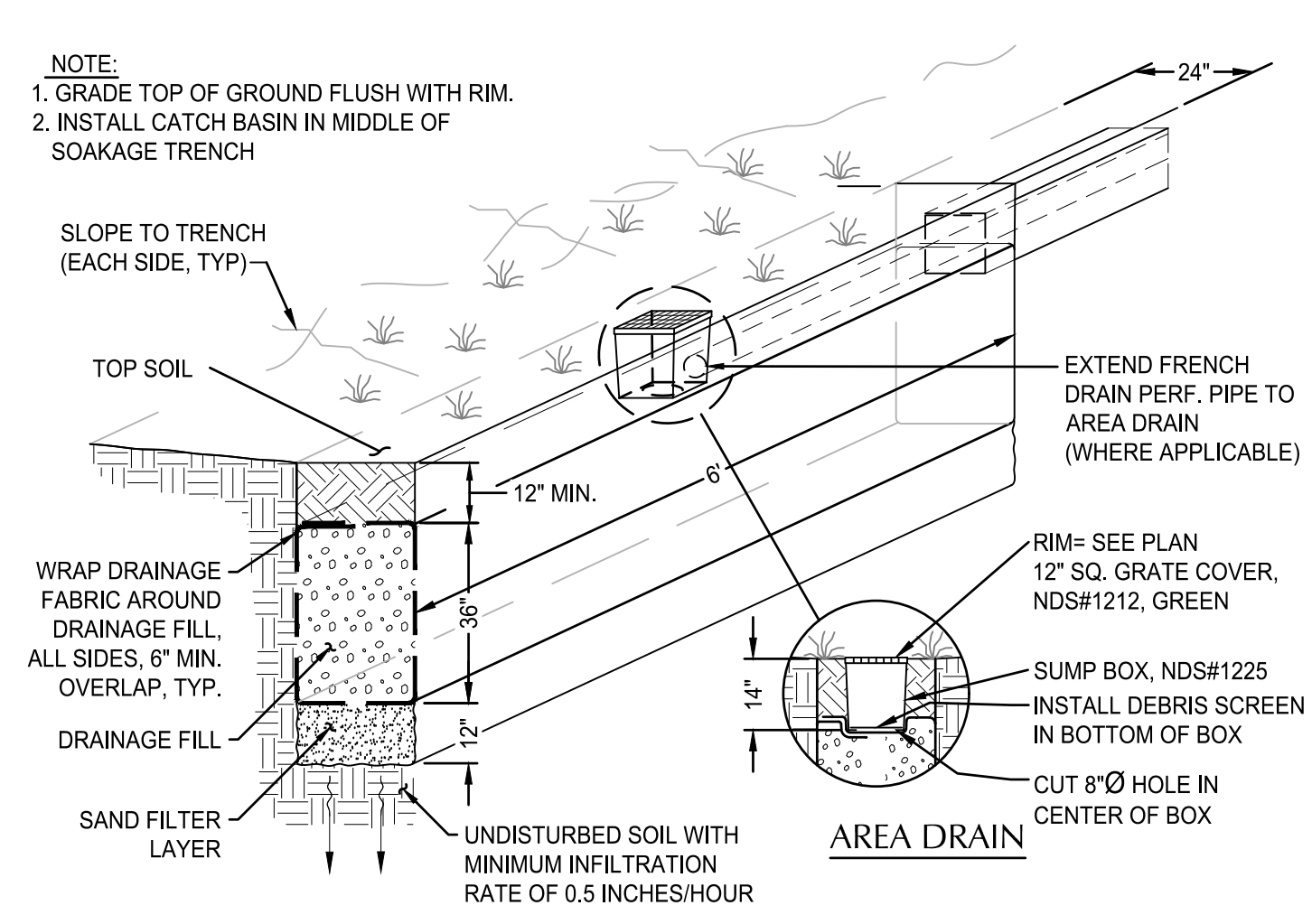
**4 DOUBLE CHECK BACKFLOW ASSEMBLY**  
SCALE: NTS



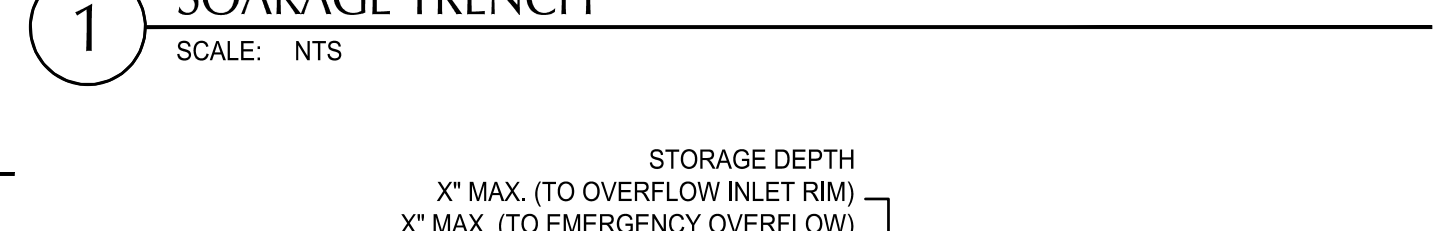
**1 SOAKAGE TRENCH**  
SCALE: NTS



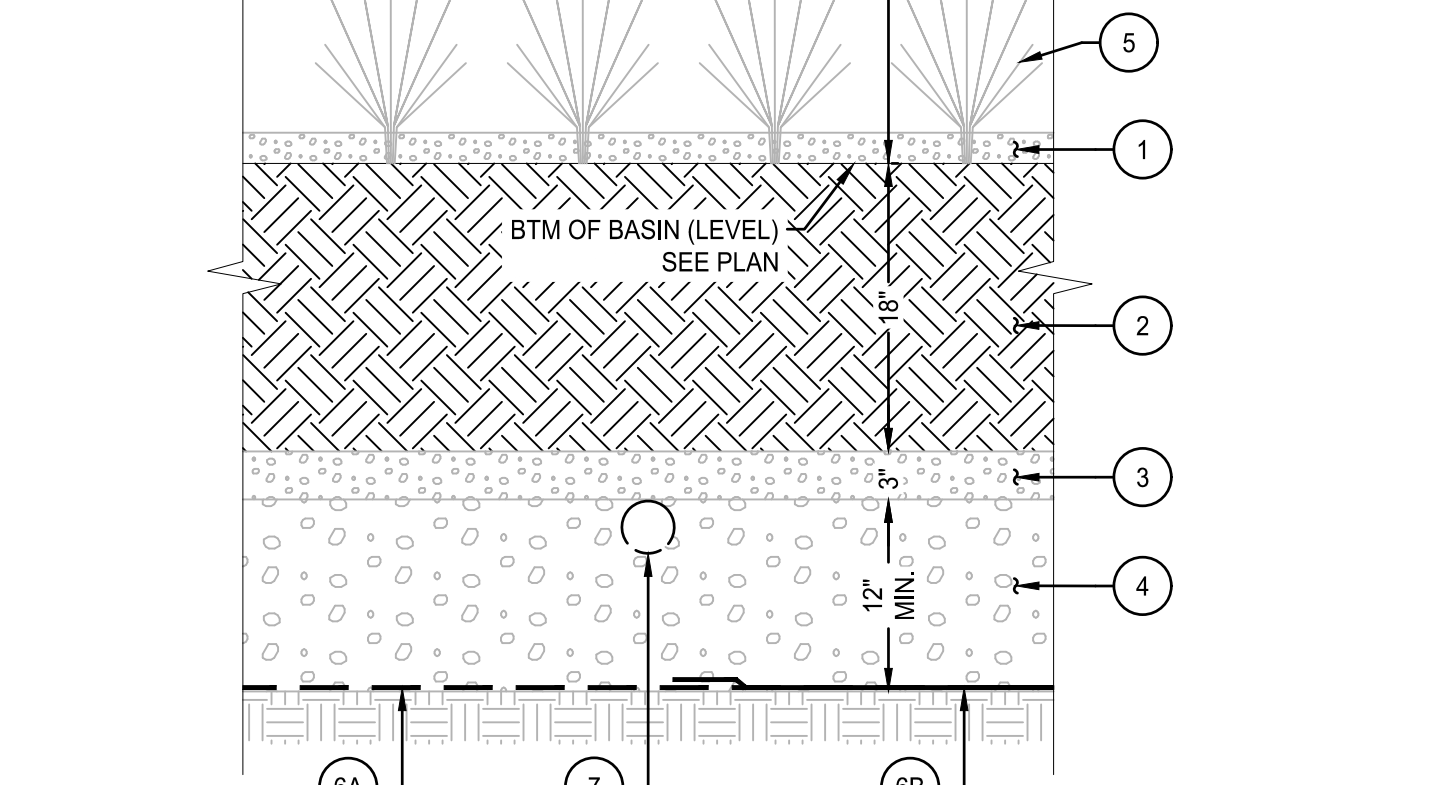
**2 RAIN GARDEN**  
SCALE: NTS



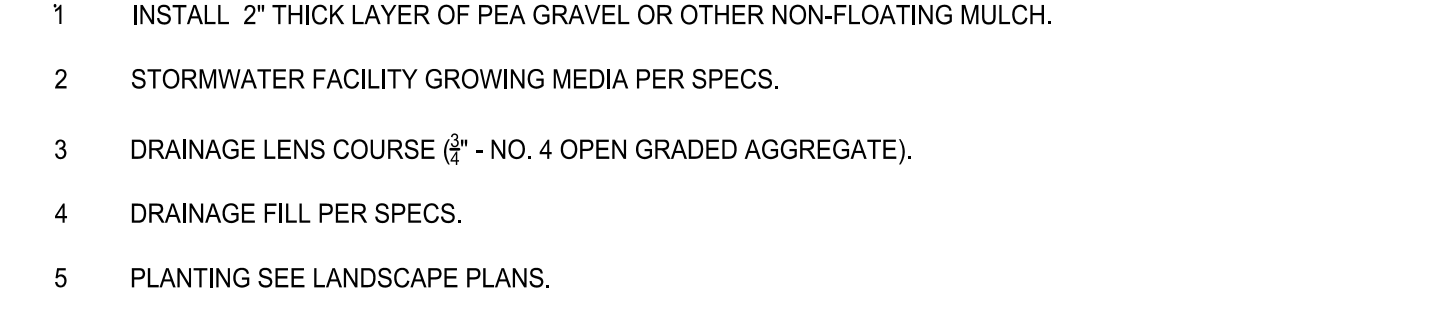
**8 TYPICAL PIPE BEDDING AND BACKFILL**  
SCALE: NTS



**5 TRAPPED AREA DRAIN**  
SCALE: NTS



**6 MITERED OUTFALL**  
SCALE: NTS



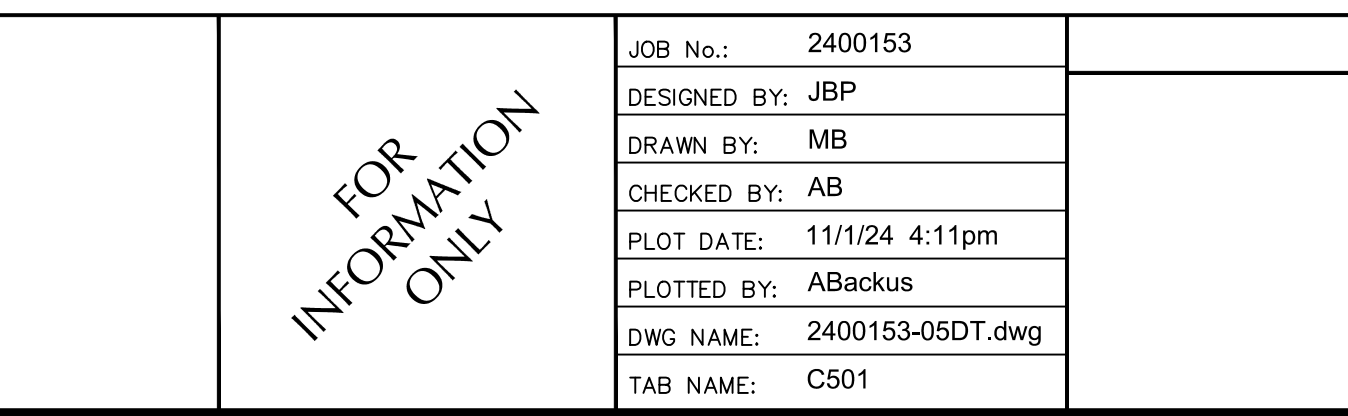
1. CONCRETE THRUST BLOCKING TO BE POURED AGAINST UNDISTURBED EARTH.
2. KEEP CONCRETE CLEAR OF JOINT AND ACCESSORIES.
3. THE REQUIRED THRUST BEARING AREAS FOR SPECIAL CONNECTIONS ARE SHOWN ENCIRCLED ON THE PLAN; e.g. (15) INDICATES 15 SQUARE FEET BEARING AREA REQUIRED.
4. IF NOT SHOWN ON PLANS REQUIRED BEARING AREAS AT FITTING SHALL BE AS INDICATED BELOW. ADJUST IF NECESSARY, TO CONFORM TO THE TEST PRESSURE(S) AND ALLOWABLE SOIL BEARING STRESS (ES) STATED IN THE SPECIAL SPECIFICATIONS.
5. BEARING AREAS AND SPECIAL BLOCKING DETAILS SHOWN ON PLANS TAKE PRECEDENCE OVER BEARING AREAS AND BLOCKING DETAILS SHOWN ON THIS STANDARD DETAIL.

BEARING AREA OF THRUST BLOCK IN SQUARE FOOT

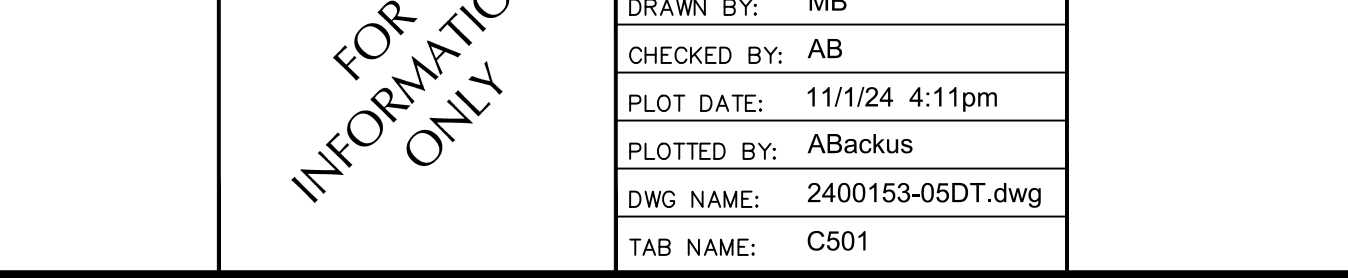
FITTING SIZE	TEE, WYE, PLUG, OR CAP	90° BEND PLUGGED CROSS	TEE PLUGGED ON RUN		45° BEND	22 1/2° BEND	1 1/2° BEND
			A1	A2			
4	1.0	1.4	1.9	1.4	1.0		
6	2.1	3.0	4.3	3.0	1.6	1.0	
8	3.8	5.3	7.6	5.4	2.9	1.5	1.0
10	5.9	8.4	11.8	8.4	4.6	2.4	1.2

NOTE: ABOVE BEARING AREAS BASED ON TEST PRESSURE OF 150 p.s.i. AND AN ALLOWABLE SOIL BEARING STRESS OF 2000 p.s.i.. TO COMPUTE BEARING AREAS FOR DIFFERENT TEST PRESSURE AND SOIL BEARING STRESSES, USE THE FOLLOWING EQUATION: BEARING AREA = (TEST PRESSURE/150)X(TABLE VALUE).

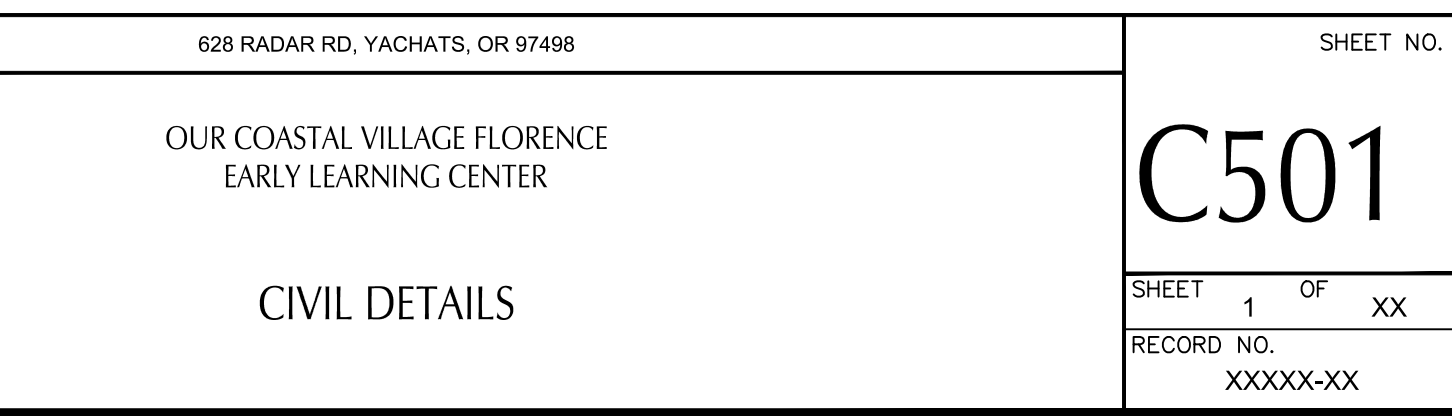
**7 THRUST BLOCK**  
SCALE: NTS



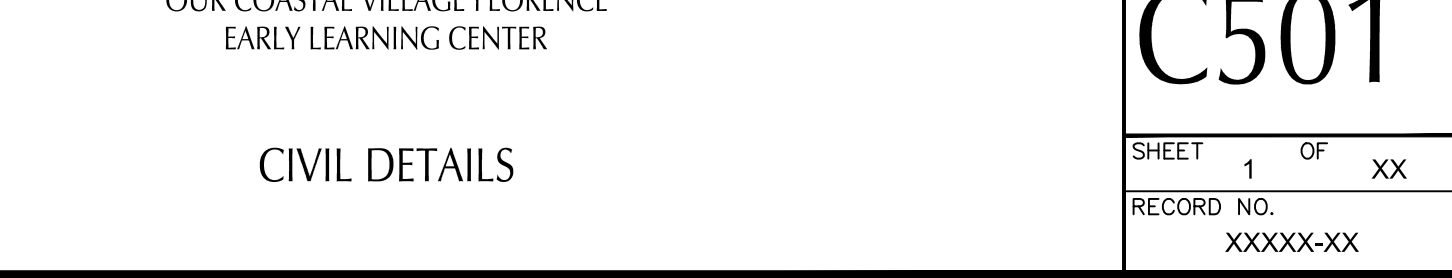
**3 OVERFLOW INLET - TYPE D2**  
SCALE: NTS



**4 DOUBLE CHECK BACKFLOW ASSEMBLY**  
SCALE: NTS



**1 SOAKAGE TRENCH**  
SCALE: NTS



**2 RAIN GARDEN**  
SCALE: NTS

File: O:\cpl\2024\0153-Coastal-Village\CAD\PL\OT\EL\PIP\UD-INFO\240153-05DT.dwg TAB.C501  
24x36 Plotted: 11/1/24 at 4:11pm By: ABackus

REVISION	DATE	DESCRIPTION	BY



FOR INFORMATION ONLY	JOB No.:	2400153
	DESIGNED BY:	JBP
	DRAWN BY:	MB
	CHECKED BY:	AB
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	PLOTTED BY:	ABackus
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	TAB NAME:	C501

