

**ITEM TITLE:***Resolution PC 24 15 CUP 10 – Rolling Dunes Park P*

---

**OVERVIEW:**

Application: A request was received for a Conditional Use Permit (CUP) with design review for an expansion of greater than 25% to the Rolling Dunes Park facility located at the north east intersection of N. Siano Loop and 35<sup>th</sup> Street. The project proposes the addition of a 35 x 120 foot pickleball court expansion with a 10 foot perimeter fence to the east of the existing tennis courts, replacement of the existing picnic shelter and restroom facilities, and parking improvements that add both ADA parking and bicycle parking. Other site improvements include stormwater management and bringing landscaping up to code in the same proportion as the proposed 29% increase.

The proposal requires design review as new development of the pickleball court and for the park facilities proposed for replacement in accordance with FCC 10-1-1-6-3-A-2 & 4, as these proposals represents new development and a modification to the site greater than 1,500 sq. ft. or 25%. A new CUP is required based on the proposed expansion of greater than 25% in accordance with FCC 10-4-2-2.

Process and Review: These requests are a Type III land use application requiring a quasi-judicial public hearing. The Florence Planning Commission is the review body as set out in the [Florence City Code \(FCC\) Title 10 Chapter 4](#). The resolution, findings of fact and application materials are attached to this AIS. Additionally, testimony and at times parts of the application are included as separate attachments and are not included as part of the resolution exhibits. The applicable criteria are listed in the “Applicable Criteria” section of the findings. Only the code sections, comprehensive plan policies and appendices, are the policy considerations that may be applied in the decision-making process. Application materials, public testimony and agency referrals that speak to the criteria may also be considered.

The findings include a review of the application against the applicable criteria and incorporate public testimony and agency referral comments or concerns where applicable. Where project changes were needed or it was found necessary to ensure the code is met, conditions of approval are included. Additionally, informational items are listed within the resolution and findings to ensure information is conveyed that is applicable but not necessarily a condition of approval.

Testimony/Agency Referrals: No public testimony was received for this project proposal.

A referral request was sent on June 5, 2024 to the City of Florence Public Works Department, Siuslaw Valley Fire and Rescue (SVFR), Central Lincoln PUD, and CTCLUSI. SVFR responded that they had no concerns or issues with the project as proposed. No other referral comments were received related to the project proposal.

---

---

**ISSUES/DECISION POINTS:**

- There are goal 5 wetlands present on the site. Additional determination may be required to conclusively determine if the pickleball court expansion meet the minimum 50 foot setback (p. 22-24 of 44).
- If the pickleball court addition does not meet the minimum 50 foot setback from the Goal 5 wetlands a removal fill permit may be required if greater than 50 cubic yard of site disturbance occurs.
- The proportional increase of shrubs is 28 shrubs to be planted onsite. The Planning Commission shall determine a condition to meet this requirement as discussed under Section FCC 10-34 (p. 29 of 44).

---

**ALTERNATIVES:**

1. Approve the Conditional Use Permit (CUP) and design review for the Rolling Dunes Park Expansion and addition of pickleball courts
2. Review and recommend changes to the proposed Conditional Use Permit (CUP) and design review findings and approve as amended,
3. Continue the Public Hearing to a date certain if more information is required, or
4. Do not approve the Conditional Use Permit (CUP) and design review, by revising the findings and resolution stating how the application does not meet the criteria.
5. Approve a portion of the request for either the design review or the CUP, and request the findings and resolution be re-written stating how the application meets the partial approval.

---

**RECOMMENDATION:**

Planning Staff—Option 1, Approve with conditions of approval

---

**AIS PREPARED BY:**

Clare Kurth, Associate Planner

---

**ITEM'S ATTACHED:**

**Attachment 1 – Resolution PC 23 19 CUP 02 - Draft**

- Exhibit A – Findings of Fact
- Exhibit B – Land Use Application
- Exhibit C – Site Plans & Landscaping Plan
- Exhibit D – Lighting & Fencing Examples
- Exhibit E – Front Facade

**CITY OF FLORENCE  
PLANNING COMMISSION**

**RESOLUTION PC 24 15 CUP 10**

AN APPLICATION FOR A CONDITIONAL USE PERMIT TO ADD PICKLEBALL COURTS THE EXISTING ROLLING DUNES PARK, REPLACEMENT OF EXISTING RESTROOM AND PICNIC SHELTERS AND ASSOCIATED DEVELOPMENT AND SITE IMPROVEMENTS.