628 RADAR RD, YACHTS, OR 97498
OUR COASTAL VILLAGE FLORENCE EARLY LEARNING CENTER
CIVIL DETAILS

SHEET NO.	C501
SHEET 1 OF XX	
RECORD NO.	XXXXX-XX

**EXHIBIT 13**

**ELM PARK EARLY LEARNING CENTER**

**PRELIMINARY ARCHITECTURAL**





GENERAL NOTES - SITE PLAN

- A. GENERAL SITE COMMENTS
- B. GENERAL SITE COMMENTS

00 KEYNOTES - SPECIFICATION

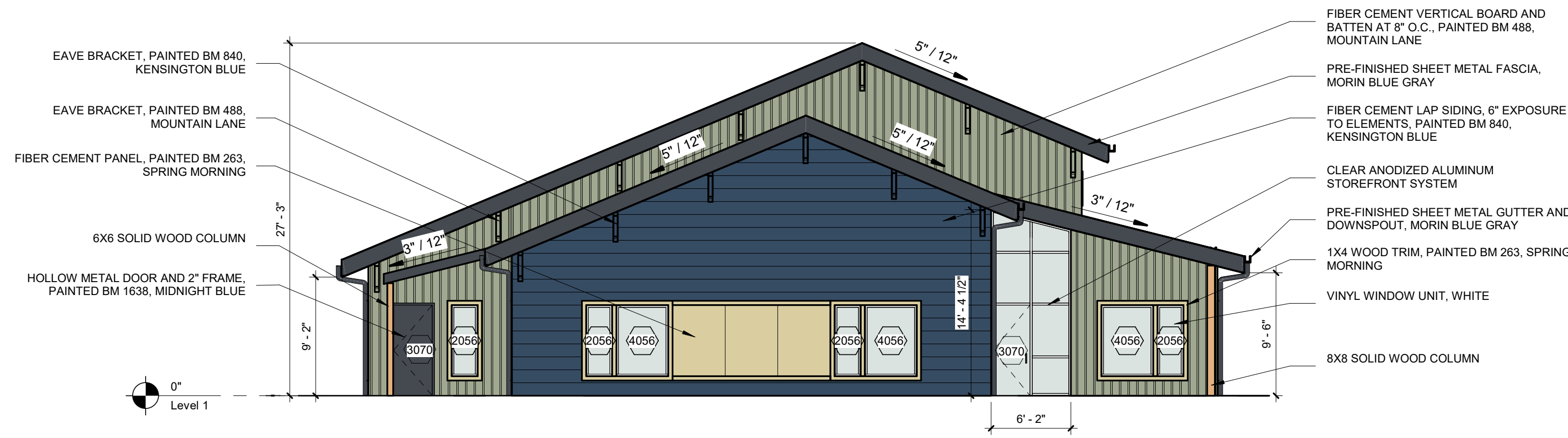
KEYNOTES

PRELIMINARY  
NOT FOR  
CONSTRUCTION

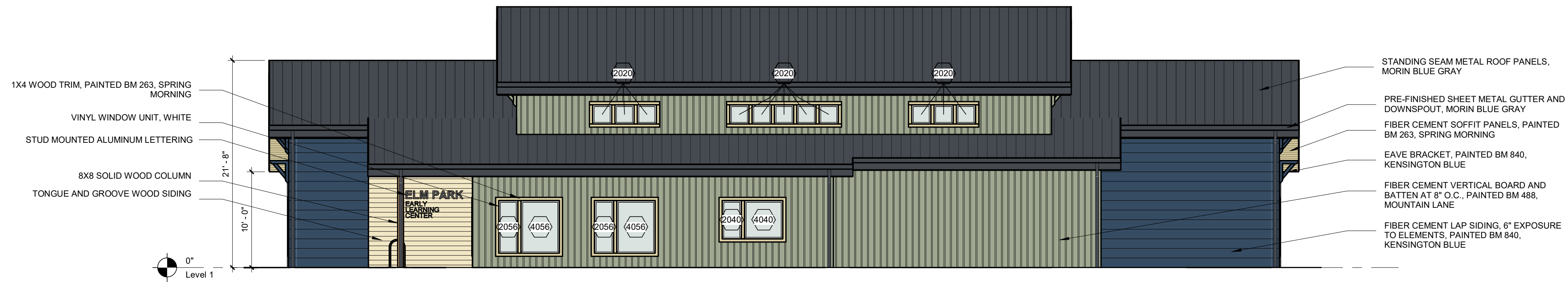
REVISIONS:

#	DESCRP.	DATE

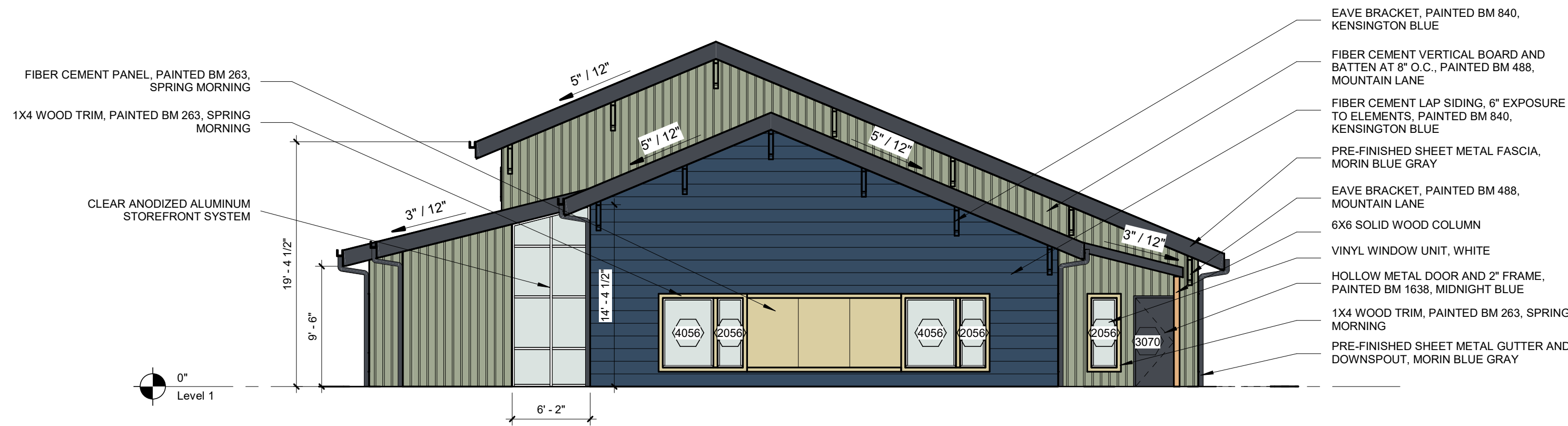




**4 WEST ELEVATION**  
1/8" = 1'-0"



**3 SOUTH ELEVATION**  
1/8" = 1'-0"



**2 EAST ELEVATION**  
1/8" = 1'-0"



**1 NORTH ELEVATION**  
1/8" = 1'-0"

**GENERAL NOTES - EXTERIOR ELEV.**

- A. REFER TO SHEET A200 FOR EXTERIOR FINISH LEGEND
- B. ALL EXTERIOR WINDOW FRAMES TO BE FIBERGLASS UNLESS NOTED OTHERWISE
- C. REFER TO SHEET A6xx FOR EXTERIOR LOUVER ELEVATIONS AND DETAILS

**KEYNOTES**

**00 KEYNOTES - SPECIFICATION**

- |           |  |
|-----------|--|
| 06 1000-K | 8X8 SOLID WOOD COLUMN                            |
| 06 1000-L | 6X6 SOLID WOOD COLUMN                            |
| 06 2000-A | EAVE BRACKET, PAINTED BM 488, MOUNTAIN LANE      |
| 06 2000-B | 1X4 WOOD TRIM, PAINTED BM 263, SPRING MORNING    |
| 06 2000-C | EAVE BRACKET, PAINTED BM 840, KENSINGTON BLUE    |
| 07 4113-A | STANDING SEAM METAL ROOF PANELS, MORIN BLUE GRAY |
| 07 4600-A | FIBER CEMENT VERTICAL BOARD AND BATTEN AT 8\"/>  |

**OPENING DIMENSION LEGEND**

- 4056 OPENING WIDTH AND HEIGHT IN FEET AND INCHES  
EXAMPLE: 4'-0" WIDTH X 5'-6" HEIGHT

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**PIVOT**  
ARCHITECTURE

**SCHEMATIC DESIGN**  
**ELM PARK EARLY LEARNING CENTER**  
PROJECT #: 2424.00  
CHESTNUT MANAGEMENT, LLC  
BLOCK 57, CENTRAL PARK ADDITION, FLORENCE, OR

SHEET TITLE:  
**OVERALL  
EXTERIOR  
ELEVATIONS**

REVISIONS:  
# DESCRP. DATE

ISSUE DATE: 11.01.2024

**A201**







**EXHIBIT 14**

**ELM PARK EARLY LEARNING CENTER**

**STORM REPORT**



# Stormwater Management Report

Our Coastal Village Florence

Elm Park Early Learning Center

Prepared for: Our Coastal Village, Inc.

Prepared by: Jack Present, EIT

Project Engineer: Anna Backus, PE

November 2024 | KPFF Project #2400153

#### KPFF'S COMMITMENT TO SUSTAINABILITY

As a member of the US Green Building Council, KPFF is committed to the practice of sustainable design and the use of sustainable materials in our work.

When hardcopy reports are provided by KPFF, they are prepared using recycled and recyclable materials, reflecting KPFF's commitment to using sustainable practices and methods in all of our products.

# Table of Contents

Existing Conditions .....	2
Proposed Site .....	2
Hydrologic Analysis .....	2

## Appendices

### Appendix A

Drainage Basin Information

### Appendix B

Runoff and Water Quality Calculations

### Appendix C

Soils Information

## Existing Conditions

### *Description of Pre-Development Site*

The Our Coastal Village Florence Elm Park Early Learning Center site is located northwest of the corner of 9th and Greenwood Streets in Florence, Oregon. See Appendix A1 for a Vicinity Map of the site. The site will eventually be bounded by Greenwood Street on the east, a proposed public alley to the north, a proposed private alley on the west and proposed 10th Street to the south. The site is approximately 0.4 acres in size. There is no constructed storm drainage system on the site. The existing site is fully vegetated and includes shrubs and trees, mainly Pacific Rhododendron. See Appendix A2 for an Existing Conditions Map of the site. The Geotechnical Report indicates the site is entirely Waldport fine sand (Hydrologic Soil Group A). See Appendix C1 for more information.

## Proposed Site

### *Site Description*

The proposed site is zoned for commercial use and will be used for an early learning facility. The site will be served by both new public and private streets. The total impervious area added is 0.30 ac (13,276 sf) with 0.13 ac (5,781.1 sf) of that being the proposed building. See Appendix A3 for a Breakdown of Site Areas.

The site will rely on a piped system to collect runoff from the building downspouts and site features. The parking lot runoff will be routed to the rain gardens located behind the building. The building runoff will be piped to the rain gardens as well. Overflow from the rain gardens will be routed to a soakage trench.

## Hydrologic Analysis

### *Water Quality*

The City of Florence water quality standards will be met by using rain gardens. Proposed storm runoff from added impervious site and roof areas will be routed to these rain gardens for water quality treatment. For the PUD, the rain garden sizing has been assessed by lot. Individual rain gardens will be sized for the Building Permit. See Appendix A for the Stormwater Basin Map.

The stormwater water quality facilities were sized using the City of Florence SWMM Presumptive Approach. See Appendix B for more information.

### *Infiltration*

Due to the soil type, the site soil can be assumed to have favorable infiltration rates. The infiltration rate can be assumed to be equal to or greater than 6 inches per hour. Per the Geotech Report, the groundwater is estimated to be 7.5 to 8.3 feet deep. The treated runoff from the stormwater facilities will be routed to subsurface soakage trenches for infiltration. A minimum of 5 feet will be maintained between the bottom of the soakage trenches and all the water will be pre-treated. All the soakage trenches are considered UIC's and all will be designed so they meet the Rule Authorization standards for DEQ, which have a 2-week review.

The soakage trenches were sized per the Florence SWMM standards.



The runoff was modeled using the Santa Barbara Urban Hydrograph Method to demonstrate that the proposed rain gardens treat the water quality storm and that the soakage trenches will infiltrate the City of Florence 25-year design storm (5.06 in/24hr). See Appendix B for Calculations.

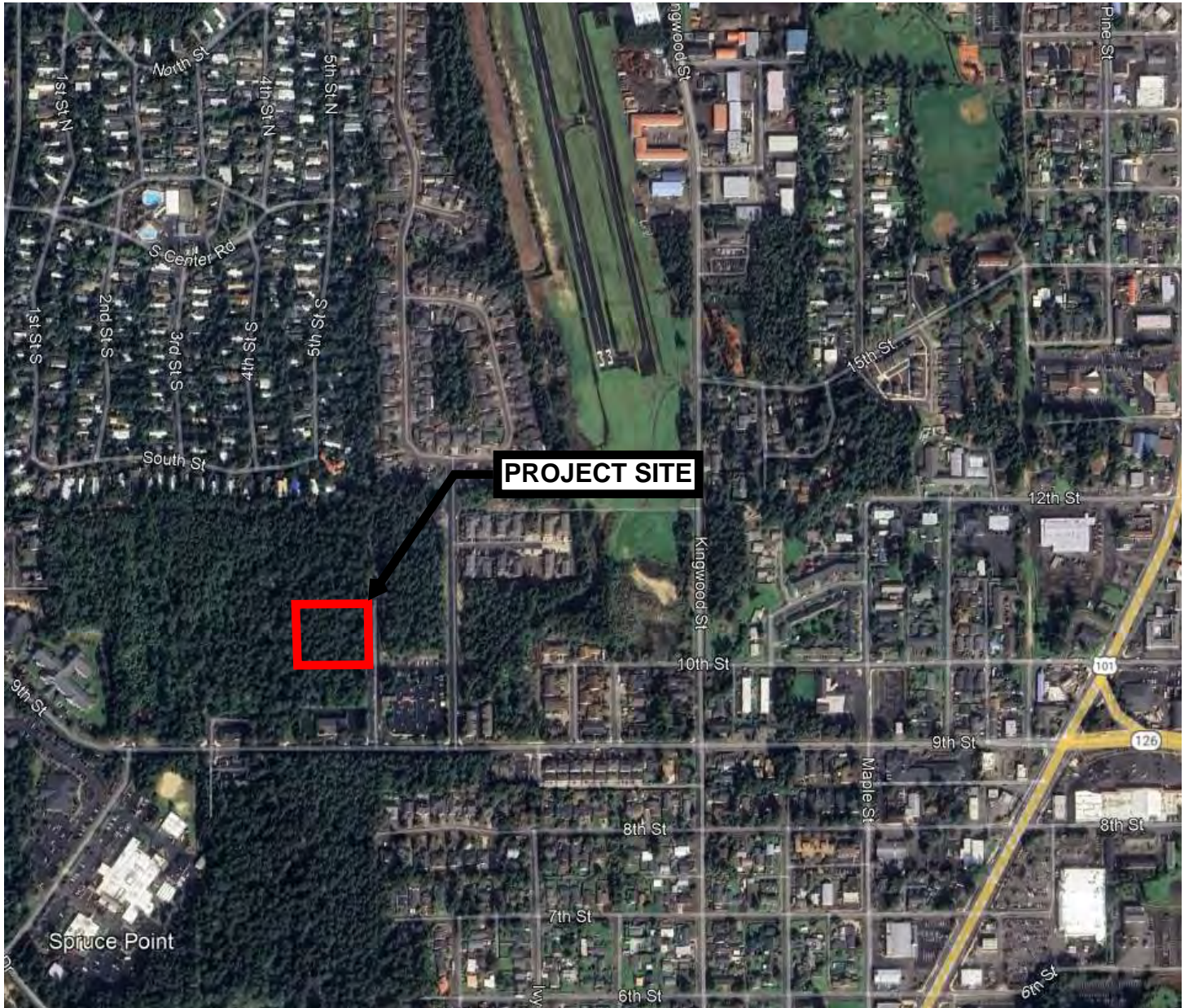
### *Emergency Overflow*

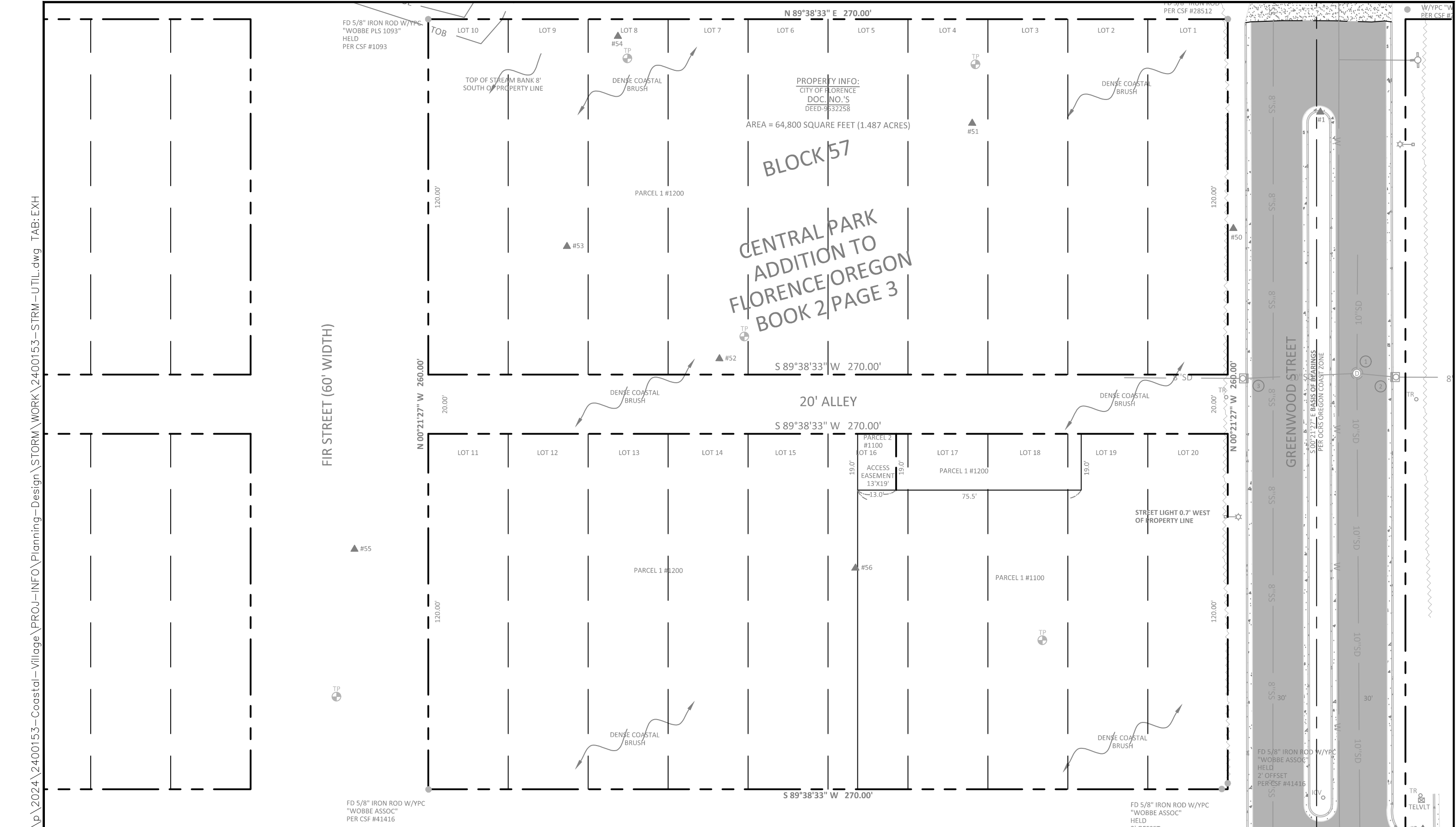
An emergency overflow connects the soakage trenches to the public storm system per the City of Florence SWMM's requirements. The overflow pipe will be set at 1-foot above the top of the soakage trench, to ensure that the full 25-year design storm is infiltrated on site.