**WHEREAS**, application was made by Public Works Director Mike Miller, representative for the City of Florence, for a Conditional Use Permit as required by FCC 10-1-1-4, FCC 10-1-1-6-3, and FCC 10-4-4; and

**WHEREAS**, the Planning Commission met in a duly-advertised public hearing on June 11, 2024, as outlined in Florence City Code 10-1-1-6-3, to consider the application, evidence in the record, and testimony received; and

**WHEREAS**, the addition of pickleball courts and expansion of other Rolling Dunes Park facilities is in compliance with the 2020 Florence Realization Comprehensive Plan, Chapter 8; Open Space, Parks, and Recreation and conditionally permitted uses in accordance with FCC 10-22-3; and

**WHEREAS**, the Planning Commission of the City of Florence, per FCC 10-4-10 and FCC 10-4-12, finds, based on the Findings of Fact, application, staff recommendation, evidence and testimony presented to them, that the application meets the applicable criteria through compliance with certain Conditions of Approval.

**NOW THEREFORE BE IT RESOLVED** that the Planning Commission of the City of Florence finds, based on the Findings of Fact and the evidence in record that:

The request for a conditional use permit to construct a 35 x 120 square foot pickleball court addition and the replacement of the restroom and picnic shelter facilities at Rolling Dunes Park meets the applicable criteria in Florence City Code and the Florence Realization 2020 Comprehensive Plan with the conditions of approval as listed below.

**Conditions of Approval:**

The application, as presented, meets or can meet applicable City codes and requirements, provided that the following conditions of approval are met.

**1. Approval for shall be shown on:**

- |                                         |                                           |
|-----------------------------------------|-------------------------------------------|
| “A” Findings of Fact                    | “F” DSL Agency Decision WD 2021-0558      |
| “B” Land Use Application                | “G” Spruce Village Plat Map               |
| “C” Project Proposal                    | “H” Stormwater Design Manual Excerpts     |
| “D” Site Plans & Expansion Images       | “I” Wetlands and Deepwater Classification |
| “E” Power Point Presentation - Overview | “J” Referral Comments                     |

2. Findings of Fact attached as Exhibit "A" are incorporated by reference and adopted in support of this decision. Any modifications to the approved plans or changes of use, except those changes relating to Building Codes, will require approval by the Community Development Director or Planning Commission/Design Review Board.

3. Regardless of the content of material presented for this Planning Commission, including application text and exhibits, staff reports, testimony and/or discussions, the applicant agrees to comply with all regulations and requirements of the Florence City Code which are current on this date, EXCEPT where variance or deviation from such regulations and requirements has been specifically approved by formal Planning Commission action as documented by the records of this decision and/or the associated Conditions of Approval. The applicant shall submit to the Community Development Department a signed "Agreement of Acceptance" of all conditions of approval prior to issuance of a building permit.

4. Upon encountering any cultural or historic resources during construction, the applicant shall immediately contact the State Historic Preservation Office and the Confederated Tribes of Coos, Lower Umpqua, and Siuslaw Indians. Construction shall cease immediately and shall not continue until permitted by either a SHPO or CTCLUSI representative.

**5. Parking and Loading**

5.1 In accordance with FCC 10-3-8-D, parking shall be located or screened so headlights do not shine onto adjacent residential uses. The proposed landscaping on the northern portion of the driveway is found to not provide adequate screening of headlights a revised landscaping plan shall be submitted the Community Development department for review within 30 days of notice or otherwise becoming aware of the screening deficiency.

5.2 In accordance with FCC 10-3-10, minimum dimension of a bicycle parking area shall be 2 x 6 per bicycle. The concrete slab shall meet the minimum dimension required to accommodate the 2 bike spaces required.

**6. Landscaping**

6.1 In accordance with FCC 10-34-3-4-A, all planting shall be of a minimum size included on the *Tree and Plant List for the City of Florence*.

6.2 In accordance with FCC 10-3-7-A, a vegetated ground cover shall be used in the proposed landscaping areas between the proposed shrubbery and the ROWs and the onsite driveway access.

6.3 In accordance with FCC 10-34-3-1, the landscaping shall increase at the same 29% proportional increase proposed with the Rolling Dues Park expansion; and in accordance with FCC 10-34-3-3-A an additional 28 shrubs are required, but 14 are proposed. This criterion shall be met within 1 year of this approval (June 11, 2025)

a. The Public Works Department shall submit a revised landscaping plan to the Community Development for review including all 28 required shrubs; or



- b. The Public Work Department shall submit documentation to the Community Development Department, in accordance with FCC 10-34-3-2, demonstrating that preservation credits have been satisfied and no further shrubs are required under FCC 10-34; or
- c. The Public Works Department shall submit a outstanding 14 shrubs shall be planted in the wetland or waterway present on the site to enhance the riparian area. These plantings shall be native vegetation that is typically found in the riparian area.

## **7. Access and Circulation Requirements**

- 7.1 In accordance with FCC 10-35-3-2 and FCC 10-35-3-3, continuous walkway systems shall be included onsite and provide access to the site and these walkway systems shall be in compliance with ADA standards. In conjunction with sidewalk installation on 35<sup>th</sup> Street and Siano Loop a pedestrian connection shall be install to provide safe pedestrian access onsite that is separated and protected from vehicles.
  - a. A pedestrian access or walkway shall be install from 35<sup>th</sup> St. in conjunction with installation of sidewalks that connects to on-site pedestrian walkways.
  - b. A pedestrian access or walkway shall be install from N. Siano Loop in conjunction with installation of sidewalks that connects to on-site pedestrian walkways.