2400153-kg

# Appendix A

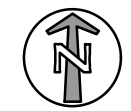
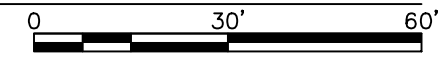
## Drainage Basin Information





# OUR COASTAL VILLAGE FLORENCE EXISTING CONDITIONS PLAN



SCALE: 1" = 30'




SHEET NO.  
**EXH**

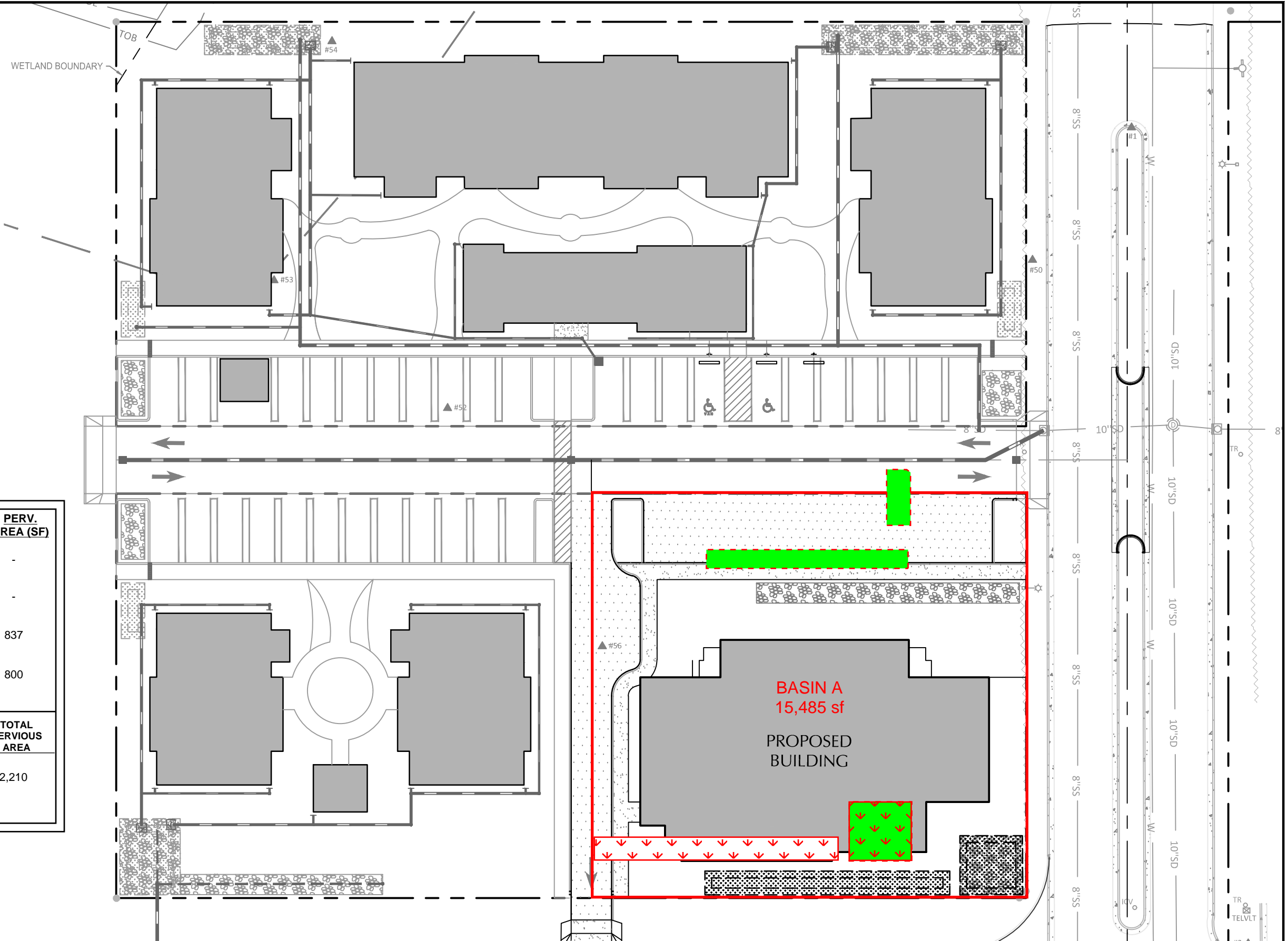


**BASIN A**

	<u>SURFACE TYPE</u>	<u>IMPERV. AREA (SF)</u>	<u>PERV. AREA (SF)</u>
	PAVEMENT	7,494	-
	ROOF	5,781	-
	STORMWATER TREATMENT	-	837
	STORMWATER INFILTRATION	-	800

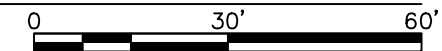
  

<u>BASIN</u>	<u>DRAINS TO</u>	<u>TOTAL AREA</u>	<u>TOTAL IMPERVIOUS AREA</u>	<u>TOTAL PERVIOUS AREA</u>
	Infiltrates	15,485	13,275	2,210



**OUR COASTAL VILLAGE FLORENCE  
BASIN MAP**

SCALE: 1" = 30'



SHEET NO.  
**A3**

# Appendix B

## Runoff and Water Quality Calculations

**SBUH Calculation Worksheet for Florence Storm Events**



**Project Name: Our Coastal Village - ELF**

**Date: 8.22.24**

**Designer: JP/AB**

**Basin: A**

**User-Supplied Data**

Pervious Area		Impervious Area	
Pervious Area, SF	2,210	Impervious Area, SF	13,275
Pervious Area, Acres	0.05	Impervious Area, Acres	0.30
Pervious Area Curve Number, CNperv	80	Impervious Area Curve Number, CNimp	98
Time of Concentration, Tc, minutes	5	Note: minimum Tc is five minutes	

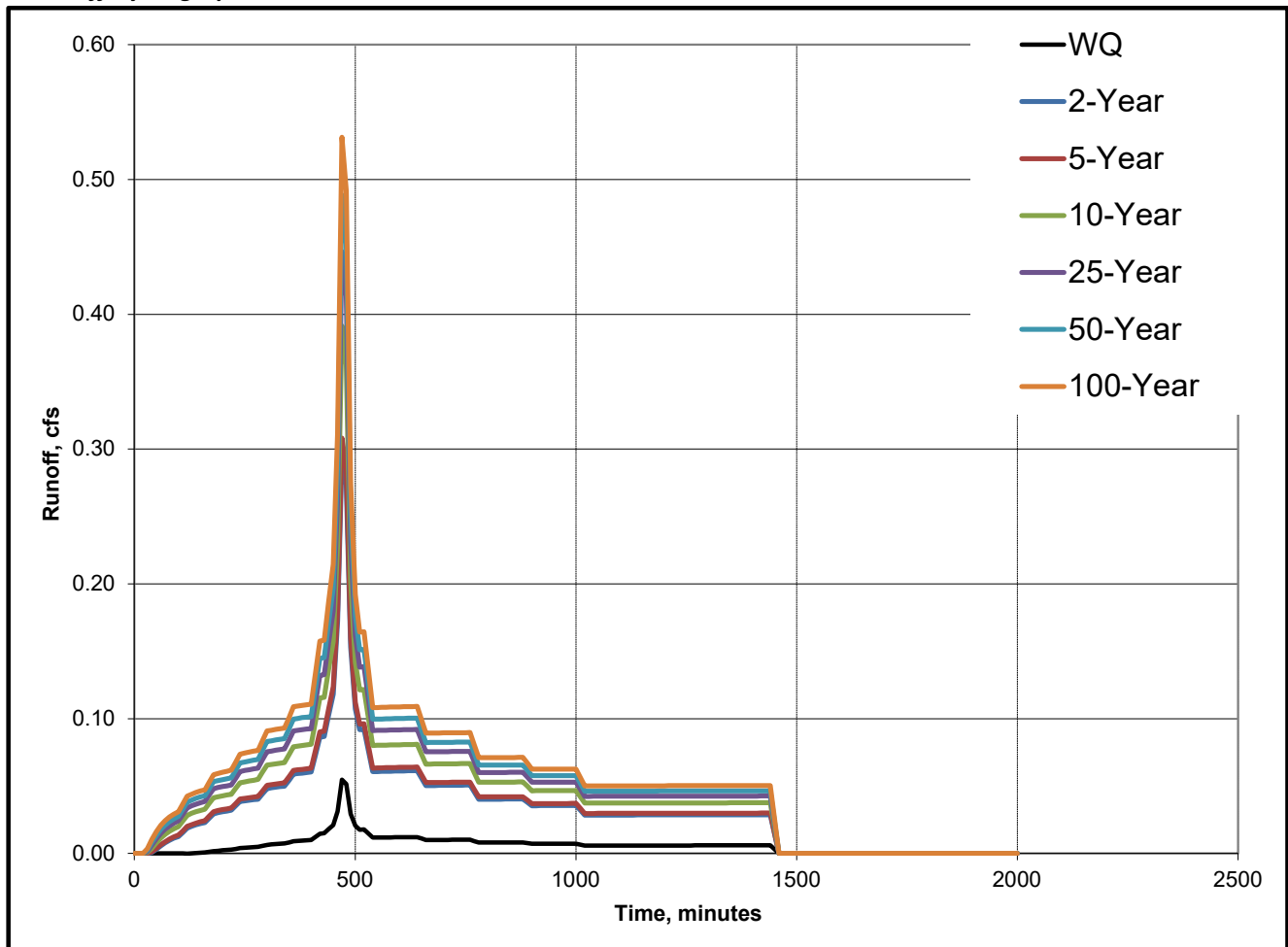
**City of Florence 24-Hour Rainfall Depths (NRCS Type 1A distribution)**

Recurrence Interval	WQ	2-Yr	5-Yr	10-Yr	25-Yr	50-Yr	100-Yr
Inches	0.83	3.46	3.6	4.48	5.06	5.5	5.95

**Calculated Data**

Total Project Area, Acres	0.36		Total Project Area, Square Feet					15,485
Recurrence Interval	WQ	2-Yr	5-Yr	10-Yr	25-Yr	50-Yr	100-Yr	
Peak Flow Rate, Qpeak, cfs	0.05	0.29	0.31	0.39	0.45	0.49	0.53	
Total Runoff Volume, V, cubic feet	701	3,865	4,040	5,145	5,878	6,435	7,007	
Time to Peak Runoff, hours	7.83	7.83	7.83	7.83	7.83	7.83	7.83	

**Runoff Hydrograph**



# Eugene Stormwater Facility Calculator

## Instructions:

1. Choose Facility Type
2. Choose shape
3. Complete information in highlighted cells

## Facility

Raingarden

## Above-Grade

Bottom Area:	406	sf
Top Area:	837	sf
Side Slope:	4	to 1
Storage Depth:	6	in
Growing Media:	18	in

## Below-Grade

See Detention Calculations

Surface Storage Capacity	311	cf
Infiltration Area	837	sf
GM Infiltration Rate	2.5	in/hr
Infiltration Capacity (avg)	0.048	cfs

## Results

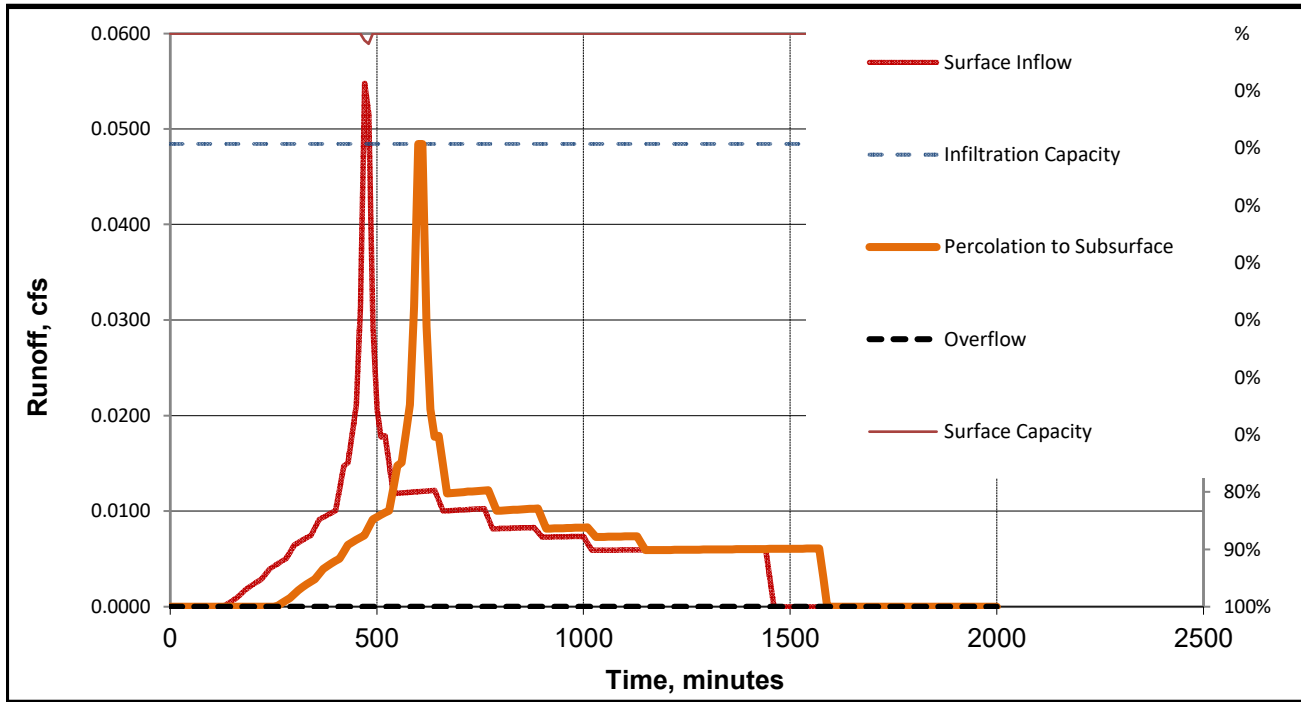
<b>WATER QUALITY EVENT</b>	<b>PASS</b>	<b>ROCK CAPACITY</b>	<b>0%</b>
----------------------------	-------------	----------------------	-----------

**SURFACE CAPACITY                      2%**

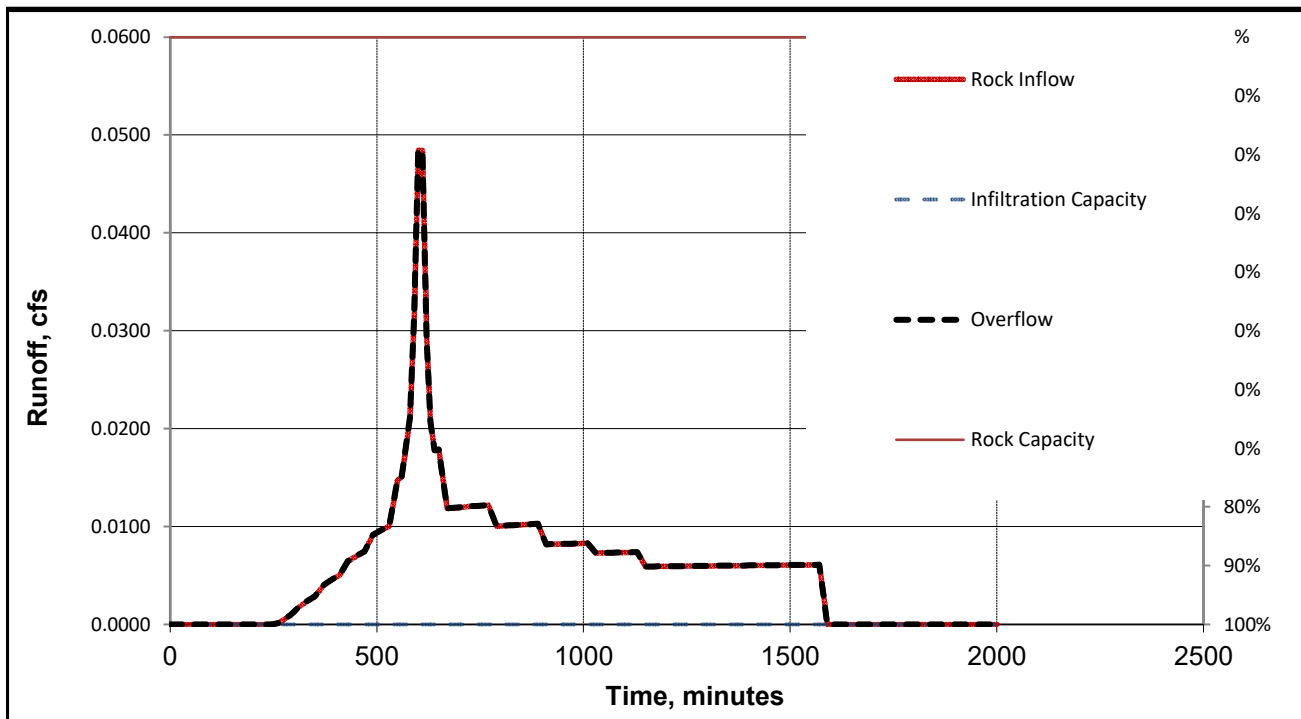
Recurrence Interval	Peak Flow (cfs)	Volume (cf)	Rock Capacity	Meets Infiltration?
WQ	0.0484	695	N/A	See Detention
2-Yr	0.2949	3,616	N/A	10-Yr Infiltration Volume (cf): <b>298</b>
5-Yr	0.3081	3,756	N/A	
10-Yr	0.3914	4,847	N/A	
25-Yr	0.4465	5,580	N/A	
50-Yr	0.4884	6,135	N/A	
100-Yr	0.5313	6,725	N/A	



### Water Quality Event Surface Facility Modeling



### Water Quality Event Below Grade Modeling



# Detention Worksheet

Project Name: Our Coastal Village - ELF

Basin: A

Date: 8.22.24

## Instructions:

1. Choose Storm Event to limit
2. Enter maximum runoff
3. Choose detention facility

### Storm Event

25-Yr

### Max. Runoff

0.00 cfs

### Detention Facility

Rocked

Area 800 sf

Void Space 0.4

Depth 2.2 ft (min.)

Infiltration Rate 6 in/hr

### Orifice Sizing

A = Orifice Area, in sf

Q=Max Runoff Flow, in cfs

C=Orifice Coefficient (0.63)

H=Height of Water on Orifice

### Results

Depth from Pond Bottom to Orifice: 0.50

Required Detention Volume	705	cf
---------------------------	-----	----

Water Height: 2.70

Orifice Area: 0.00

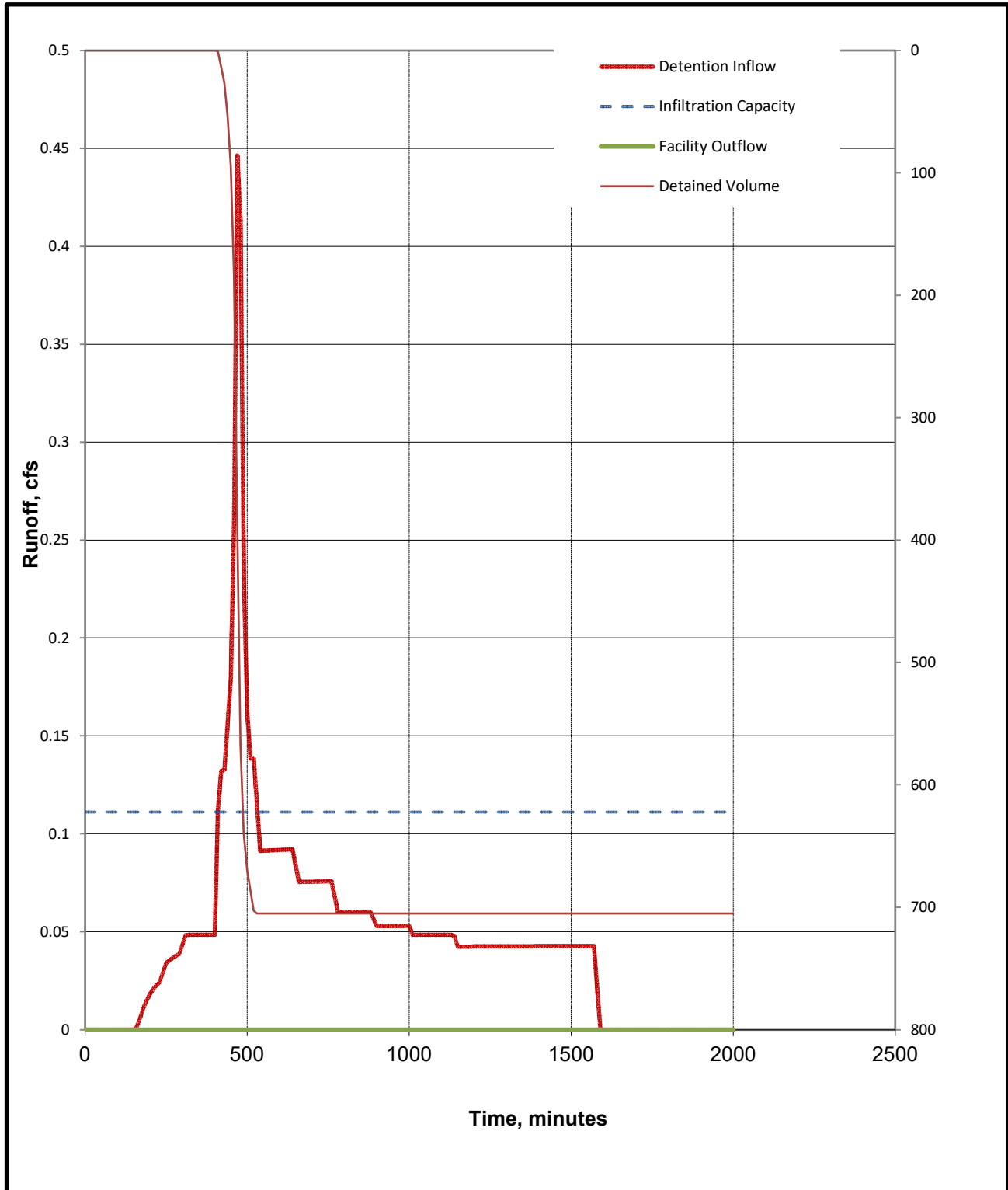
Orifice Size: 0.0

Recurrence Interval	Undetained Flow (cfs)	Undetained Volume (cf)
WQ	0.0000	0
2-Yr	0.0000	0
5-Yr	0.0000	0
10-Yr	0.0000	0
25-Yr	0.0000	0
50-Yr	0.2526	148
100-Yr	0.4916	299

# Detention Hydrograph 25-Yr

Basin: A

Date: 8.22.24



# Appendix C

## Soils Information



June 21, 2024



Layne Morrill  
Our Coastal Village, Inc.  
P.O. Box 108  
Yachats, OR 97498  
Email: klaynemorrill@gmail.com

**RE: GEOTECHNICAL ENGINEERING INVESTIGATION  
ELM PARK PUD  
TAX LOTS 18-12-27-31-01100 & 01200  
FLORENCE, OREGON  
BRANCH ENGINEERING INC. PROJECT NO. 24-191**

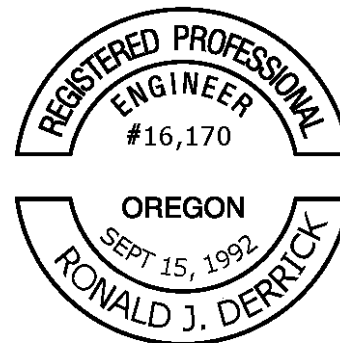
Pursuant to your authorization, Branch Engineering Inc. (BEI) has performed a geotechnical engineering investigation at the subject site for the proposed development of multi-family residential units, a community building, and child care facility on the approximately 1.5-acre subject site. On June 11, 2024 five (5) exploratory test pits were advanced using a Komatsu PC 35 MR tracked excavator, to a maximum depth of 9.5-feet below ground surface (BGS). The subsurface soil conditions in the test pits were logged in accordance the USCS (Unified Soil Classification System) ASTM D2488.

The accompanying report presents the results of our site research, field exploration and testing, data analyses, as well as our conclusions and recommended geotechnical design parameters for the project. Based on the results of our study, the site may experience liquefaction and severe shaking in the event of a Cascadia Subduction Zone (CSZ) earthquake. Recommendations for the risk posed to the development by seismic hazards are presented herein, which includes the potential for severe shaking and induced settlement due to liquefaction. The risk is no greater for this site than its surrounding area and complete mitigation of these hazards is either likely not to be feasible by current engineering design methods or be economically feasibility. The client accepts the risk of a natural disaster occurring and the potential damage to the proposed development. No other geotechnical/geologic hazards were identified at the site that would impede development as planned, provided that the recommendations of this report are implemented in the design and construction of the project.

Sincerely,  
*Branch Engineering Inc.*

*Sam Rabe*

Sam Rabe, EIT  
Field Engineer



**EXPIRES: 12/31/25**

Ronald J. Derrick P.E., G.E.  
Principal Geotechnical Engineer

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## **1.0 INTRODUCTION**

### **1.1 Purpose and Scope of Work**

The purpose of this work is to assess the pertinent geotechnical engineering parameters related to the site and subsurface conditions that may influence the design and construction of the proposed project. Our scope of work included a field reconnaissance with subsurface exploration stipulated by the 2022 Oregon Structural Specialty Code (OSSC) Section 1803.3 that was performed on June 11, 2024. Explorations were observed and logged by BEI geotechnical staff; in-situ testing and collection of representative samples was conducted for additional assessment to formulate foundation design parameters. BEI has conducted an engineering data review of work by BEI in the area, and other pertinent site research activities that culminated in the preparation of this report as outlined by Section 1803.6 of the OSSC.

### **1.2 Project Location and Description**

The 1.5-acre subject site is comprised of multiple tax lots separated by a 23-foot wide, alley right-of-way between an existing portion of Greenwood Street on the east side and unimproved Fir Street to the west. The site is currently heavily vegetated and located at coordinates of 43.975516°, North Latitude, and 124.114416° West Longitude in Florence, Oregon. The site is nearly rectangular in shape measuring 270'x260' including the alley width. The area immediately adjacent to the site is undeveloped property with a municipal building and office building located about 300-feet southeast and south, respectively.

Although a survey of the site has not yet been provided, the site topography is relatively flat, with elevation changes of up to 5-feet. The site is heavily vegetated with vegetation consisting of shore pines, manzanita, salal, rhododendrons, and other vegetation typical of the Oregon Coast dune ecology. A creek within a shallowly depressed area is located within the northwest corner of the property.

Based on a preliminary drawing provided to BEI by the client, five separate multi-family housing structures are proposed for the site along with a community building/office, a child care facility, playgrounds, and a garden area with a greenhouse. The residential structures will be three stories tall with building footprints on the order of 3,500- and 4,500 square feet with the largest building footprint of 6,000 square feet being the childcare facility located in the southeast corner of the site. Specific structural loads were not provided; however, 3-story wood-framed apartment buildings typically do not exceed 15-kip column loads or 2 kip/ft line loads on foundations. A double-sided parking lot is shown in the alley alignment between the four proposed structures on the north half and the three structures on the south half.

### **1.3 Site Information Resources**

The following site investigation activities were performed and literature resources were reviewed for pertinent site information:

- Review of the United States Department of the Interior Geological Survey (USGS) 1984 Florence, Oregon Quadrangle Map 7.5 Minute Series.
- Department of Geologic and Mining Industries (DOGAMI) Online Geologic Map of Oregon (Walker and MacLeod, 1991) and DOGAMI Bulletin 85, Environmental Geology of Coastal Lane County, Oregon 1974
- Review of the USGS Geologic Map of Oregon, (USGS 1991, Walker & MacLeod).
- Five (5) exploratory test pits advanced to a maximum depth of 9.5-feet BGS on June 11, 2024 at the approximate locations shown on the attached Figure-2 Site Exploration Map. See attached boring log summaries in Appendix A.
- DOGAMI web hazard viewer (HazVu) and Statewide Landslide Information Layer for Oregon (SLIDO).
- DOGAMI Open File Report 0-21-12, Landslide Inventory Map of the Coastal Portion of Lane County, Oregon, 2021
- Review of the Web Soil Survey of Lane County Area, United States Department of Agricultural (USDA) Natural Resources Conservation Service (NRCS) (attached in Appendix A).
- Review of Oregon Department of Water Resources Well Logs (attached in Appendix A).
- Oregon Structural Specialty Code 2022 (OSSC 2022), applicable building code criteria

## **2.0 SITE SUBSURFACE CONDITIONS**

The analyses, conclusions and recommendations contained in this report are based on site conditions as they presently exist and assume that our exploratory test pit findings presented in Appendix A are representative of the subsurface conditions throughout the site. If during construction subsurface conditions differ from those encountered in the exploratory test pits, BEI requests that we be informed to review the site conditions and adjust our recommendations if necessary.

### **2.1 Subsurface Soils**

Visual classification of the near surface soils was performed in accordance with the American Society of Testing and Materials (ASTM) Method D-2488 and the Unified Soil Classification System (USCS). In general, test pits were consistent between locations for logged strata. Groundwater was noted in all test pits during excavation. Subsurface conditions generally consisted of the following:

- Sandy organics “forest duff” 6- to 12-inches in thickness
- Gray-brown poorly graded sand and roots to an average of 2-feet BGS
- Red-brown sand (SP) that was observed to be partially cemented at certain depths; medium dense, to dense.
- A thin (<6-inches thick) gray poorly graded sand and organics lens. We interpreted this as a buried topsoil horizon. Found in Test Pits 1, 2, 4, and 5. This possible relic topsoil may have been buried by wind shifted sand or tsunami deposits.
- Medium dense, moist to wet, brown-tan sand (SP) with groundwater percolating into the excavation along with “running sand”. Caving of sidewalls usually occurred once groundwater was reached.



The NRCS Web Soil Survey mapping unit was used to identify soils at the project site and is summarized below in Table 1:

Table 1: Site Soil Units

<i>Unit Name</i>	<i>Description</i>
131C—Waldport fine sand	Excessively drained, landform consisting of dunes, parent material is eolian sand of mixed origin, and slopes between 0- and 7-degrees

Nearby well logs show that sands are present to a depth of over 100-feet BGS.

## 2.2 Groundwater

Groundwater was encountered in Test pits 2, 4, and 5 during site explorations with depths ranging from 7.5- to 8.3-feet BGS. Wet sand was found in all test pits below 7-feet BGS. The Well Logs attached in Appendix A were obtained from the Oregon Department of Water Resources online database and are mapped as being in the vicinity (0.5-mile) from the subject site and show a static water level measured after drilling at about 18-feet BGS at the well location, the elevation of the well site is unknown and may be higher than that of the subject site.

Dewatering will likely be necessary for in-ground utility work. Utilities deeper than 4-feet BGS will likely require shoring or laying back of sidewalls at a slope of 1:1 (H:V) if granular soils are wet. If the site pursues an infiltration-based design for the disposal of storm water, infiltration basins are recommended to be placed at least 10-feet from foundations and at a sufficient depth to promote vertical migration of infiltrated water.

## 3.0 GEOLOGIC SETTING

The following sections describe the regional and local site geology. Our field findings are consistent with the geologic mapping of the site area by the Oregon Department of Geology and Mineral Industries and the 1991 Geologic Map of Oregon (Walker and MacLeod).

### 3.1 Regional Geology

The western boundary of the North American continent lies offshore of the Oregon coast where the oceanic Juan de Fuca plate descends under the North American plate forming the Cascadia Subduction Zone (CSZ). The subduction of the oceanic plate led to the accretion of a large oceanic igneous province formed during the Paleocene to middle Eocene onto the North American plate. This province is named the Siletz River Volcanics and forms the basement rock of the region. Deposited within, intruding, and overlying the Siletz formation are marine siltstone, mudstones, and sandstones formed by deposition of turbidity currents derived from terrestrial sources.

### 3.2 Site Geology

The subject site is located near the northern extent of the longest coastal strip of dunes on the Oregon Coast. The dunes in the area were likely formed post ice-age during the Holocene epoch by eolian processes associated with the activity of wind. The typical pattern seen in the area is transverse dunes (running parallel to the ocean) caused by the varying on, and off shore winds. The area is mapped as

sedimentary deposits of the Holocene and or Pleistocene, unconsolidated to poorly consolidated eolian sands and fluvial sedimentary deposits. The subject site is underlain by Holocene-aged sedimentary deposits of unconsolidated to poorly consolidated fine-grained sands.

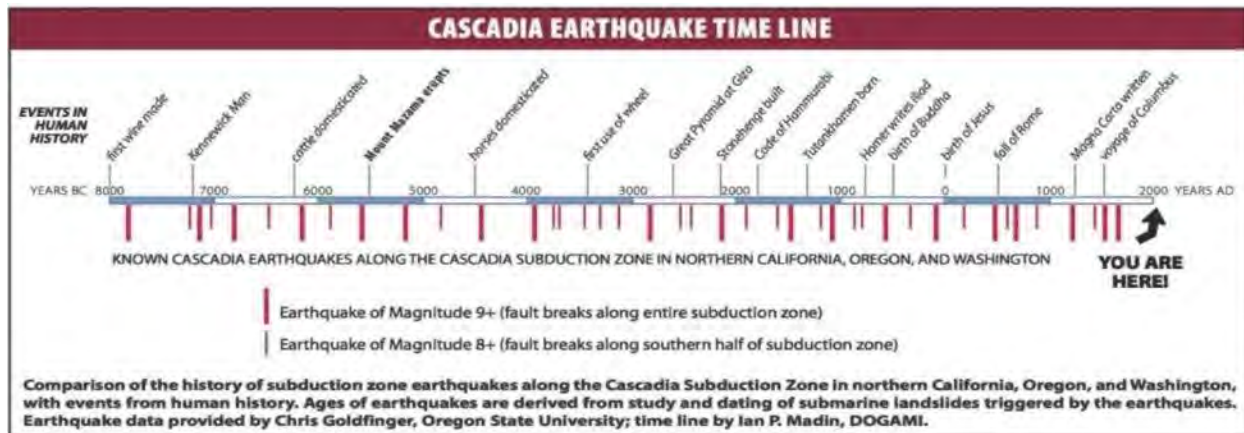
### 3.3 Geologic Hazards

OSSC Sections 1803.5.11 and 1803.5.12 outline the hazards to be addressed by this geotechnical investigation for seismic design categories C through F, which are presented below:

Earthquake Shaking: The site is located on the Oregon Coast where the CSZ is located approximately 100-miles off the coast line and is a zone of converging tectonic plates that historically produces major earthquake events. The Juan de Fuca binds with the North American plate, causing the North American plate to compress and bow upwards. This continues until the stress exceeds the binding forces, causing large magnitude earthquakes. The repeated cycle of these earthquakes can be seen in the geology as layers of peat and alternating mud-rich intertidal deposits. A major risk to coastal development, the CSZ has historically produced intraplate earthquakes with moment magnitudes ( $M_w$ ) that can exceed 9.0. Tsunamis, sudden near shore land subsidence, earthquake induced soil liquefaction, and landslides can all be expected to occur during a future CSZ megathrust earthquake. A depiction of the historical Subduction Zone earthquake events is shown below in the following figure. The DOGAMI HazVu website shows the subject site is expected to experience severe shaking in the event of a CSZ earthquake, and very strong shaking for lesser earthquakes, and a high hazard for earthquake-initiated soil liquefaction.

The site is predicted to experience “severe” to “violent” shaking, as mapped by the DOGAMI Hazard Viewer. Strong shaking generally correlates to a Modified Mercalli Intensity (MMI) rating of VI. Shaking of this magnitude is described as shaking objects off of shelves and causing minor damage to structures and chimneys. Some isolated areas of rockfalls, landslides, and instances of liquefaction may occur. Violent shaking generally correlates to a MMI rating of IX, which is described as causing collapse of unreinforced masonry structures and damage that is moderate to severe in buildings designed to be resistant to earthquakes. People can be forcibly thrown to the ground during this level of shaking<sup>i</sup>.

The rupturing of faults within the Earth’s crust is generally the cause of earthquakes. The ability of a given fault to produce an earthquake that could cause significant shaking at the site is dependent upon the direction of the fault, size of the earthquake that the fault can produce, and its distance from the site. The nearest mapped active fault to the site is located approximately 5.8-miles to the southwest; however, the primary generator of the level of shaking that is expected to occur at the site is the CSZ. Rupture of this fault can produce earthquakes and tsunamis similar to those that occurred during the 1960 and 2020 Chilean earthquakes, the 1964 Good Friday earthquake in Alaska, the 2004 Sumatran earthquake, and the March 2011 quake in Japan. The estimated probability of such an earthquake occurring off the Oregon Coast within the next 50-years is as high as 12-percent<sup>ii</sup>. The image on the following page shows a timeline of historical subduction zone earthquake events and their estimated magnitudes with respect to human history. Earthquakes of similar magnitudes are expected to occur from the CSZ again in the future that is expected to cause widespread damage and disruption to the Pacific Northwest.



- **Slope Instability:** The site is not mapped as being at risk for landsliding. The potential for landslides to occur onsite is unlikely due to the relatively flat topography on-site and that of the surrounding terrain. The risk for slope instability to affect the proposed development is low.
- **Liquefaction:** Liquefaction is caused by the rapid increase of porewater pressure within a saturated soil that leads to the reduction of the interparticle friction between soil grains and can cause a sudden loss of shear strength within the soil. This can lead to the loss of bearing capacity, densification of subsurface soils that can cause large surficial settlements, and the migration of soil particles to the surface in the form of sand boils. Loose, granular soils with a low fine-grained soil content and with a recent depositional history are especially vulnerable to liquefaction. Saturation is required for a soil to experience liquefaction.

The soils observed at the site in the test pits are loose sands with low silt and clay contents and are of a young geologic age. Groundwater was observed in all exploratory test pits in the near surface—within 8.5-feet. It is our opinion that the onsite sand is susceptible to liquefaction during a significant seismic event. The risk of differential settlement and damage to the proposed structures can be reduced if the recommendations in the Building Foundation Subgrade Preparation section below are incorporated into design.

The DOGAMI online hazard viewer maps the site as having a moderate to high risk for liquefaction. This is likely due to the relative age of the underlying young alluvial deposits that were deposited within the last 10,000-years. Our site explorations observed medium dense poorly graded sand down to the water level where the density of the sand was slightly more dense but saturate.

- **Fault Surface Rupture:** As previously stated above, there are no known faults on, or near to, the site. Surface displacement due to surface faulting or rupture is not expected to occur onsite although it may be possible, if unlikely, that unmapped faults exist beneath the site.
- **Seismically Induced Lateral Spreading or lateral flow:** There are no abrupt changes in ground elevation on or near the site other than an apparent shallow drainageway in the northwest

corner of the site that would present a potential for lateral spreading to occur during a seismic event; the risk for lateral spread on the site is low, provided any embanked fill on the site is constructed per the recommendations in this report.

- Tsunami/seiche: Based on the Tsunami Inundation Map Lane-04 Florence and the DOGAMI HazVu website, the subject site is mapped outside of the tsunami inundation limit for a XXL, 9.1 to over 9.1 earthquake magnitude. These limits are speculated and should not be considered exact. A tsunami generated by a CSZ earthquake may result in damage to the subject site and will likely affect access to the site. The nearest body of water is to the site is the Siuslaw River about 0.5-mile west with the ocean about 1.25-west of the site.
- Surface Displacement due to faulting: There are no known active faults on the site, with the nearest mapped faults being more than 5-miles away from the site.
- Total and Differential Settlement: The estimated amount of static total and differential settlement is estimated to be less than  $\frac{3}{4}$ -inch and  $\frac{1}{2}$ -inch, respectively, provided subgrade preparation follows the recommendations in Section 5.2 of this report. Larger total and differential settlements are anticipated in the event of a significant seismic event that causes the site to experience liquefaction. The magnitude of the differential settlement can be minimized by incorporating the more conservative design option outlined below.
- Expansive Soils: The site sand subgrade has little to no expansive soil characteristics.
- Flood Risk: The site is mapped outside the 100-year flood plain.