## **8. Stormwater Utility**

- 8.1 In accordance with FCC 9-5, the proposed stormwater facilities shall be designed and installed in accordance with SW-160 design typical for vegetated filter strips and shall use plantings from Appendix G of the Stormwater Design Manual.
- 8.2 Prior to site disturbing activities the City Public Work Department shall submit a completed simplified approach form as included in the Storm Water Design Manual, Appendix A.

## **9. Open Space**

- 9.1 In accordance with FCC 10-22-4 and FCC 10-7-6, a phase I site investigation report shall be submitted to the Community Development Department and approval received prior to ground disturbing activities onsite due 100% of this site being composed of dune lands.
- 9.2 An additional wetland or waterway study shall be completed and reviewed by the Department of State Lands prior to site disturbing activities on site.
- 9.3 Approval of this conditional use permit and design review shall be contingent on the determination that Goal 17 resources are not present in the proposed development areas.

- 9.4** All required removal / fill permits required through the Department of State Lands shall be approved prior to work in the waterways or wetlands or within the required setback area.

**Informational**

1. In accordance with FCC 10-4-8 and FCC 10-6, this conditional use permit and design review shall be valid for 1 year (June 11, 2024). If substantial construction has not been completed or an extension request has not been submitted then the approval shall expire.p
2. In accordance with FCC 10-34-3-1 the on-site landscaping shall be brought up to current code in the same 29% proportional increase as the park expansion unless otherwise specified in this Resolution.
3. In accordance with FCC 10-34-3-3-A, living plant material shall cover a minimum 70% of the required landscaping area within 5 years of the new plantings associated with this Resolution.
4. All proposed ground cover used on site shall be in accordance with FCC 103-4- A and FCC 10-34-3-7-A.
5. In accordance with FCC 10-9-5-4, the proposed and existing stormwater facilities onsite are public facilities. Therefore, the maintenance responsibilities for these facilities shall be the ongoing responsibility of the City of Florence and/or the City of Florence’s Public Works Department.

**ADOPTED BY THE FLORENCE PLANNING COMMISSION/DESIGN REVIEW BOARD** the 11<sup>th</sup> day of June, 2024

\_\_\_\_\_  
SANDRA YOUNG, Chairperson  
Florence Planning Commission

\_\_\_\_\_  
DATE

**FINDINGS OF FACT  
FLORENCE PLANNING COMMISSION  
Exhibit "A"**

---

**Public Hearing Date:** June 11, 2024      **Planner:** Clare Kurth

**Application:** PC 24 15 CUP 10

**I. PROPOSAL DESCRIPTION**

**Proposal:** A Conditional Use Permit with Design Review for the expansion of the Rolling Dunes Park to add pickleball courts, improve ADA accessibility, replace the picnic shelters and restrooms, and other associated developments.

**Applicant:** Mike Miller, Public Works Director; on behalf of the City of Florence

**Property Owner:** City of Florence

**Location:** 35 St. at the NE corner of its intersection with Siano Loop

**Site:** Map # 18-12-22-00-00300

**Comprehensive Plan Map Designation:** Public Open Space

**Zone Map Classification:** Open Space (OS)

**Surrounding Land Use / Zoning:**

Site: Rolling Dunes Park / OS  
North: Single Unit Dwellings (SUD) / Residential Manufactured Home (RMH)  
South: SUDS / RMH  
East: SUDs / RMH  
West: SUDS / RMH

**Streets / Classification:**

N. Siano Loop / Local; South – 35<sup>th</sup> St. / Minor Arterial; North – None; East – Royal St George / Local (private)

**II. NARRATIVE:**

Rolling Dunes Park is a public park located at the northeast intersection of N. Siano Loop and 35<sup>th</sup> Street. The project proposes adding additional court space that will be 35 x 120 ft (4,200 sq. ft.) to add pickleball courts along with associated development including stormwater management facilities, fencing around the courts, replacing the restroom and picnic facility, and site improvements to add an ADA parking stall and walkway.

The existing park facilities include a 120 x 120 foot tennis court surrounded by a 10 foot chain link fence, covered picnic shelter, restroom facilities, parking, and a community garden. The existing parking lot on site includes 14 standard vehicle parking stalls. The site currently does not have an ADA parking stall or bicycle parking. Neither of these parking types were required when the

park was first developed. The proposed developments will bring the site into compliance with current parking requirements.

Rolling Dunes Park was platted as 'Lot C' of the Siuslaw Village Plat dated December 31, 1975 and is located on the north east corner of N. Siano Loop and 35<sup>th</sup> Street. This property is abutted by a single-unit detached dwelling to the north, a drainageway to the east, and residential uses adjacent to the east and south opposite the ROWs. N. Siano Loop is a 40 foot wide ROW and 35<sup>th</sup> Street is a 60 foot ROW. The ROW is significant as it relates to FCC 10-36 public facilities criteria and the drainageway is significant as it relates to buffering of adjacent uses.

A DSL report was submitted as part of the application that is dated November 18, 2021 and is included as Exhibit F. The DSL report is significant in that it identifies the possible presence of a waterway or wetland on the eastern portion of the project. The [Florence Area Local Wetlands and Riparian Inventory](#) and [Significant Riparian Reaches Map](#) identify significant riparian reach RRH-A what is part of the Rhododendron Drive Basin. This riparian reach is not an essential salmonoid habitat, but is identified as a Goal 5 and a Goal 17 resource, in part. Additional information may be required to determine the exact location of the riparian reach as it relates to the park improvements prior to start of construction or ground disturbing activities. This will be discussed in more detail under Section FCC 10-22.

This application requires a conditional use permit and a Type III Quasi-Judicial design review. The design review is required due to the new development of park facilities and the modification of a non-conforming use greater than 1,500 sq ft. A new CUP is required through a Type III Quasi-Judicial review based on this application proposing a CUP greater than 25%.

### III. NOTICES & REFERRALS:

**Notice:** On May 22, 2024, notice was mailed to surrounding property owners within 300 feet of the property and a sign posted on the property. Notice was published in the Siuslaw News on June 5, 2024.

At the time of this report, no public comments were received.

**Referrals:** Referrals were sent to Central Lincoln PUD, CTCLUSI, and Siuslaw Valley Fire and Rescue (SVFR) on June 5, 2024.

Agency referrals are used to determine the need for conditions of approval within their applicable review criteria.

Referral Comments Received:

SVFR [Exhibit J]: "Western Lane Fire and EMS Authority has no issues with the planned expansion as described at the Rolling Dunes Park."

### IV. APPLICABLE REVIEW CRITERIA

Criteria Applying to this Matter for the application include:

#### **Florence City Code, Title 10: Zoning Regulations**

Chapter 1: Zoning Administration, Section 1-6-3

Chapter 3: Off-Street Parking and Loading, Sections 2 through 5 and 10

Chapter 4: Conditional Uses, Sections 3 through 11

- Chapter 6: Design Review Sections 3 and 5-1
- Chapter 22: Open Space District, Sections 3 and 4
- Chapter 34: Landscaping, Section 2, 3-1-b, 3-3, 3-4, and 3-7
- Chapter 35: Access and Circulation, Sections 3 and 4
- Chapter 37: Lighting, Sections 2 through 4 and 5-N

**Title 9: Utilities**

Chapter 5: Stormwater Management Requirements, Sections 1 through 4

**V. FINDINGS**

Code criteria are listed in **bold**, with response beneath. Only applicable criteria have been listed.

---

**FLORENCE CITY CODE**

---



---

**TITLE 10: CHAPTER 1: ZONING ADMINISTRATION**

---

**10-1-1-6-3: TYPE III REVIEWS – QUASI-JUDICIAL LAND USE HEARINGS:**

- A. Hearings are required for Type III (quasi-judicial) land use matters requiring Planning Commission review. Type III applications include, but are not limited to:**
  - 2. Modification of greater than 1,500 square feet or greater than 25% of the building square footage, whichever is less.**
  - 6. Conditional Use Permits**

The proposed addition of the pickleball courts represents a modification of the site that is greater than 1,500 sq ft and therefore requires a Type III Quasi-Judicial Land Use Hearing. The project proposal also represents a modification to the existing conditional use permit that is more than a 25% expansion. Therefore, this project requires a new CUP that requires a Type III Quasi-Judicial Land Use Hearing. Both application requests are being consolidated and these criteria are being met through this review process.

**B. Notification of Hearing:**

- 1. At least twenty (20) days prior to a Type III (quasi-judicial) hearing, notice of hearing shall be posted on the subject property and shall be provided to the applicant and to all owners of record of property within 100 feet of the subject property, except in the case of hearings for Conditional Use Permits, Variance, Planned Unit Development and Zone Change, which notice shall be sent to all owners of record of property within 300 feet of the subject property.**

[...]

- 2. Prior to a Type III (quasi-judicial) hearing, notice shall be published one (1) time in a newspaper of general circulation. The newspaper’s affidavit of publication of the notice shall be made part of the administrative record.**

Notice of the application was mailed to property owners within 301' feet of the subject property and posted on the property on May 22, 2024, 20 days prior to the public hearing. A public hearing notice was published in the Siuslaw News on June 5, 2024. This criterion is met.