#### **4.0 CONCLUSIONS**

Our investigation revealed the presence of potentially liquefiable soils over the entire site within the saturated zone below a depth of 7-feet or more. The near surface sands can be densified in-place to some degree to facilitate foundation support; however, the saturated sands are likely to experience liquefaction during a significant seismic event and some settlement and differential settlement should be expected.

#### **5.0 RECOMMENDATIONS**

The following sections present site-specific recommendations for site preparation, drainage, foundations, utility excavations, and slab/pavement design. General material and construction specifications for the items discussed herein are provided in Appendix B.

##### **5.1 Site Preparation and Foundation Subgrade Requirements**

The following recommendations are for earthwork in the building foundation areas, public roadway, and private parking areas. Earthwork shall be performed in general accordance with the standard of



practice as generally described in Appendix J of the Uniform Building Code, the Oregon Structural Specialty Code, and as specified in this report.

All areas intended to directly or laterally support structures, roadways, or pavement areas shall be stripped of vegetation, organic soil, unsuitable fill, and/or other deleterious material. These strippings shall be removed from the site, or reserved for use in landscaping or non-structural areas. In areas of existing trees, vegetation, or if any undocumented fill is observed, the required depth of site stripping/grubbing may be increased. The stripping and grubbing depth for the site is expected to be less than 12-inches in depth unless root zones are encountered, which may be up to 24-inches thick. The northwest area of the site near the creek may require additional excavation depth and shall be evaluated at the time of building pad preparation.

The subsurface conditions observed in our site investigation test pits are consistent; however, the test pits only represent those specific locations on the site. Should soft or unsuitable soils extend to a depth greater than that described herein, or areas of distinct soil variation be discovered, this office shall be notified to perform site observation and additional excavation may be required.

#### **Areas of Private Access and Parking Improvements**

The depth to suitable subgrade for roadway structural sections is below the organic topsoil layer found to be 6- to 12-inches thick in our test pits. We recommend that the top 12-inches of pavement subgrade be prepared by moisture conditioning and subsequent compaction with a smooth drum roller (minimum 7,500 lbs. drum weight). Should grading plans require engineered fill, see section 5.3 for engineered fill requirements. Prior to placing compacted crushed rock aggregate for the roadway structural section, the exposed subgrade shall be approved by the Geotechnical Engineer of Record (GER) or approved representative.

Localized soft/loose areas may be encountered during excavation activities and may require removal and replacement with structural fill, or recompaction. Proof rolls with a loaded 10 cubic yard haul truck or equivalent vehicle shall be conducted on the prepared subgrade prior to the placement of compacted aggregate. Any observed areas of deflection or excessive rutting under load shall be corrected prior to placement of compacted aggregate.

Utility trenches excavated to depths below the top of the subgrade elevation shall be backfilled with material compacted to 90% relative compaction as determined by ASTM D1557 or AASHTO T-180 (modified Proctor). We expect that fill placed on the site will generally be the native sandy soil that will require moisture conditioning and appropriate compaction equipment selection. Sampling of on-site material to be used as engineered fill will be required for Proctor testing to generate moisture-density curves unless provided by supplier.

#### **Building Foundation Subgrade Preparation**

The depth to suitable subgrade for shallow building foundations is approximately 12- to 18-inches BGS. The GER, or designated representative should visit the site to approve the subgrade soil prior to the placement of compacted aggregate or any geotextile fabric. Site grading plans were not available at the writing of this report; however, final building elevations area expected to be near the existing ground elevations. If any test pit explorations are located in building foundation areas, the loose, disturbed soils should be recompacted in lifts back to surface.

BEI recommends remove of loose surface soil to suitable subgrade at a depth of 12- to 18-inches BGS over the entire building footprint and 2-feet beyond perimeter; moisten and compact subgrade material in-place using a vibratory plate compactor mounted on a minimum 30,000 lbs. excavator until no deflection can be observed and then proceed to place structural fill, if necessary, in lifts until 4-inches below footing elevation. Cover compacted subgrade/fill with a cover of crushed aggregate (1.5"-0 or smaller) to a minimum thickness of 4-inches. The aggregate shall be compacted to at least 90% of the aggregate's maximum dry density as determined by ASTM Method D1557.

Prior to placing fill or foundation concrete forms, exposed subgrade materials shall be observed by a Branch Engineering field representative. Areas of loose or unsuitable soil shall be removed to a depth recommended by the GER or designated representative, or otherwise improved at the discretion and direction of the GER.

## **5.2 Soil Bearing Capacity and Settlement**

Once the building pad is prepared as described above, the surface of the compacted aggregate shall have an allowable bearing capacity of 1,500 psf that may be increased by 1/3 for short term loading, such as wind or seismic events. We recommend that foundation loads are distributed evenly to mitigate the potential for differential settlement. Settlement due to static loading is expected to be less than 3/4-inch and 1/2-inch for differential settlement. Expected maximum total settlement due to liquefaction may be greater than 6-inches with differential settlement being half of that. Large amounts of damage are likely to occur to the onsite structures in the event of a significant seismic event; although, damage is not expected to be more severe than that caused to other structures in the area.

## **5.3 Structural Fill Recommendations**

All engineered fill placed on the site shall consist of homogenous material and shall meet the following recommendations.

- Prior to placement on-site, the aggregate to be used as structural fill shall be approved by the GER, if no Proctor curve (moisture-density relationship) for the material performed within the last 12-months is on file, a material sample will be required for testing to determine the maximum dry density and optimum moisture content of the aggregate or fill material.
- The structural fill shall be moisture conditioned to within +/- 2% of optimum moisture content and compacted in lifts with loose lift thickness not exceeding 12-inches.
- Periodic visits to the site to verify lift thickness, source material, and compaction efforts shall be conducted by the GER, or designated representative, and documented.
- The recommended compaction level for crushed aggregate or soil fill is 90% relative compaction, as determined by ASTM D-1557 (modified Proctor). Compaction shall be measured by testing with nuclear densometer ASTM D-6938, or D-1556 sand cone method on structural fill in excess of 12-inches in thickness.

- If on-site or imported non-granular material is approved for structural fill placement, a sample of the material shall be collected for modified Proctor testing to use for field compaction test comparison. If, due to the nature of the on-site material compaction testing is not possible due to factors such as oversize rock content and variable material, proof rolls with a fully loaded 10 cubic yard haul-truck, or equivalent equipment, shall be observed at regular intervals. Observed areas of soft soil will require over-excavation and replacement with suitable material.

#### **5.4 Excavations**

The site soils are classified as OSHA Type C soils. Heavy equipment or stored materials should not be placed within 10-feet of open excavations.

#### **5.5 Drainage**

A site drainage system is expected to be engineered for this project. Alteration of existing grades for this project will likely change drainage patterns. Slopes next to adjacent properties shall be graded away or blocked from flow so as to not adversely impact adjacent properties. Perimeter landscape and hardscape grades shall be sloped away from the foundations and water shall not be allowed to pond adjacent to footings during or after construction.

#### **5.6 Slabs-On-Grade**

After site preparation to expose suitable subgrade and after compaction of the top 12-inches, load bearing concrete slabs shall be underlain by a minimum of 4-inches of compacted, crushed aggregate. If soft/loose or saturated subgrade is encountered, over-excavation and replacement with engineered fill will be required. A free draining aggregate is recommended beneath structural slabs.

The modulus of subgrade reaction (K) of the in-situ soil at about 12-inches below existing grade is 150 lb/in<sup>3</sup> and the correlated California Bearing Ratio of the soil is correlated to be 5 in the onsite sand. The K value represents the anticipated result from an in-situ load test of a standard 1-foot square plate placed on the subgrade. Use of this modulus for the design of other on-grade structural elements, such as footings, should include appropriate modification based on the dimensions of the element.

#### **5.7 Soil Shrink/Swell Potential**

The underlying native sandy soils have little to no shrink/swell potential.

#### **5.8 Friction Coefficient and Earth Pressures**

For use in design of subsurface structures or retaining walls the following allowable parameters are given based on an internal angle of friction of 27° for the native sand. These values are assuming that the retaining structures are free draining with no hydrostatic pressures and the retained soil is level and there are no surcharge loads.

1. The coefficient of friction for concrete poured neat against undisturbed native soil is 0.45 and if poured atop a minimum thickness of 12-inches of compacted aggregate placed on the on-site material the coefficient is 0.50.

2. The passive earth pressure is 240 pcf (assuming soil unit weight of 90 pcf).
3. The active earth pressure is 35 pcf for unrestrained walls.
4. The at-rest earth pressure for a restrained wall is 50 pcf.

**5.9 Wet Weather/Dry Weather Construction Practices**

The site material is well drained and shall be covered with compacted aggregate in a timely manner after excavation to subgrade or placement of structural fill. Construction during the wet season may require special drainage considerations, such as covering of excavations, pumping to mitigate standing water in footing excavations, or sidewall caving mitigation such as back sloping footing excavation at a 1:1 (H:V).

**5.10 Pavement Design Recommendations**

Our recommendations for any parking or driveway improvements used a CBR of 10 and the guidance of the 1993 AASHTO Guide for Design of Pavement Structures and 2003 revised Asphalt Pavement Design Guide, published by the Asphalt Pavement Association of Oregon.

For new AC pavement installation in parking areas and light vehicle routes, we recommend a minimum pavement thickness of 3-inches of AC over a minimum of 6-inches of compacted base rock. We recommend that the AC thickness be increased to 4-inches in areas of heavier traffic, such as refuse truck routes or delivery vehicles. Prior to placement of base rock any soft soil, wet soil, or organic soil shall be removed from the pavement subgrade. The geotechnical engineer of record, or designated representative should visit the site to approve the subgrade soil prior to the placement of the base rock.

The base rock shall be compacted to at least 95% relative compaction as determined by ASTM 1557/AASHTO T-180 (modified Proctor). The base rock shall be tested to measure compliance with this compaction standard prior to placement of asphalt concrete.

Table 2: Recommended Structural Pavement Section for private road section

<i>Pavement Criteria</i>	<i>Asphalt Concrete (inches)</i>	<i>ABM Section (inches)</i>
Parking Lot Access Route	4	6
Private Road Section	3	6

The pavement recommendations discussed above are designed for the type of vehicle use on the site after construction completion, not for construction vehicle traffic which is generally heavier, occurs over a short time, and impacts the site before full pavement sections are constructed. The construction traffic may cause subgrade failures and the site contractor should consider over-building designated haul routes through the site to mitigate soft areas at the time of final paving.

**5.11 Geotechnical Construction Site Observations**

Periodic site observations by a geotechnical representative of BEI are recommended during the construction of the project; the specific phases of construction that should be observed are shown below in Tables 3 and 4.



Table 3: OSSC Soil Special Inspection Criteria

<b>TABLE 1705.6</b>		
<b>REQUIRED SPECIAL INSPECTIONS AND TESTS OF SOILS</b>		
<b>TYPE</b>	<b>CONTINUOUS</b>	<b>PERIODIC</b>
1. Verify materials below shallow foundations are adequate to achieve the design bearing capacity.	-	X
2. Verify excavations are extended to proper depth and have reached proper material.	-	X
3. Perform classification and testing of compacted fill materials.	-	X
4. During fill placement, verify use of proper materials and procedures in accordance with the provisions of the approved geotechnical report. Verify densities and lift thicknesses during placement and compaction of compacted fill.*	X	-
5. Prior to placement of compacted fill, inspect subgrade and verify that site has been prepared properly.	-	X

\*An accredited testing agency is recommended to be retained for density testing; BEI staff should perform the remaining inspection items shown.

Table 4: BEI Inspection Criteria

<b>BRANCH ENGINEERING REQUIRED SPECIAL INSPECTIONS AND TESTS OF SOILS</b>		
<b>TYPE</b>	<b>CONTINUOUS</b>	<b>PERIODIC</b>
1. Verify recommended setbacks from footings to edge of structural fill is provided.	-	X

## **6.0 REPORT LIMITATIONS**

This report has presented BEI’s site observations and research, subsurface explorations, geotechnical engineering analyses, and recommendations for the proposed site development. The conclusions in this report are based on the conditions described in this report and are intended for the exclusive use of addressee of this report and designated representatives for use in design and construction of the development described herein. The analysis and recommendations may not be suitable for other structures or purposes.

Services performed by the geotechnical engineer for this project have been conducted with the level of care and skill exercised by other current geotechnical professionals in this area. No warranty is herein expressed or implied. The conclusions in this report are based on the site conditions as they currently exist and it is assumed that the limited site locations that were physically investigated generally represent the subsurface conditions at the site. Should site development or site conditions change, or if a substantial amount of time goes by between our site investigation and site development, we reserve the right to review this report for its applicability. If you have any questions regarding the contents of this report, please contact our office.

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<sup>i</sup> USGS MMI Scale: <https://www.usgs.gov/media/images/modified-mercalli-intensity-mmi-scale-assigns-intensities> (accessed date June 2024)

<sup>ii</sup> DOGAMI Oregon Hazvu: Statewide Geohazards Viewer Hazards and Assets:  
<https://www.oregon.gov/dogami/hazvu/Pages/hazards-assets.aspx> (accessed date June 2024)



Image from Google Maps



SITE VICINITY MAP - OUR COASTAL VILLAGE, INC  
Tax Lots 01100 & 01200 Greenwood Street

FIGURE-1  
6-14-2024

Shallow creek runs close to NW corner of proposed development

Test Pit 2

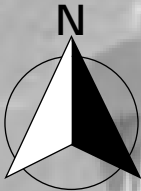
Test Pit 1

Test Pit 4  
DCP-1

Test Pit 3

Test Pit 5

Project overlay and locations of test pits are estimated



LIDAR image from DOGAMI, Overlay from client



SITE INVESTIGATION - OUR COASTAL VILLAGE, INC  
Tax Lots 01100 & 01200 Greenwood Street

FIGURE-2  
6-14-2024

BEI PROJECT NO. 21-191



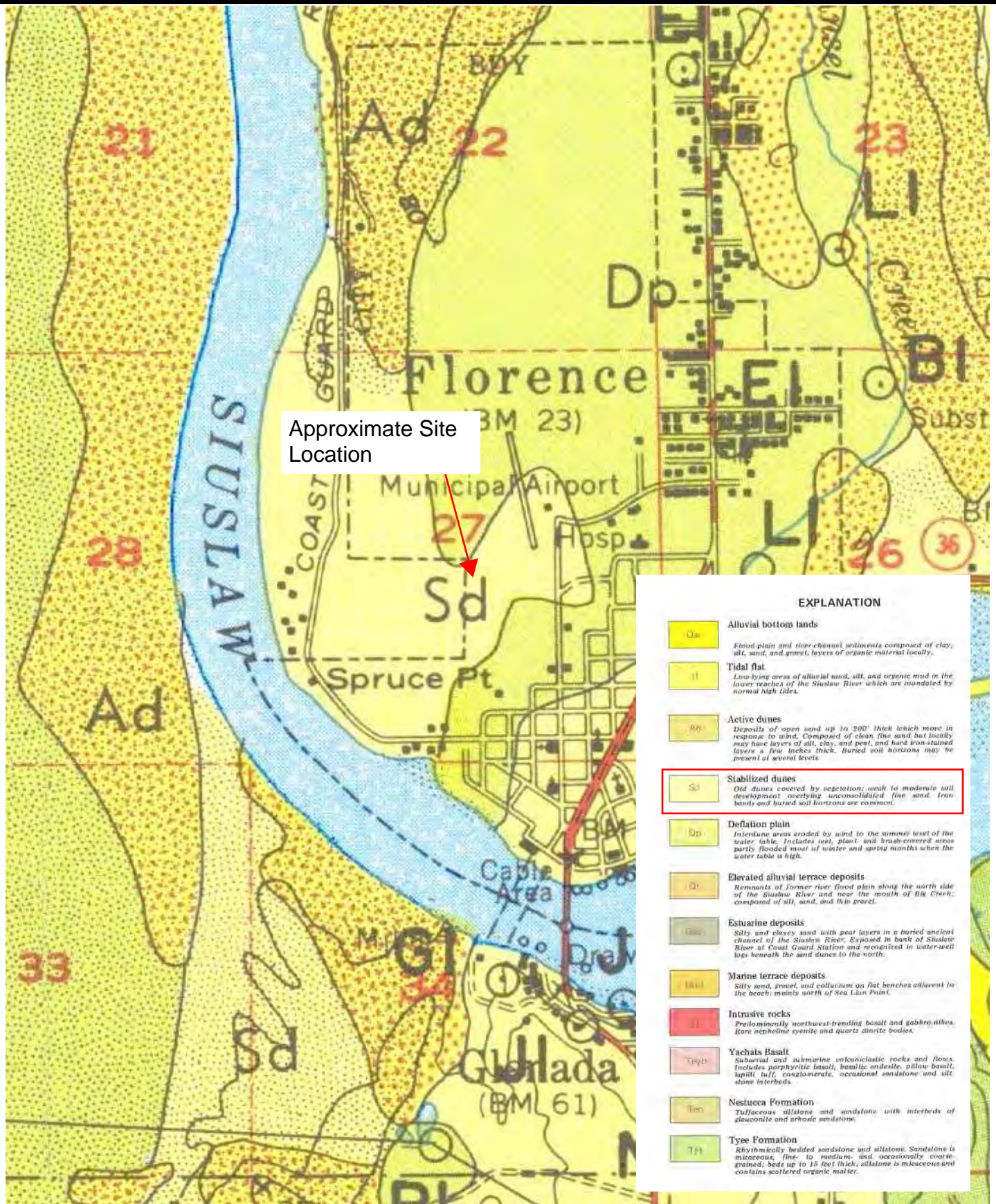


IMAGE from DOGAMI



SITE GEOLOGY - OUR COASTAL VILLAGE, INC

FIGURE-3

Tax Lots 01100 & 01200 Greenwood Street

6-01-2024

BEI PROJECT NO. 21-191

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## **APPENDIX A:**

- USCS SOIL KEY
- SOIL TEST PIT LOGS
- OWRD WELL LOGS
- USDA SOIL SURVEY



**RELATIVE DENSITY - COARSE GRAINED SOILS**

RELATIVE DENSITY	SPT N-VALUE	D&M SAMPLER (140 lbs hammer)	D&M SAMPLER (300 lbs hammer)
VERY LOOSE	< 4	< 11	< 4
LOOSE	4 - 10	11 - 26	4 - 10
MEDIUM DENSE	10 - 30	26 - 74	10 - 30
DENSE	30 - 50	74 - 120	30 - 47
VERY DENSE	> 50	> 120	> 47

**USCS GRAIN SIZE**

FINES	< #200 (.075 mm)
SAND	Fine #200 - #40 (.425 mm)
	Medium #40 - #10 (2 mm)
	Coarse #10 - #4 (4.75 mm)
GRAVEL	Fine #4 - 0.75 inch
	Coarse 0.75 - 3 inch
COBBLES	3 - 12 inches

**CONSISTENCY - FINE GRAINED SOILS**

CONSISTENCY	SPT N-VALUE	D&M SAMPLER (140 lbs hammer)	D&M SAMPLER (300 lbs hammer)	POCKET PEN. / UNCONFINED (TSF)	MANUAL PENETRATION TEST
VERY SOFT	< 2	< 3	< 2	< 0.25	Easy several inches by fist
SOFT	2 - 4	3 - 6	2 - 5	0.25 - 0.50	Easy several inches by thumb
MEDIUM STIFF	4 - 8	6 - 12	5 - 9	0.50 - 1.00	Moderate several inches by thumb
				1.00 - 2.00	Readily indented by thumb
VERY STIFF	15 - 30	25 - 65	19 - 31	2.00 - 4.00	Readily indented by thumbnail
HARD	> 30	> 65	> 31	> 4.00	Difficult by thumbnail

**UNIFIED SOIL CLASSIFICATION CHART**

MAJOR DIVISIONS		GROUP SYMBOLS AND TYPICAL NAMES			
COARSE-GRAINED SOILS: More than 50% retained on No. 200 sieve	GRAVELS: 50% or more retained on the No. 4 sieve	CLEAN GRAVELS	GW Well-graded gravels and gravel-sand mixtures, little or no fines. GP Poorly-graded gravels and gravel-sand mixtures, little or no fines.		
		GRAVELS WITH FINES	GM Silty gravels, gravel-sand-silt mixtures. GC Clayey gravels, gravel-sand-clay mixtures.		
		CLEAN SANDS	SW Well-graded sands and gravelly sands, little or no fines. SP Poorly-graded sands and gravelly sands, little or no fines.		
			SANDS WITH FINES	SM Silty sands, sand-silt mixtures. SC Clayey sands, sand-clay mixtures.	
	FINE-GRAINED SOILS: Less than 50% retained on No. 200 sieve	SILT AND CLAY	LIQUID LIMIT LESS THAN 50	ML Inorganic silts, rock flour, clayey silts. CL Inorganic clays of low to medium plasticity, lean clays. OL Organic silt and organic silty clays of low plasticity.	
				LIQUID LIMIT 50 OR GREATER	MH Inorganic silts, clayey silts. CH Inorganic clays of high plasticity, fat clays. OH Organic clays of medium to high plasticity.
			HIGHLY ORGANIC SOILS		PT Peat, muck, and other highly organic soil.

**MOISTURE CONTENT**

DRY: Absence of moisture, dusty, dry to the touch  
 DAMP: Some moisture but leaves no moisture on hand  
 MOIST: Leaves moisture on hand  
 WET: Visible free water, usually saturated

	PLASTICITY	DRY STRENGTH	DILATANCY	TOUGHNESS
ML	Non to Low	Non to Low	Slow to Rapid	Low, can't roll
CL	Low to Med.	Med. to High	None to Slow	Medium
MH	Med. to High	Low to Med.	None to Slow	Low to Med.
CH	Med. to High	High to V.High	None	High

**STRUCTURE**

STRATIFIED: Alternating layers of material or color > 6mm thick.  
 LAMINATED: Alternating layers < 6mm thick.  
 FISSURED: Breaks along definite fracture planes.  
 SLICKENSIDED: Striated, polished, or glossy fracture planes.  
 BLOCKY: Cohesive soil that can be broken down into small angular lumps which resist further breakdown.  
 LENSES: Has small pockets of different soils, note thickness.  
 HOMOGENEOUS: Same color and appearance throughout.

**LIST OF ABBREVIATION & EXPLANATIONS**

SPT	Standard Penetration Test split barrel sampler	G	Grab sample
D&M	Dames and Moore sampler	MC	Moisture Content
LL	Atterberg Liquid Limit	MD	Moisture Density
PL	Atterberg Plastic Limit	UC	Unconfined Compressive Strength
PP	Pocket Penetrometer		
VS	Vane Shear		

TABLE A-1





Client: <u>Layne Morrill</u>	Project Name: <u>Our Coastal Village</u>
Project Number: <u>24-191</u>	Project Location: <u>Greenwood Street Florence, Oregon</u>
Date Started: <u>Jun 11 2024</u> Completed: <u>Jun 11 2024</u>	Logged By: <u>SPR</u> Checked By: <u>RJD</u>
Drilling Contractor: <u>Branch Engineering Inc.</u>	Latitude: _____ Longitude: _____ Elevation: _____
Drilling Method: <u>Test Pit Excavation</u>	Ground Water Levels
Equipment: <u>Rubber Tracked Mini-Excavator</u>	▼
Hammer Type: _____	▼
Notes: _____	▼

Depth	Graphic	Material Description	Sample	Pocket Pen. (tsf)	Free Swell	Moisture Content: ⊗ PL and LL: ●■
						10 20 30 40 50 60 70 80 90
		Very loose, damp, dark brown sandy organics, forest duff.				
1		Loose, moist, reddish-orange gray poorly graded sand (SP), trace roots.				
2		Medium dense, moist, reddish-orange poorly graded sand (SP), weak cementation.				
3		Medium dense, moist, brown-tan poorly graded sand (SP)				
4						
5		Medium dense, moist, gray poorly graded sand (SP) with roots. Interpreted as a buried topsoil horizon.				
6		Medium dense, moist to wet, brown-tan poorly graded sand (SP)				
7						
8						
9						
10						







**Client:** Layne Morrill      **Project Name:** Our Coastal Village  
**Project Number:** 24-191      **Project Location:** Greenwood Street Florence, Oregon  
**Date Started:** Jun 11 2024      **Completed:** Jun 11 2024      **Logged By:** SPR      **Checked By:** RJD  
**Drilling Contractor:** Branch Engineering Inc.      **Latitude:** \_\_\_\_\_      **Longitude:** \_\_\_\_\_      **Elevation:** \_\_\_\_\_  
**Drilling Method:** Test Pit Excavation      **Ground Water Levels**  
**Equipment:** Rubber Tracked Mini-Excavator      ▽  
**Hammer Type:** \_\_\_\_\_      ▾  
**Notes:** \_\_\_\_\_      ▾

Depth	Graphic	Material Description	Sample	Pocket Pen. (tsf)	Free Swell	Moisture Content: ⊗ PL and LL: ●■
						10 20 30 40 50 60 70 80 90
0		Very loose, damp, dark brown sandy organics, forest duff				
1		Medium dense, moist reddish-orange poorly graded sand (SP), weakly cemented				
2						
3		Medium dense to dense, moist, brown-tan poorly graded sand (SP)				
4						
5						
6						
7						
8						
9						
10						





**Client:** Layne Morrill      **Project Name:** Our Coastal Village  
**Project Number:** 24-191      **Project Location:** Greenwood Street Florence, Oregon  
**Date Started:** Jun 11 2024      **Completed:** Jun 11 2024      **Logged By:** SPR      **Checked By:** RJD  
**Drilling Contractor:** Branch Engineering Inc.      **Latitude:** \_\_\_\_\_      **Longitude:** \_\_\_\_\_      **Elevation:** \_\_\_\_\_  
**Drilling Method:** Test Pit Excavation      **Ground Water Levels** \_\_\_\_\_  
**Equipment:** Rubber Tracked Mini-Excavator      Static GW at 7.5-feet BGS  
**Hammer Type:** \_\_\_\_\_  
**Notes:** \_\_\_\_\_

Depth	Graphic	Material Description	Sample	Pocket Pen. (tsf)	Free Swell	Moisture Content: ⊗ PL and LL: ●■
						10 20 30 40 50 60 70 80 90
0		Very loose, damp, dark brown sandy organics, forest duff				
1		Medium dense to dense, moist, reddish-orange poorly graded sand (SP) weakly cemented				
2						
3		Loose, moist, gray poorly graded sand (SP) with roots. Interpreted as a buried topsoil horizon				
4		Medium dense, moist, brown-tan poorly graded sand (SP)				
5						
6						
7		Dense, wet, brown-tan poorly graded sand. Sidewall caving at 7-feet BGS, Static groundwater at 7.5-feet BGS.				
8						
9						
10						





# DYNAMIC CONE LOG

PROJECT NUMBER: 21-191  
 DATE STARTED: 06-11-2024  
 DATE COMPLETED: 06-11-2024

HOLE #: DC-1  
 CREW: Sam Rabe EI  
 PROJECT: Our Coastal Village  
 ADDRESS: Greenwood Street  
 LOCATION: Florence, Oregon

SURFACE ELEVATION: \_\_\_\_\_  
 WATER ON COMPLETION: No  
 HAMMER WEIGHT: 35 lbs.  
 CONE AREA: 10 sq. cm

DEPTH	BLOWS PER 10 cm	RESISTANCE Kg/cm <sup>2</sup>	GRAPH OF CONE RESISTANCE				N'	TESTED CONSISTENCY	
			0	50	100	150		NON-COHESIVE	COHESIVE
1 ft	4	17.8	•••••				5	LOOSE	MEDIUM STIFF
	3	13.3	•••				3	VERY LOOSE	SOFT
	4	17.8	•••••				5	LOOSE	MEDIUM STIFF
	6	26.6	••••••				7	LOOSE	MEDIUM STIFF
2 ft	7	31.1	•••••••				8	LOOSE	MEDIUM STIFF
	11	48.8	••••••••••				13	MEDIUM DENSE	STIFF
3 ft	12	53.3	••••••••••				15	MEDIUM DENSE	STIFF
	14	62.2	•••••••••••				17	MEDIUM DENSE	VERY STIFF
	12	53.3	••••••••••				15	MEDIUM DENSE	STIFF
1 m	14	54.0	••••••••••				15	MEDIUM DENSE	STIFF
	15	57.9	••••••••••				16	MEDIUM DENSE	VERY STIFF
4 ft	9	34.7	•••••••				9	LOOSE	STIFF
	10	38.6	••••••••				11	MEDIUM DENSE	STIFF
5 ft	8	30.9	•••••••				8	LOOSE	MEDIUM STIFF
	11	42.5	••••••••				12	MEDIUM DENSE	STIFF
6 ft	10	38.6	••••••••				11	MEDIUM DENSE	STIFF
	10	38.6	••••••••				11	MEDIUM DENSE	STIFF
	14	54.0	••••••••••				15	MEDIUM DENSE	STIFF
2 m									
7 ft									
8 ft									
9 ft									
3 m									
10 ft									
11 ft									
12 ft									
4 m									
13 ft									

NOTICE TO WATER WELL CONTRACTOR  
The original and first copy of this report are to be filed with the

**RECEIVED**  
**WATER WELL REPORT LANE**  
FEB 5 1981  
STATE OF OREGON  
WATER RESOURCES DEPT  
SALEM, OREGON  
019298  
Please type or print  
not write above this line

WATER RESOURCES DEPARTMENT,  
SALEM, OREGON 97310  
within 30 days from the date of well completion.

State Well No. 183-12w-27  
State Permit No. Best well  
PAGE 1 of 3 PAGES

**(1) OWNER:**  
Name Lane Council of Governments  
Address 125 East 8th Avenue  
Eugene, Oregon 97401

**(2) TYPE OF WORK (check):**  
New Well  Deepening  Reconditioning  Abandon   
If abandonment, describe material and procedure in Item 12.

**(3) TYPE OF WELL:** Rotary  Driven  Jetted  Bored   
 **(4) PROPOSED USE (check):** Domestic  Industrial  Municipal  Irrigation  Test Well  Other

**(5) CASING INSTALLED:** Threaded  Welded   
6 5/8" Diam. from +11 ft. to 189 ft. Gage \*250  
**(PULLED CASING AT COMPLETION OF JOB)**  
" Diam. from ..... ft. to ..... ft. Gage .....

**(6) PERFORATIONS:** Perforated?  Yes  No.  
Type of perforator used .....  
Size of perforations in. by in.  
..... perforations from ..... ft. to ..... ft.  
..... perforations from ..... ft. to ..... ft.  
..... perforations from ..... ft. to ..... ft.

**(7) SCREENS:** Well screen installed?  Yes  No  
Manufacturer's Name .....  
Type ..... Model No. ....  
Diam. .... Slot size ..... Set from ..... ft. to ..... ft.  
Diam. .... Slot size ..... Set from ..... ft. to ..... ft.

**(8) WELL TESTS:** Drawdown is amount water level is lowered below static level  
a pump test made?  Yes  No If yes, by whom?  
Yield: gal./min. with ft. drawdown after hrs.  
" " " " " "  
" " " " " "  
Packer test gal./min. with ft. drawdown after hrs.  
Artesian flow g.p.m.  
Temperature of water Depth artesian flow encountered ft.

**(9) CONSTRUCTION:** Well seal—Material used See No. 12  
Well sealed from land surface to ..... ft.  
Diameter of well bore to bottom of seal ..... in.  
Diameter of well bore below seal ..... in.  
Number of sacks of cement used in well seal ..... sacks  
How was cement grout placed? .....

Was a drive shoe used?  Yes  No Plugs ..... Size: location ..... ft.  
Did any strata contain unusable water?  Yes  No  
Type of water? ..... depth of strata .....  
Method of sealing strata off .....  
Was well gravel packed?  Yes  No Size of gravel: .....  
Gravel placed from ..... ft. to ..... ft.

**(10) LOCATION OF WELL:**  
County Lane Driller's well number 605-165  
..... 1/4 Section 27 T. 18 S. R. 12 W. W.M.  
Bearing and distance from section or subdivision corner  
Tax Lot No. 105

**(11) WATER LEVEL: Completed well.**  
Depth at which water was first found 9'8"   
Static level 17'10"  below land surface. Date 1/7/81  
Artesian pressure lbs. per square inch. Date .....

**(12) WELL LOG:** Diameter of well below casing 6"  
Depth drilled 225 ft. Depth of completed well 0 ft.  
Formation: Describe color, texture, grain size and structure of materials; and show thickness and nature of each stratum and aquifer penetrated, with at least one entry for each change of formation. Report each change in position of Static Water Level and indicate principal water-bearing strata.

MATERIAL	From	To	SWL
Rock - surfacing	0	6"	
Sand, dry, tan	6"	8'6"	
Sand, plastic, some tan clay	8'6"	18'2"	
" , fine, brown	18'2"	20'	
" , fine, gray, heaving	20'	44'	
" , fine, gray w/wash.	44'	48'	
" , fine, gray, heaving	48'	50'	
" , fine, gray-tan, mottled, heaving	50'	58'	
" , fine, gray w/red wash & vegetative matter	58'	60'	
" , fine, gray, clean	60'	75'	
" , fine, gray w/brn wash	75'	90'6"	
" , fine, gray, heaving	90'6"	98'	
" , fine, gray w/brn wash	98'	102'	
" , fine, gray, heaving	102'	108'	
" , fine, gray w/brn wash	108'	116'6"	
" , fine, gray; dark green w/ silt clay	116'6"	131'	

CONTINUED ON NEXT SHEET  
Work started Dec. 8 19 80 Completed Jan. 8 19 81  
Date well drilling machine moved off of well Jan 8 19 81

**Drilling Machine Operator's Certification:**  
This well was constructed under my direct supervision. Materials used and information reported above are true to my best knowledge and belief.  
[Signed] Jhu J Hoec Date 2/2/, 19 81  
(Drilling Machine Operator)  
Drilling Machine Operator's License No. 931

**Water Well Contractor's Certification:**  
This well was drilled under my jurisdiction and this report is true to the best of my knowledge and belief.  
Name Hoec Well Drilling  
(Person, firm or corporation) (Type or print)  
Address P. O. Box 1577, Eugene, OR 97440  
[Signed] Jhu J Hoec  
(Water Well Contractor)  
Contractor's License No. 605 Date Feb. 2, 19 81

**(1) OWNER:**

Name Lane Council of Governments  
Address 125 East 8th Avenue  
Eugene, Oregon 97401

**(2) TYPE OF WORK (check):**

New Well  Deepening  Reconditioning  Abandon   
If abandonment, describe material and procedure in Item 12.

**(3) TYPE OF WELL:**

Rotary  Driven   
 Jetted   
 Bored

**(4) PROPOSED USE (check):**

Domestic  Industrial  Municipal   
Irrigation  Test Well  Other

**(5) CASING INSTALLED:**

Threaded  Welded

\_\_\_\_\_ " Diam. from \_\_\_\_\_ ft. to \_\_\_\_\_ ft. Gage \_\_\_\_\_  
\_\_\_\_\_ " Diam. from \_\_\_\_\_ ft. to \_\_\_\_\_ ft. Gage \_\_\_\_\_  
\_\_\_\_\_ " Diam. from \_\_\_\_\_ ft. to \_\_\_\_\_ ft. Gage \_\_\_\_\_

**(6) PERFORATIONS:**

Perforated?  Yes  No.

Type of perforator used \_\_\_\_\_

Size of perforations \_\_\_\_\_ in. by \_\_\_\_\_ in.  
\_\_\_\_\_ perforations from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.  
\_\_\_\_\_ perforations from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.  
\_\_\_\_\_ perforations from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.

**(7) SCREENS:**

Well screen installed?  Yes  No

Manufacturer's Name \_\_\_\_\_  
Type \_\_\_\_\_ Model No. \_\_\_\_\_  
Diam. \_\_\_\_\_ Slot size \_\_\_\_\_ Set from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.  
Diam. \_\_\_\_\_ Slot size \_\_\_\_\_ Set from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.

**(8) WELL TESTS:**

Drawdown is amount water level is lowered below static level

\_\_\_\_\_ a pump test made?  Yes  No. If yes, by whom?  
Yield: \_\_\_\_\_ gal./min. with \_\_\_\_\_ ft. drawdown after \_\_\_\_\_ hrs.  
" " " " "  
" " " " "  
\_\_\_\_\_ test \_\_\_\_\_ gal./min. with \_\_\_\_\_ ft. drawdown after \_\_\_\_\_ hrs.  
Artesian flow \_\_\_\_\_ g.p.m.  
Temperature of water \_\_\_\_\_ Depth artesian flow encountered \_\_\_\_\_ ft.

**(9) CONSTRUCTION:**

Well seal—Material used \_\_\_\_\_  
Well sealed from land surface to \_\_\_\_\_ ft.  
Diameter of well bore to bottom of seal \_\_\_\_\_ in.  
Diameter of well bore below seal \_\_\_\_\_ in.  
Number of sacks of cement used in well seal \_\_\_\_\_ sacks  
How was cement grout placed? \_\_\_\_\_  
\_\_\_\_\_  
Was a drive shoe used?  Yes  No Plugs \_\_\_\_\_ Size: location \_\_\_\_\_ ft.  
Did any strata contain unusable water?  Yes  No  
Type of water? \_\_\_\_\_ depth of strata \_\_\_\_\_  
Method of sealing strata off \_\_\_\_\_  
Was well gravel packed?  Yes  No Size of gravel: \_\_\_\_\_  
Gravel placed from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.

**(10) LOCATION OF WELL:**

County Lane Driller's well number 605-165  
\_\_\_\_\_ 1/4 Section 27 T. 18 S. R. 12 W. \_\_\_\_\_  
Bearing and distance from section or subdivision corner  
Tax Lot No. 105

**(11) WATER LEVEL: Completed well.**

Depth at which water was first found \_\_\_\_\_ ft.  
Static level \_\_\_\_\_ ft. below land surface. Date \_\_\_\_\_  
Artesian pressure \_\_\_\_\_ lbs. per square inch. Date \_\_\_\_\_

**(12) WELL LOG:**

Diameter of well below casing \_\_\_\_\_

Depth drilled \_\_\_\_\_ ft. Depth of completed well \_\_\_\_\_ ft.

Formation: Describe color, texture, grain size and structure of materials; and show thickness and nature of each stratum and aquifer penetrated, with at least one entry for each change of formation. Report each change in position of Static Water Level and indicate principal water-bearing strata.

MATERIAL	From	To	SWL
Sand, fine, gray w/shells	131'	148'	
" " " lighter gray	148'	150'	
" " " w/some shells	150'	156'	
" " " fine, gray, w/less shell			
some wood	156'	166'	
" " " fine, lighter, more wood	166'	168' 6"	
Clay, dk. gray w/silt	168' 6"	172'	
Silt, dk. gray w/clay	172'	180'	
Sand, fine, brown, heaving	180'	181'	
Silt & clay, dark gray	181'	184' 6"	
Silt & clay, dk. gray, firm	184' 6"	189' 6"	
Silt w/some clay, dk gray	189' 6"	201'	
Sandstone, gray, brown	201'	204'	
Silt w/clay w/wood, shell, charcoal, pine cone; some			
blue shale	204'	210'	
Silt, more clay, dk gray, less			
wood & shell	210'	213'	
Sand, dark gray, heaving	213'	215'	

**CONTINUED ON NEXT SHEET**

Work started \_\_\_\_\_ 19 \_\_\_\_\_ Completed \_\_\_\_\_ 19 \_\_\_\_\_

Date well drilling machine moved off of well \_\_\_\_\_ 19 \_\_\_\_\_

**Drilling Machine Operator's Certification:**  
This well was constructed under my direct supervision. Materials used and information reported above are true to my best knowledge and belief.