**C. Notice Mailed to Surrounding Property Owners - Information provided:**

**1. The notice shall:**

- a. Explain the nature of the application and the proposed use or uses which could be authorized;
- b. List the applicable criteria from the ordinance and the plan that apply to the application at issue;
- c. Set forth the street address or other easily understood geographical reference to the subject property;
- d. State the date, time and location of the hearing;
- e. State that failure of an issue to be raised in a hearing, in person or by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue precludes further appeal based on that issue;
- f. State that application and applicable criteria are available for inspection at no cost and will be provided at reasonable cost;
- g. State that a copy of the staff report will be available for inspection at no cost at least 7 days prior to the hearing and will be provided at reasonable cost;
- h. Include a general explanation of the requirements for submission of testimony and the procedure for conduct of hearings.
- i. Include the name of a local government representative to contact and the telephone number where additional information may be obtained.

The notice contained all the required information listed in FCC 10-1-1-6-3-C. These criteria have been met.

**D. Hearing Procedure: All Type III hearings shall conform to the procedures of Florence City Code Title 2, Chapters 3 and 10.**

**E. Action by the Planning Commission:**

1. At the public hearing, the Planning Commission shall receive all evidence deemed relevant to the issue. It shall then set forth in the record what it found to be the facts supported by reliable, probative and substantive evidence.
2. Conclusions drawn from the facts shall state whether the ordinance requirements were met, whether the Comprehensive Plan was complied with and whether the requirements of the State law were met.

3. In the case of a rezoning request, it shall additionally be shown that a public need exists; and that the need will be best served by changing the zoning of the parcel of land in question.
4. There is no duty upon the Planning Commission to elicit or require evidence. The burden to provide evidence to support the application is upon the applicant. If the Planning Commission determines there is not sufficient evidence supporting the major requirements, then the burden has not been met and approval shall be denied.

On June 11, 2024, the Planning Commission held a duly noticed public hearing per the procedures of FCC 2-3 and FCC 2-10 to consider the matter, evidence relevant to the issue, the facts within the record, and any applicable public testimony received.

- F. **Notice of Decision by the Planning Commission:** A notice of the action or decision of the Planning Commission, and right of appeal shall be given in writing to the applicant. Any party who testified either in writing or verbally at the hearing must provide a mailing address in order to be noticed. The notice may be served personally, or sent by mail. The notice shall be deemed served at the time it is deposited in the United States mail.

Following a decision by the Planning Commission, notice of the action and decision will be mailed to the applicant and any party who has testified either in writing or verbally at the public hearing.

---

**TITLE 10: CHAPTER 3: OFF-STREET PARKING AND LOADING**

---

**10-3-2: GENERAL PROVISIONS:**

- A. The provision for and maintenance of off-street parking and loading spaces are continuing obligations of the property owners. No building or other permit shall be issued until plans are presented that show property that is and will remain available for exclusive use as off-street parking and loading space.
- B. At the time of new construction or enlargement or change in use of an existing structure within any district in the City, off-street parking spaces shall be provided as outlined in this Chapter, unless requirements are otherwise established by special review or City Council action. Additional parking spaces shall meet current code.
- C. If parking space has been provided in connection with an existing use or is added to an existing use, the parking space shall not be eliminated if elimination would result in less space than is required by this Chapter.
- D. Required parking spaces shall be available for the parking of passenger automobiles of residents, customers, patrons and employees, and shall not be used for storage of materials of any type.
- E. Ingress and egress for parking and loading shall not endanger or impede the flow of traffic.
- F. The required off-street parking for nonresidential uses shall not be used for loading and unloading operations during regular business hours.

- G. **Parking and Loading standards that are listed under specific zoning districts supersede the general requirements of this chapter.**
- H. **Provisions of this Chapter shall not apply to any parking located in an organized parking district.**
- I. **The provisions of this Chapter shall be in addition to the provisions for parking design and construction in FCC Title 9 Chapter 5 and, where there are conflicts, Title 9 Chapter 5 shall prevail.**

**10-3-3: MINIMUM STANDARDS BY USE:** The number of required off-street vehicle parking spaces shall be determined in accordance with the standards in Table 10-3-1. Where a use is not specifically listed in this table, parking requirements are determined by finding that a use is similar to one of those listed in terms of parking needs, or by estimating parking needs individually using the demand analysis option described below:

**10-3-4: MINIMUM REQUIRED PARKING BY USE:** During the largest shift at peak season, fractional space requirements shall be counted as the next lower whole space (rounded down). Square footages will be taken from the gross floor area (measurements taken from exterior of building). Applicants may ask the Planning Commission for a reduction for parking spaces as part of their land use application. The applicant will have to provide the burden of evidence to justify the reduction proposed. The Planning Commission and/or staff may require the information be prepared by a registered traffic engineer. Table 10-3-1 lists the minimum parking spaces required by use, with a minimum no less than two (2) spaces for non-residential uses, plus additional space(s) as needed to meet the minimum accessible parking requirement.