[Signed] John Z. Hoeck Date 2/2/81  
(Drilling Machine Operator)

Drilling Machine Operator's License No. 931

**Water Well Contractor's Certification:**

This well was drilled under my jurisdiction and this report is true to the best of my knowledge and belief.

Name Hoeck Well Drilling  
(Person, firm or corporation) (Type or print)

Address P.O. Box 1577, Eugene, OR 97440

[Signed] John Z. Hoeck  
(Water Well Contractor)

Contractor's License No. 605 Date Feb. 2, 1981

NOTICE TO WATER WELL CONTRACTOR  
The original and first copy of this report are to be filed with the

WATER RESOURCES DEPARTMENT,  
SALEM, OREGON 97310  
within 30 days from the date  
of well completion.

# WATER WELL REPORT

STATE OF OREGON  
(Please type or print)

(Do not write above this line)

State Well No. 18s-12w-27

State Permit No. \_\_\_\_\_

PAGE 3 of 3 PAGES

**(1) OWNER:**

Name Lane Council of Governments  
Address 125 East 8th Avenue  
Eugene, Oregon 97401

**(2) TYPE OF WORK (check):**

New Well  Deepening  Reconditioning  Abandon   
If abandonment, describe material and procedure in Item 12.

**(3) TYPE OF WELL:**      **(4) PROPOSED USE (check):**

Rotary  Driven  Domestic  Industrial  Municipal   
Cased  Jetted  Irrigation  Test Well  Other   
Dug  Bored

**(5) CASING INSTALLED:**      Threaded  Welded

....." Diam. from ..... ft. to ..... ft. Gage .....  
....." Diam. from ..... ft. to ..... ft. Gage .....  
....." Diam. from ..... ft. to ..... ft. Gage .....

**(6) PERFORATIONS:**      Perforated?  Yes  No.

Type of perforator used \_\_\_\_\_  
Size of perforations in. by in.  
..... perforations from ..... ft. to ..... ft.  
..... perforations from ..... ft. to ..... ft.  
..... perforations from ..... ft. to ..... ft.

**(7) SCREENS:**      Well screen installed?  Yes  No

Manufacturer's Name \_\_\_\_\_  
Type \_\_\_\_\_ Model No. \_\_\_\_\_  
Diam. \_\_\_\_\_ Slot size \_\_\_\_\_ Set from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.  
Diam. \_\_\_\_\_ Slot size \_\_\_\_\_ Set from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.

**(8) WELL TESTS:**      Drawdown is amount water level is lowered below static level

..... a pump test made?  Yes  No If yes, by whom?  
Yield: gal./min. with ft. drawdown after hrs.  
" " " " "  
" " " " "  
Beller test gal./min. with ft. drawdown after hrs.  
Artesian flow g.p.m.  
Temperature of water Depth artesian flow encountered ..... ft.

**(9) CONSTRUCTION:**

Well seal—Material used \_\_\_\_\_  
Well sealed from land surface to ..... ft.  
Diameter of well bore to bottom of seal ..... in.  
Diameter of well bore below seal ..... in.  
Number of sacks of cement used in well seal ..... sacks  
How was cement grout placed? \_\_\_\_\_  
.....  
.....  
Was a drive shoe used?  Yes  No Plugs ..... Size: location ..... ft.  
Did any strata contain unusable water?  Yes  No  
Type of water? depth of strata  
Method of sealing strata off  
Was well gravel packed?  Yes  No Size of gravel: \_\_\_\_\_  
Gravel placed from ..... ft. to ..... ft.

**(10) LOCATION OF WELL:**

County Lane Driller's well number 605-165  
1/4 1/4 Section 27 T. 18 S. R. 12 W. W.M.  
Bearing and distance from section or subdivision corner  
Tax Lot No. 105

**(11) WATER LEVEL: Completed well.**

Depth at which water was first found ..... ft.  
Static level ..... ft. below land surface. Date \_\_\_\_\_  
Artesian pressure ..... lbs. per square inch. Date \_\_\_\_\_

**(12) WELL LOG:**      Diameter of well below casing .....

Depth drilled ..... ft. Depth of completed well ..... ft.  
Formation: Describe color, texture, grain size and structure of materials; and show thickness and nature of each stratum and aquifer penetrated, with at least one entry for each change of formation. Report each change in position of Static Water Level and indicate principal water-bearing strata.

MATERIAL	From	To	SWL
Silt w/clay and some sand, dark gray	215'	225'	17'10"

PIEZOMETERS INSTALLED IN HOLE TO 210 FEET. CASING REMOVED. HOLE FILLED AND CAVED IN AS CASING WAS REMOVED.

**RECEIVED**

FEB 5 1981

WATER RESOURCES DEPT  
SALEM, OREGON

Work started 19 ..... Completed 19 .....  
Date well drilling machine moved off of well 19 .....

**Drilling Machine Operator's Certification:**

This well was constructed under my direct supervision. Materials used and information reported above are true to my best knowledge and belief.  
[Signed] John L. Hoek Date 2/2/81  
(Drilling Machine Operator)  
Drilling Machine Operator's License No. 931

**Water Well Contractor's Certification:**

This well was drilled under my jurisdiction and this report is true to the best of my knowledge and belief.  
Hoek Well Drilling  
Name ..... (Person, firm or corporation) (Type or print)  
Address P.O. Box 1577, Eugene, OR 97440  
[Signed] John L. Hoek  
(Water Well Contractor)  
Contractor's License No. 931 Date Feb. 2, 1981



RECEIVED  
APR 7 1959

STATE ENGINEER  
SALEM, OREGON

WATER WELL REPORT  
STATE OF OREGON

18/12W-27  
State Well No. LANE  
State Permit No. 010299

File Original and  
First Copy with the  
STATE ENGINEER,  
SALEM, OREGON

(1) OWNER:

Name OLIVE L.A. DUKE, SR.  
Address C.W. SHMAN  
OREGON

(2) LOCATION OF WELL:

County LANE Owner's number, if any—  
1/4 1/4 Section T. R. W.M.  
Bearing and distance from section or subdivision corner  
Lot 3 Block 51, Miller  
Addition of Florence, Ore

(3) TYPE OF WORK (check):

New Well  Deepening  Reconditioning  Abandon   
If abandonment, describe material and procedure in Item 11.

(4) PROPOSED USE (check):

Domestic  Industrial  Municipal   
Irrigation  Test Well  Other

(5) TYPE OF WELL:

Rotary  Driven   
Cable  Jetted   
Dug  Bored

(6) CASING INSTALLED:

Threaded  Welded   
1 1/2" Diam. from 21 ft. to \_\_\_\_\_ ft. Gage Standard  
\_\_\_\_\_ " Diam. from \_\_\_\_\_ ft. to \_\_\_\_\_ ft. Gage \_\_\_\_\_  
\_\_\_\_\_ " Diam. from \_\_\_\_\_ ft. to \_\_\_\_\_ ft. Gage \_\_\_\_\_

(7) PERFORATIONS:

Perforated?  Yes  No  
Type of perforator used \_\_\_\_\_  
SIZE of perforations in. by in.  
\_\_\_\_\_ perforations from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.  
\_\_\_\_\_ perforations from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.  
\_\_\_\_\_ perforations from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.  
\_\_\_\_\_ perforations from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.  
\_\_\_\_\_ perforations from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.

(8) SCREENS:

Well screen installed  Yes  No  
Manufacturer's Name Edward C. Johnston Inc.  
Type \_\_\_\_\_ Model No. 824  
2" Slot size 8" Set from 21 ft. to 23 1/2 ft.  
2 1/2" Slot size \_\_\_\_\_ Set from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.

(9) CONSTRUCTION:

Was well gravel packed?  Yes  No Size of gravel: \_\_\_\_\_  
Gravel placed from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.  
Was a surface seal provided?  Yes  No To what depth? \_\_\_\_\_ ft.  
Material used in seal—  
Did any strata contain unusable water?  Yes  No  
Type of water? \_\_\_\_\_ Depth of strata \_\_\_\_\_  
Method of sealing strata off \_\_\_\_\_

(10) WATER LEVELS:

Static level \_\_\_\_\_ ft. below land surface Date \_\_\_\_\_  
Artesian pressure \_\_\_\_\_ lbs. per square inch Date \_\_\_\_\_

(11) WELL TESTS:

Drawdown is \_\_\_\_\_ level is lowered below static level  
Was a pump test made?  Yes  No If yes, by whom? -  
Yield: 550 gal./min. with \_\_\_\_\_ ft. drawdown after \_\_\_\_\_ hrs.  
" " " " "  
" " " " "  
Ballor test \_\_\_\_\_ gal./min. with \_\_\_\_\_ ft. drawdown after \_\_\_\_\_ hrs.  
Artesian flow \_\_\_\_\_ g.p.m. Date \_\_\_\_\_  
Temperature of water \_\_\_\_\_ Was a chemical analysis made?  Yes  No

(12) WELL LOG:

Diameter of well 1 1/4 inches.  
Depth drilled 23 1/2 ft. Depth of completed well 23 1/2 ft.

Formation: Describe by color, character, size of material and structure, and show thickness of aquifers and the kind and nature of the material in each stratum penetrated, with at least one entry for each change of formation.

MATERIAL	FROM	TO
<u>Beach sand</u>	<u>-</u>	<u>23 1/2</u>

Work started Nov 6th 1959 Completed Mar 28th 1959

(13) PUMP:

Manufacturer's Name \_\_\_\_\_  
Type: \_\_\_\_\_ H.P. \_\_\_\_\_

Well Driller's Statement:

This well was drilled under my jurisdiction and this report is true to the best of my knowledge and belief.

NAME CHARLES PANSCHOW  
(Person, firm, or corporation) (Type or print)  
Address RT#1, BOX 192, FLORENCE, ORE.  
Driller's well number 94

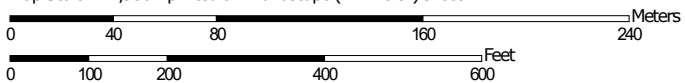
[Signed] \_\_\_\_\_ (Well Driller)  
License No. 87 Date Apr 16, 1959

Log Accepted by: Oliver J. J. J. J.  
[Signed] \_\_\_\_\_ Date Apr: 16, 1959  
(Owner)

Soil Map—Lane County Area, Oregon  
(Elm Park PUD - Florence)



Map Scale: 1:2,930 if printed on A landscape (11" x 8.5") sheet.




Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 10N WGS84



## MAP LEGEND

### Area of Interest (AOI)

 Area of Interest (AOI)

### Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

### Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

### Water Features



Streams and Canals

### Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

### Background



Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

**Warning:** Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL:  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Lane County Area, Oregon  
Survey Area Data: Version 22, Sep 8, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: May 19, 2023—Jun 3, 2023

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
131C	Waldport fine sand, 0 to 12 percent slopes	29.7	82.4%
131E	Waldport fine sand, 12 to 30 percent slopes	6.4	17.6%
<b>Totals for Area of Interest</b>		<b>36.1</b>	<b>100.0%</b>



## Lane County Area, Oregon

### 131E—Waldport fine sand, 12 to 30 percent slopes

#### Map Unit Setting

*National map unit symbol:* 234s

*Elevation:* 0 to 150 feet

*Mean annual precipitation:* 60 to 100 inches

*Mean annual air temperature:* 48 to 54 degrees F

*Frost-free period:* 165 to 300 days

*Farmland classification:* Not prime farmland

#### Map Unit Composition

*Waldport and similar soils:* 85 percent

*Minor components:* 6 percent

*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### Description of Waldport

##### Setting

*Landform:* Dunes

*Down-slope shape:* Linear

*Across-slope shape:* Linear

*Parent material:* Eolian sand of mixed origin

##### Typical profile

*Oi - 0 to 1 inches:* slightly decomposed plant material

*Oe - 1 to 3 inches:* moderately decomposed plant material

*H1 - 3 to 8 inches:* fine sand

*H2 - 8 to 60 inches:* fine sand

##### Properties and qualities

*Slope:* 12 to 30 percent

*Depth to restrictive feature:* More than 80 inches

*Drainage class:* Excessively drained

*Capacity of the most limiting layer to transmit water (Ksat):* High to very high (5.95 to 99.90 in/hr)

*Depth to water table:* More than 80 inches

*Frequency of flooding:* None

*Frequency of ponding:* None

*Available water supply, 0 to 60 inches:* Low (about 4.8 inches)

##### Interpretive groups

*Land capability classification (irrigated):* None specified

*Land capability classification (nonirrigated):* 7e

*Hydrologic Soil Group:* A

*Ecological site:* F004AB202OR - Dune Forest

*Hydric soil rating:* No

### Minor Components

#### Heceta

*Percent of map unit:* 3 percent

*Landform:* Interdunes

*Hydric soil rating:* Yes

#### Yaquina

*Percent of map unit:* 3 percent

*Landform:* Marine terraces

*Hydric soil rating:* Yes

## Data Source Information

Soil Survey Area: Lane County Area, Oregon

Survey Area Data: Version 22, Sep 8, 2023

## **APPENDIX B:**

### **Recommended Earthwork Specifications**



## GEOTECHNICAL SPECIFICATIONS

### General Earthwork

1. All areas where structural fills, fill slopes, structures, or roadways are to be constructed shall be stripped of organic topsoil and cleared of surface and subsurface deleterious material, including but limited to vegetation, roots, or other organic material, undocumented fill, construction debris, soft or unsuitable soils as directed by the Geotechnical Engineer of Record. These materials shall be removed from the site or stockpiled in a designated location for reuse in landscape areas if suitable for that purpose. Existing utilities and structures that are not to be used as part of the project design or by neighboring facilities, shall be removed or properly abandoned, and the associated debris removed from the site.
2. Upon completion of site stripping and clearing, the exposed soil and/or rock shall be observed by the Geotechnical Engineer of Record or a designated representative to assess the subgrade condition for the intended overlying use. Pits, depressions, or holes created by the removal of root wads, utilities, structures, or deleterious material shall be properly cleared of loose material, benched and backfilled with fill material approved by the Geotechnical Engineer of Record compacted to the project specifications.
3. In structural fill areas, the subgrade soil shall be scarified to a depth of 4-inches, if soil fill is used, moisture conditioned to within 2% of the materials optimum moisture for compaction, and blended with the first lift of fill material. The fill placement and compaction equipment shall be appropriate for fill material type, required degree of blending, and uncompacted lift thickness. Assuming proper equipment selection, the total uncompacted thickness of the scarified subgrade and first fill lift shall not exceed 8-inches, subsequent lifts of uncompacted fill shall not exceed 8-inches unless otherwise approved by the Geotechnical Engineer of Record. The uncompacted lift thickness shall be assessed based on the type of compaction equipment used and the results of initial compaction testing. Fine-grain soil fill is generally most effectively compacted using a kneading style compactor, such as a sheeps-foot roller; granular materials are more effectively compacted using a smooth, vibratory roller or impact style compactor.
4. All structural soil fill shall be well blended, moisture conditioned to within 2% of the **material's** optimum moisture content for compaction and compacted to at least 90% of the **material's** maximum dry density as determined by ASTM Method D-1557, or an equivalent method. Soil fill shall not contain more than 10% rock material and no solid material over 3-inches in diameter unless approved by the Geotechnical Engineer of Record. Rocks shall be evenly distributed throughout each lift of fill that they are contained within and shall not be clumped together in such a way that voids can occur.
5. All structural granular fill shall be well blended, moisture conditioned at or up to 3% above of the **material's optimum moisture content for compaction and compacted to at least 90%** of the **material's maximum dry density as determined by ASTM Method D-1557**, or an equivalent method. 95% relative compaction may be required for pavement base rock or in upper lifts of the granular structural fill where a sufficient thickness of the fill section allows for higher compaction percentages to be achieved. The granular fill shall not contain solid particles over 2-inches in diameter unless special density testing methods or proof-rolling is approved by the Geotechnical Engineer of Record. Granular fill is generally considered to be a crushed aggregate with a fracture surface of at least 70% and a maximum size not exceeding 1.5-inches in diameter, well-graded with less than 10%, by weight, passing the No. 200 Sieve.
6. Structural fill shall be field tested for compliance with project specifications for every 2-feet in vertical rise or 500 cy placed, whichever is less. In-place field density testing shall be performed by a competent individual, trained in the testing and placement of soil and aggregate fill placement, using either ASTM Method D-1556/4959/4944 (Sand Cone), D-6938 (Nuclear Densometer), or D-2937/4959/4944 (Drive Cylinder). Should the fill materials not be suitable for testing by the above methods, then observation of placement, compaction and proof-rolling with a loaded 10 cy dump-truck, or equivalent ground pressure equipment, by a trained individual may be used to assess and document the compliance with structural fill specifications.



## Utility Excavations

- Utility excavations are to be excavated to the design depth for bedding and placement and shall not be over-excavated. Trench widths shall only be of sufficient width to allow placement and proper construction of the utility and backfill of the trench.
- Backfilling of a utility trench will be dependent on its location, use, depth, and utility line material type. Trenches that are required to meet structural fill specifications, such as those under or near buildings, or within pavement areas, shall have granular material strategically compacted to at least the spring-line of the utility conduit to mitigate pipeline movement and deformation. The initial lift thickness of backfill overlying the pipeline will be dependent on the pipeline material, type of backfill, and the compaction equipment, so as not to cause deflection or deformation of the pipeline. Trench backfill shall conform to the General Earthwork specifications for placement, compaction, and testing of structural fill.

## Geotextiles

- All geotextiles shall be resistant to ultraviolet degradation, and to biological and chemical environments normally found in soils. Geotextiles shall be stored so that they are not in direct sunlight or exposed to chemical products. The use of a geotextile shall be specified and shall meet the following specification for each use.

### Subgrade/Aggregate Separation

Woven or nonwoven fabric conforming to the following physical properties:

• Minimum grab tensile strength	ASTM Method D-4632	180 lb
• Minimum puncture strength (CBR)	ASTM Method D-6241	371 lb
• Elongation	ASTM Method D-4632	15%
• Maximum apparent opening size	ASTM Method D-4751	No. 40
• Minimum permittivity	ASTM Method D-4491	0.05 s <sup>-1</sup>

### Drainage Filtration

Woven fabric conforming to the following physical properties:

• Minimum grab tensile strength	ASTM Method D-4632	110 lb
• Minimum puncture strength (CBR)	ASTM Method D-6241	220 lb
• Elongation	ASTM Method D-4632	50%
• Maximum apparent opening size	ASTM Method D-4751	No. 40
• Minimum permittivity	ASTM Method D-4491	0.5 s <sup>-1</sup>

### Geogrid Base Reinforcement

Extruded biaxially or triaxially oriented polypropylene conforming to the following physical properties:

• Peak tensile strength lb/ft	ASTM Method D-6637	925
• Tensile strength at 2% strain lb/ft	ASTM Method D-6637	300
• Tensile strength at 5% strain lb/ft	ASTM Method D-6637	600
• Flexural Rigidity	ASTM Method D-1388	250,000 mg-cm
• Effective Opening Size rock size	ASTM Method D-4751	1.5x
• <b>Pavement areas use Hanes Geocomponets or Terragrid BX1200 or Equivalent</b>		<b>Tensile Strength of 1,300 lb-ft Recommended</b>



United States  
Department of  
Agriculture

NRCS

Natural  
Resources  
Conservation  
Service

A product of the National  
Cooperative Soil Survey,  
a joint effort of the United  
States Department of  
Agriculture and other  
Federal agencies, State  
agencies including the  
Agricultural Experiment  
Stations, and local  
participants

# Custom Soil Resource Report for Lane County Area, Oregon



# Preface

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Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist ([http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2\\_053951](http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951)).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

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# Soil Map

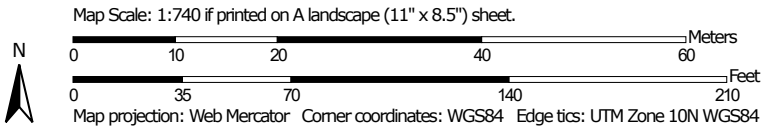
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The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

# Custom Soil Resource Report Soil Map




Soil Map may not be valid at this scale.



### MAP LEGEND

**Area of Interest (AOI)**

 Area of Interest (AOI)


**Soils**


 Soil Map Unit Polygons


 Soil Map Unit Lines

 Soil Map Unit Points

**Special Point Features**

 Blowout

 Borrow Pit


 Clay Spot

 Closed Depression

 Gravel Pit

 Gravelly Spot

 Landfill

 Lava Flow

 Marsh or swamp

 Mine or Quarry

 Miscellaneous Water

 Perennial Water

 Rock Outcrop

 Saline Spot

 Sandy Spot

 Severely Eroded Spot


 Sinkhole


 Slide or Slip


 Sodic Spot


 Spoil Area

 Stony Spot


 Very Stony Spot

 Wet Spot

 Other

 Special Line Features

**Water Features**

 Streams and Canals


**Transportation**

 Rails


 Interstate Highways

 US Routes

 Major Roads

 Local Roads

**Background**

 Aerial Photography

### MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL:  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Lane County Area, Oregon  
 Survey Area Data: Version 22, Sep 8, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: May 19, 2023—Jun 3, 2023

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.



## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
131C	Waldport fine sand, 0 to 12 percent slopes	2.9	100.0%
<b>Totals for Area of Interest</b>		<b>2.9</b>	<b>100.0%</b>

## Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

## Custom Soil Resource Report

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

## Lane County Area, Oregon

### 131C—Waldport fine sand, 0 to 12 percent slopes

#### Map Unit Setting

*National map unit symbol:* 234r  
*Elevation:* 0 to 150 feet  
*Mean annual precipitation:* 60 to 100 inches  
*Mean annual air temperature:* 48 to 54 degrees F  
*Frost-free period:* 165 to 300 days  
*Farmland classification:* Not prime farmland

#### Map Unit Composition

*Waldport and similar soils:* 85 percent  
*Minor components:* 8 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### Description of Waldport

##### Setting

*Landform:* Dunes  
*Down-slope shape:* Linear  
*Across-slope shape:* Linear  
*Parent material:* Eolian sand of mixed origin

##### Typical profile

*O<sub>i</sub> - 0 to 1 inches:* slightly decomposed plant material  
*O<sub>e</sub> - 1 to 3 inches:* moderately decomposed plant material  
*H<sub>1</sub> - 3 to 8 inches:* fine sand  
*H<sub>2</sub> - 8 to 60 inches:* fine sand

##### Properties and qualities

*Slope:* 0 to 12 percent  
*Depth to restrictive feature:* More than 80 inches  
*Drainage class:* Excessively drained  
*Capacity of the most limiting layer to transmit water (K<sub>sat</sub>):* High to very high (5.95 to 99.90 in/hr)  
*Depth to water table:* More than 80 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Available water supply, 0 to 60 inches:* Low (about 4.8 inches)

##### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 6e  
*Hydrologic Soil Group:* A  
*Ecological site:* F004AB202OR - Dune Forest  
*Hydric soil rating:* No

#### Minor Components

##### Heceta

*Percent of map unit:* 4 percent  
*Landform:* Interdunes  
*Hydric soil rating:* Yes

## Custom Soil Resource Report

### **Yaquina**

*Percent of map unit: 4 percent*

*Landform: Marine terraces*

*Hydric soil rating: Yes*



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- United States Department of Agriculture, Natural Resources Conservation Service. National range and pasture handbook. <http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/landuse/rangepasture/?cid=stelprdb1043084>

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**EXHIBIT 15**

**ELM PARK EARLY LEARNING CENTER**

**PRELIMINARY LIGHTING**

# LUMINAIRE SCHEDULE

- NOTES:
1. ALL FIXTURES SHALL BE U.L. OR SIMILARLY LISTED.
  2. INCLUDE A MINIMUM 1 YEAR WARRANTY FOR LIGHTING FIXTURES, WHERE NOT OTHERWISE SPECIFIED.
  3. REFER TO ARCHITECTURAL DOCUMENTS FOR EXACT MOUNTING LOCATIONS, DETAILS, AND CONFIGURATIONS OF ALL LUMINAIRES. IF ARCHITECTURAL DRAWINGS DO NOT CLARIFY EXACT MOUNTING LOCATION OR DETAIL, ISSUE AN RFI FOR ARCHITECT TO SPECIFICALLY CLARIFY PRIOR TO FIXTURE ROUGH-IN.
  4. VERIFY COMPATIBILITY OF LIGHT FIXTURES WITH CEILING MATERIAL, ADJACENT CONSTRUCTION, AND ADJACENT FINISHES PRIOR TO SHOP DRAWINGS SUBMITTAL. NOTIFY THE ARCHITECT OF ANY CONFLICTS WITH THE PROPOSED INSTALLATION.
  5. CONTRACTOR IS RESPONSIBLE FOR ALL MISCELLANEOUS HARDWARE NECESSARY TO INSTALL AND SUPPORT THE LUMINAIRES.
  6. AIM AND TARGET ADJUSTABLE INTERIOR AND EXTERIOR LIGHT FIXTURES UNDER THE OBSERVATION AND IN COMPLIANCE WITH RECOMMENDATIONS OF THE ARCHITECT. INCLUDE LABOR AND MATERIAL COSTS MADE NECESSARY BY THIS REQUIREMENT.
  7. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FILLING OUT ALL UTILITY REBATE FORMS FOR OWNER.

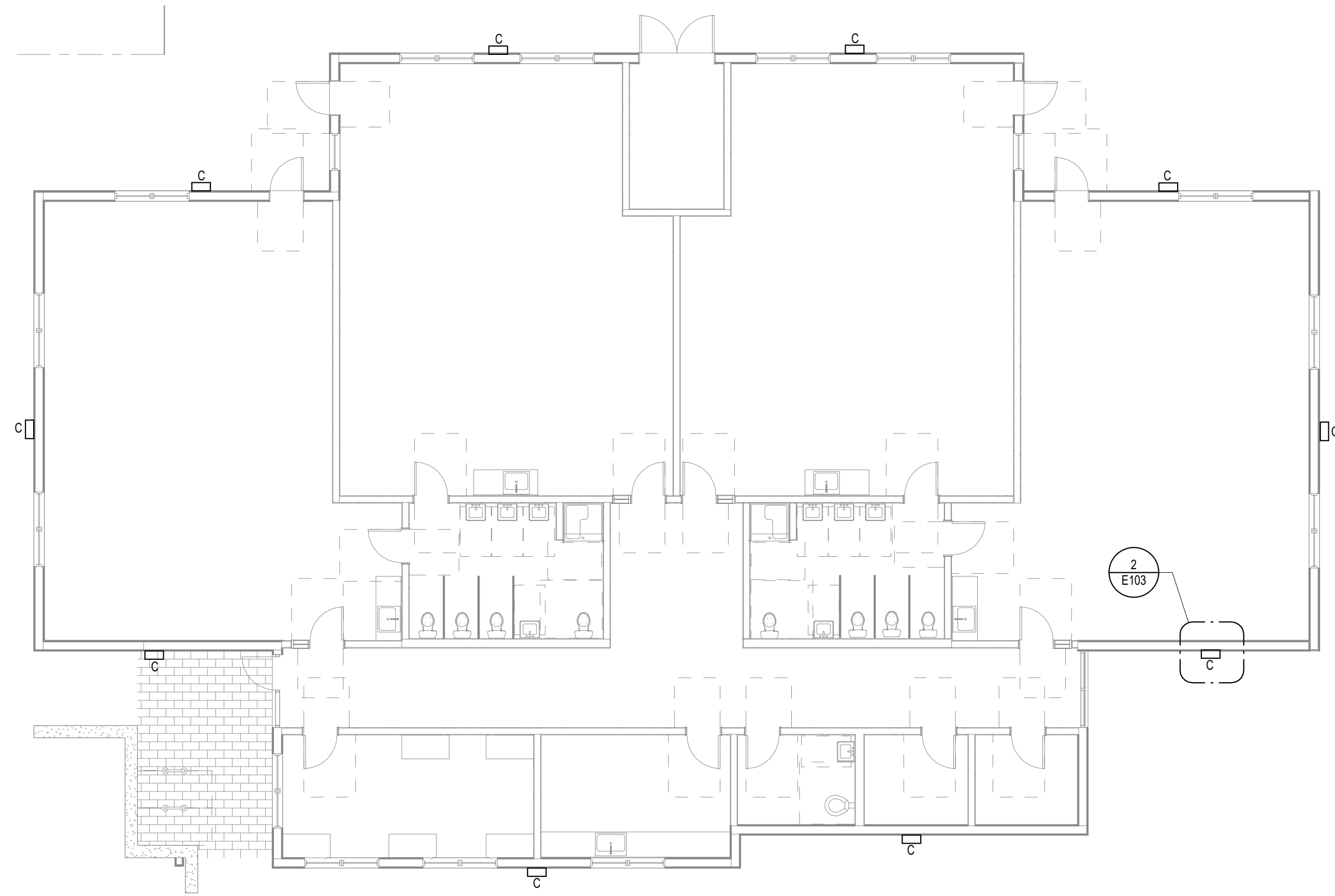
TYPE	DESCRIPTION	MANUFACTURER	MODEL	FINISH	LUMENS	CRI	DRIVER TYPE	SOURCE-CCT	VOLTAGE	INPUT WATTAGE	LUMINAIRE HEIGHT A.F.F.
C	WALL MOUNTED LIGHT	LITHONIA LIGHTING	WDGE1 LED P2 40K 80CRI VW MVOLT SRM PE DBLXD - TYPE 2	BLACK	1980	80	INCLUDED	LED-4000K	120 V	15 W	12 FEET

DESIGNED BY: JDH

## LIGHTING SYMBOLS

☐ SURFACE WALL MOUNTED FIXTURE

**KCL**  
ENGINEERING  
309 W 4th Ave, Ste 201  
Eugene, OR  
97401  
503-212-4612



1 ELF BUILDING EXTERIOR LIGHTING FLOOR PLAN  
1/8" = 1'-0"

## LUMINAIRE TYPE C

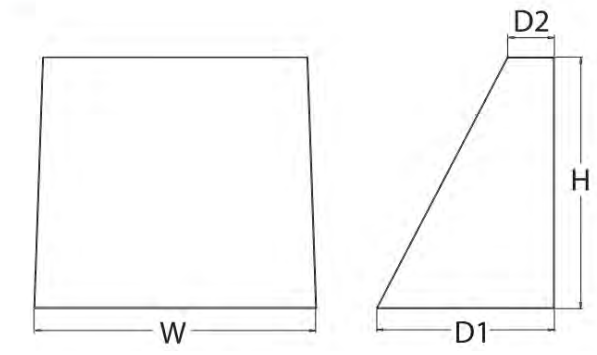


**WDGE1 LED**  
Architectural Wall Sconce



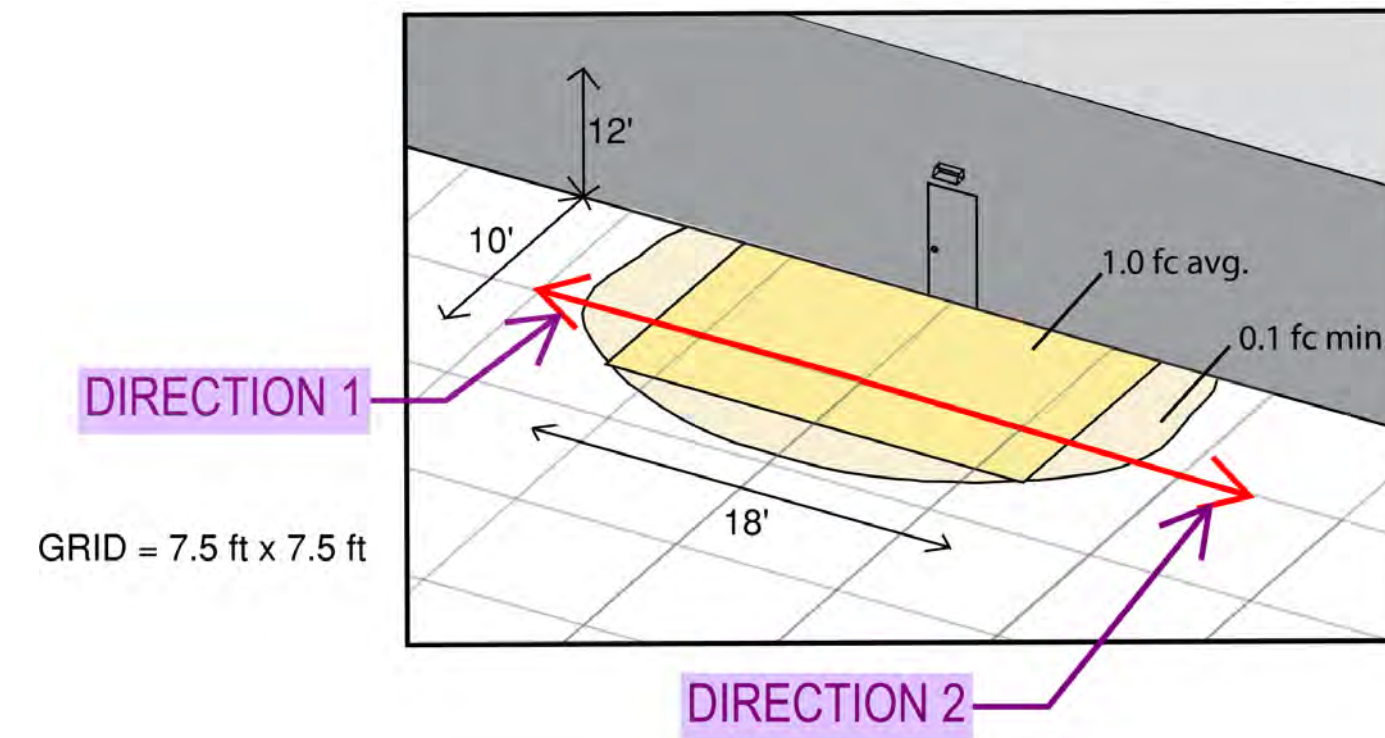
### Specifications

**Depth (D1):** 5.5"  
**Depth (D2):** 1.5"  
**Height:** 8"  
**Width:** 9"  
**Weight:** 9 lbs  
(without options)



### DETAIL NOTE:

- 1- THE LUMINAIRE'S LIGHTING DISTRIBUTION IS TYPE 2, MEANING THE LIGHT IS DISPERSED IN TWO DIRECTIONS, AS SHOWN IN DETAIL SEE DIRECTION 1 AND DIRECTION 2.
- 2- THE LUMINAIRE IS MOUNTED ON THE BUILDING OUTSIDE WALL.



2 WALL PACK MOUNTING DETAIL  
NOT TO SCALE

OUR COASTAL VILLAGE FLORENCE

628 RADAR RD, YACHTS, OR 97498

Project No: 24218

Date: 10/31/24

FOR PUD REVIEW

Revision Date

Drawing Name:  
ELF BUILDING EXTERIOR  
LIGHTING FLOOR PLAN

Drawing #:

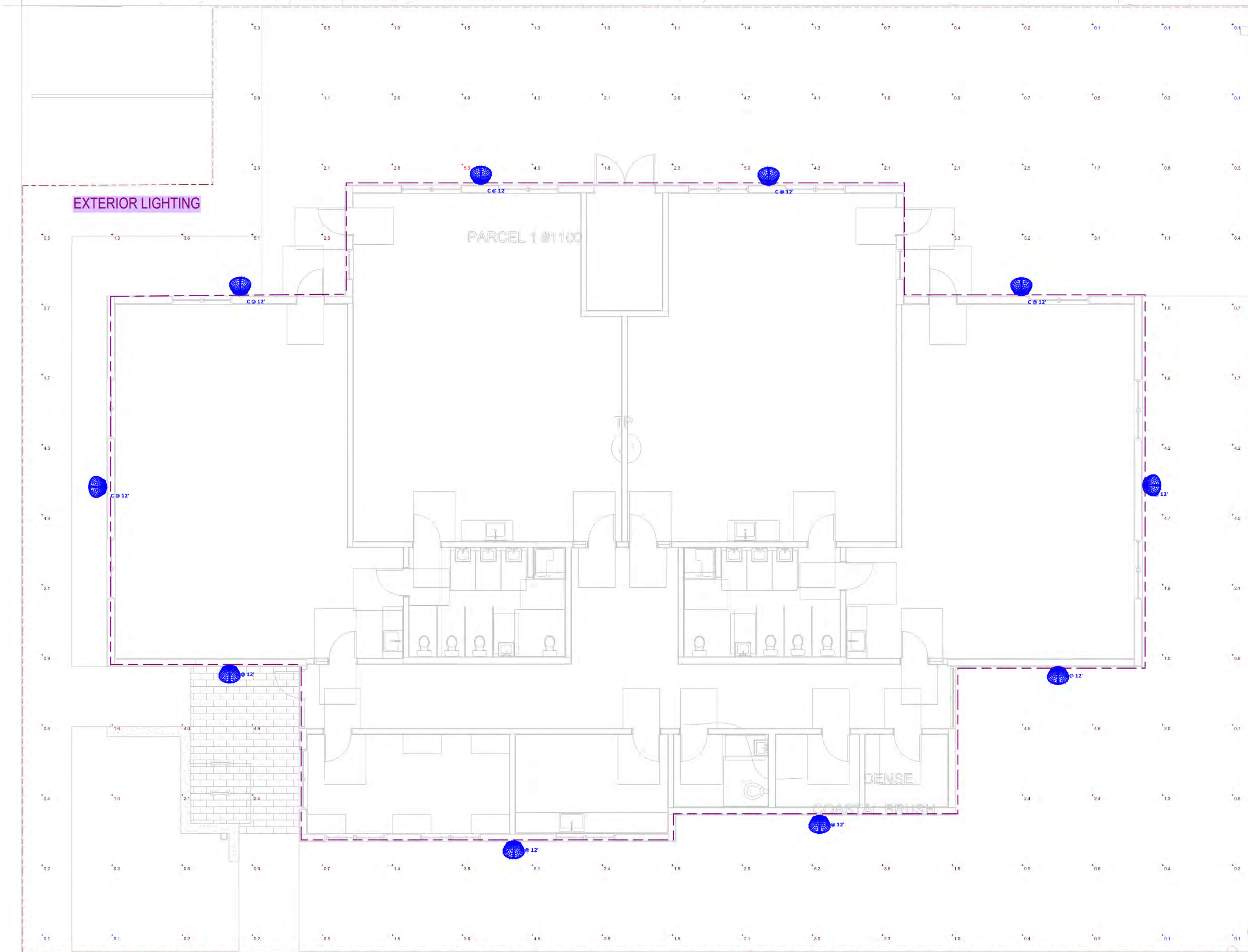
**E103**



EASEMENT  
 13'X19'  
 PARCEL 2  
 #1100

PARCEL #1200

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
EXTERIOR LIGHTING	+	1.9 fc	5.3 fc	0.1 fc	53.0:1	19.0:1



OUR COASTAL VILLAGE FLORENCE

628 RADAR RD, YACHTS, OR 97498

Project No: 24218  
 Date: 10/31/24  
 FOR PUD REVIEW

Revision	Date

Drawing Name:  
 ELF BUILDING - LIGHTING  
 CALCULATIONS

Drawing #:  
**E104**