**Table 10-3-1, Minimum Required Parking By Use:**

**B. Institutional and Public Assembly Types:**

<b>Parks and Open Space</b>	<b>Determined as Determined by the Planning Commission for active recreation areas</b>
-----------------------------	----------------------------------------------------------------------------------------

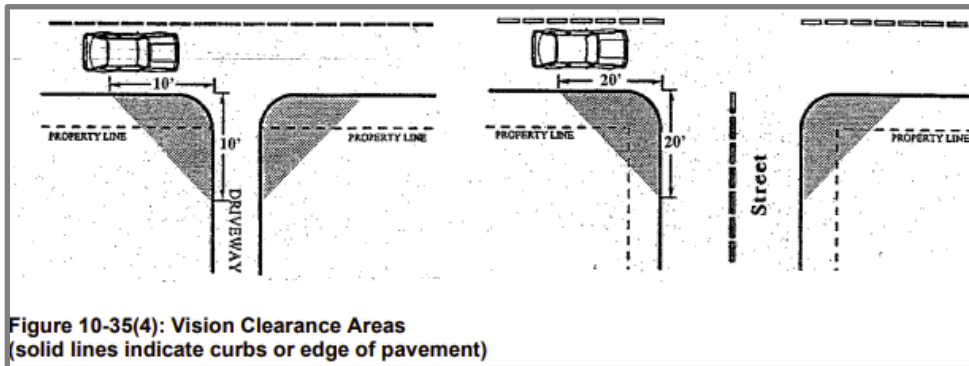
The existing site has 14 vehicle parking spaces on site with no new parking spaces proposed. All 14 sites are currently standard vehicle parking stalls. One space is proposed to be eliminated to provide ADA parking onsite which will result in a net 13 parking spaces.

There is limited additional space to increase available parking. As there is no specific minimum parking standard for Park and Open Space uses, and additional parking would result in decreased recreational area. The park is classified in the 2011 park plan as a Neighborhood park with a service area of ½ mile. For this reason and the discussion below the 13 provided parking spaces are determined to be adequate. In addition to the 13 parking spaces on site there is potential for on-street parking along the approximately 256 linear feet of street frontage along N. Siano Loop.

To the south of the driveway there is approximately 111' feet and approximately 92 feet of street frontage north of the driveway. In considering the required vision clearance in accordance with FCC 10-35-2-14 and as seen in Figure 10-35(4): Vision Clearance Areas there is a potential for 3 parking spaces between the driveway and 35<sup>th</sup> St (~71 feet) and 3 parking spaces between the driveway and the adjacent residential lot to the north (~72 feet). A parallel parking space is 22 feet in length minimum.



- South of the driveway:  $71 / 22 = 3.22$  parking spaces
- North of the driveway:  $72 / 22 = 3.27$  parking spaces



There is a potential for up to 6 on-street parking space on N. Siano Loop as it currently exists. However, this ROW is platted at 40 feet future realignment with an addition of bike lanes, sidewalks, or both may result in an elimination of on-street parking option due to the narrow ROW width.

Minimum parking requirements criteria are met.

**10-3-5: VEHICLE PARKING - MINIMUM ACCESSIBLE PARKING:**

- A. Accessible parking shall be provided for all uses in accordance the standards in Table 10-3-2; parking spaces used to meet the standards in Table 10-3-2 shall be counted toward meeting off-street parking requirements in Table 10-3-1;
- B. Such parking shall be located in close proximity to building entrances and shall be designed to permit occupants of vehicles to reach the entrance on an unobstructed path or walkway;
- C. Accessible spaces shall be grouped in pairs where possible;
- D. Where covered parking is provided, covered accessible spaces shall be provided in the same ratio as covered non-accessible spaces;
- E. Required accessible parking spaces shall be identified with signs and pavement markings identifying them as reserved for persons with disabilities; signs shall be posted directly in front of the parking space at a height of no less than 42 inches and no more than 72 inches above pavement level. Van spaces shall be specifically identified as such.

Table 10-3-2 - Minimum Number of Accessible Parking Spaces Source: ADA Standards for Accessible Design 4.1.2(5)			
Total Number of Parking Spaces Provided (per lot)	Total Minimum Number of Accessible Parking Spaces (with 60" access aisle, or 96" aisle for vans*)	Van Accessible Parking Spaces with min. 96" wide access aisle	Accessible Parking Spaces with min. 60" wide access aisle
	<i>Column A</i>		
1 to 25	1	1	0
*vans and cars may share access aisles **one out of every 8 accessible spaces ***7 out of every 8 accessible parking spaces			

As previously stated, there is currently no ADA parking stall available onsite. This application proposes installing one ADA parking space on site and associated ADA walkway to provide access to park facilities. This will bring the site into compliance with minimum ADA parking requirements. This criterion is met.

**10-3-8: PARKING AREA IMPROVEMENT STANDARDS:** All public or private parking areas, loading areas and outdoor vehicle sales areas shall be improved according to the following: All required parking areas shall have a durable, dust free surfacing of asphaltic concrete, cement concrete, porous concrete, porous asphalt, permeable pavers such as turf, concrete, brick pavers or other materials approved by the City. Driveways aprons shall be paved for the first fifty feet (50') from the street.

[...]

- D. Parking spaces shall be located or screened so that headlights do not shine onto adjacent residential uses.

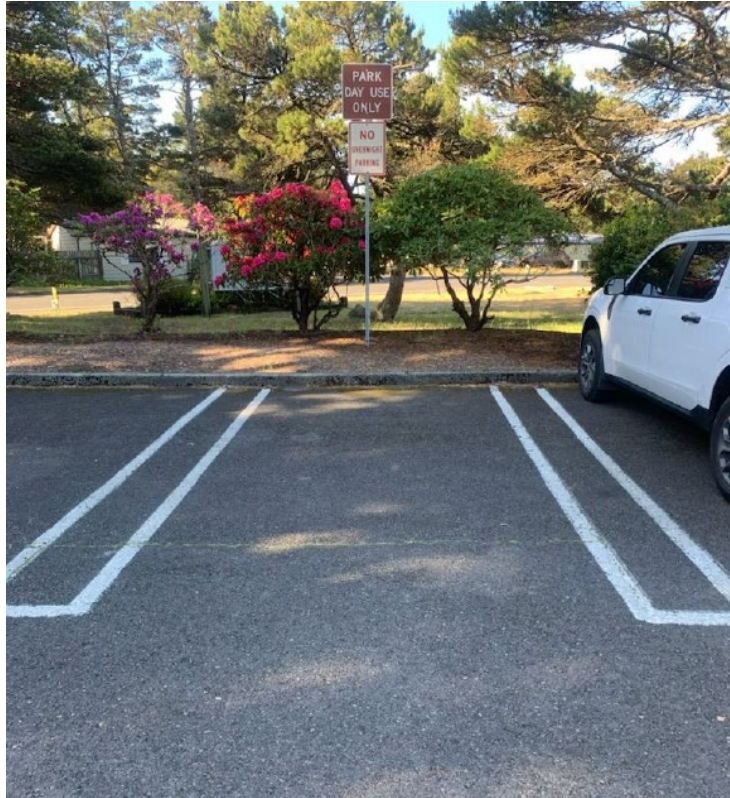
The parking spaces are largely screened so that headlights do not shine onto adjacent residential uses. The northern portion of the driveway is the exception to this, where there is limited vegetation present to screen headlights from shining onto the residential uses on the west side of N. Siano Loop. The application proposes installing 7 shrubs in this area that include dwarf rhododendron varieties, barberry, and blueberry plants. The rhododendrons proposed are evergreen and are anticipated to provide adequate screening for this portion of the parking lot. The barberry and blueberry proposed are not evergreen. The use of the evergreen shrubs rather than the barberry and blueberry plantings are encouraged at the area of the northern driveway for improved headlight screening.

If the proposed plantings are found to not provide sufficient screening of headlights the Public Works Department shall revise the landscaping plan and submit for Community Development review within 30 days of becoming aware of the screening deficiency or notice being made from the Community Development Department (**Condition 5.1**). This criterion is met or is conditioned to be met.

**10-3-9: PARKING STALL DESIGN AND MINIMUM DIMENSIONS: All off-street parking spaces (except those provided for a single-family; duet, duplex dwelling; or tri-plex, quad-plex, or cluster housing development that provides off-street parking through a carport or garage) shall be improved to conform to City standards for surfacing, stormwater management, and striping and where provisions conflict, the provisions of FCC Title 9 Chapter 5 shall prevail. Standard parking spaces shall conform to minimum dimensions specified in the following standards and Figures 10-3(1) and Table 10-3-3:**

- A. Motor vehicle parking spaces shall measure nine (9) feet and six (6) inches wide by nineteen (19) feet long.**
- B. Each space shall have double line striping with two feet (2') wide on center.**
- C. The width of any striping line used in an approved parking area shall be a minimum of 4" wide.**
- D. All parallel motor vehicle parking spaces shall measure eight (8) feet six (6) inches by twenty-two (22) feet;**
- E. Parking area layout shall conform to the dimensions in Figure 10-3(1), and Table 10-3-3, below;**
- F. Parking areas shall conform to Americans With Disabilities Act (ADA) standards for parking spaces (dimensions, van accessible parking spaces, etc.). Parking structure vertical clearance, van accessible parking spaces, should refer to Federal ADA guidelines.**

The parking stalls (as illustrated below) are pre-existing non-conforming. Existing parking on site is 10 feet wide with 2' wide double 4 inch wide striping. The stall are 18 feet in length versus the current minimum requirement of 19 feet. As these spaces are pre-existing and the parking surface is in serviceable condition this is deemed acceptable. The one ADA stall to be installed on site is proposed to meet minimum ADA requirements for dimensions. These criteria are met.



**10-3-10: BICYCLE PARKING REQUIREMENTS:** All new development that is subject to Site Design Review, shall provide bicycle parking, in conformance with the standards and subsections A-H, below.

[...]

**B. Minimum Required Bicycle Parking Spaces.** Short term bicycle parking spaces shall be provided for all non-residential uses at a ratio of one bicycle space for every ten vehicle parking spaces. In calculating the number of required spaces, fractions shall be rounded up to the nearest whole number, with a minimum of two spaces.

The project proposal includes a plan to install an ‘wave’ type bike rack that will accommodate 2 bicycles and be located on a concrete slab adjacent to the pathway to the tennis courts. Minimum bike parking dimensions are 2’ x 6’ per bike. The bicycle parking area shall meet minimum dimensions in accordance with this Code section (**Condition 5.2**). The remainder of the short-term bicycle parking requirements have been met as stated in the Project Proposal under the section heading Onsite Parking and Loading [Exhibit C]. This criterion is met or is conditioned to be met.

---

#### **TITLE 10: CHAPTER 4: CONDITIONAL USE PERMITS**

---

**10-4-3: USE PERMIT PREREQUISITE TO CONSTRUCTION:** When a conditional use permit is required by the terms of this Title, no building permit shall be issued until the conditional use permit has been granted by the Planning Commission, and then only in accordance with the terms and conditions of the conditional use permit. Conditional use permits may be temporary or permanent.

**10-4-4: APPLICATIONS:** The application for a conditional use permit shall be made in writing to the Planning Commission by the owner of the land in consideration or his agent, duly authorized in writing. The application shall include the following information:

- A. Site and building plans and elevations.
- B. Existing conditions on the site and within three hundred feet (300') of a site that is one (1) acre or larger and within one hundred feet (100') from a site that is less than one (1) acres in size.
- C. Existing and proposed utility lines and easements.
- D. Operational data explaining how the buildings and uses will function.
- E. Any other pertinent information requested by the Planning Commission such as architectural renderings of the buildings and structures involved in the proposed development.
- F. Other information and format as required by FCC 10-1-1-4.

The application included all information required in accordance with this Code section. This criterion is met.

**10-4-5: PUBLIC HEARING AND NOTICE:** The Planning Commission shall hold at least one public hearing on each conditional use permit application.

The Planning Commission held a public hearing on Conditional Use Permit PC 24 15 CUP 10 on June 11, 2024. This criterion is met.

**10-4-6: ACTION:** The Planning Commission shall make specific findings for granting or denying a conditional use permit in accordance with the general criteria and/or conditions of Section 10-4-9 of this Title.

This criterion is being met through this review process. This criterion is met.

**10-4-7: EFFECTIVE DATE:** A conditional use permit shall become effective at the close of the appeal period.

**10-4-8: EXPIRATION OF CONDITIONAL USE PERMIT:**

- A. Authorization of a conditional use permit shall be void one (1) year after the date of approval of a conditional use application, unless a building permit has been issued and substantial construction pursuant thereto has taken place. Substantial construction shall be considered to be completion of a building foundation. The applicant may apply to the Planning Commission for a one-time extension of one (1) year maximum duration based on compliance with the following criteria:
  - 1. The request for an extension is made in writing prior to expiration of the original approval.
  - 2. There are special or unusual circumstances that exist which warrant an extension.

**3. No material changes of surrounding land uses or zoning has occurred.**

The Planning Commission may deny the request for an extension of a conditional use if new land use regulations have been adopted that affect the applicant's proposal. (Ord. 26, 2008)

**B. The discontinuance of a conditional use for twelve (12) consecutive months shall constitute expiration of that conditional use. The use occupying the premises thereafter shall conform to the regulations of the zoning district in which it is located.**

This Code section has been included as a reference for the timeline of the CUP effective date and expiration.

[...]

**10-4-10: GENERAL CRITERIA: A conditional use permit may be granted only if the proposal conforms to all the following general criteria: (Ord. 669, 5-17-82)**

**A. Conformity with the Florence Comprehensive Plan.**

Chapter 8; Parks, Recreation and OpenSpace of the 2020 [Florence Realization Comprehensive Plan](#) includes the goal to "provide a well-functioning and well-maintained park and recreation system that enhances quality of life by offering a diversity of recreational opportunities for people of all ages and needs." This chapter lists 11 objectives, 19 policies related to Parks & Recreation and Open Space. Below is a list of items that relate directly to this proposal organized by objectives first and policies second.

Objectives:

2. *To improve human health and well-being by providing opportunities for people to exercise and interact.*
3. *To ensure existing parks and refurbished with grounds and facilities that are accessible and available for use by Florence residents and visitors.*
6. *To improve, and create new, opportunities for popular and upcoming league sports.*
8. *To make public open spaces accessible to community residents and visitors.*

Policies:

4. *The City shall ensure that the public's park system is accessible to all residents and visitors.*
6. *As resources permit, the City shall repair, expand and renovate park facilities to bring existing parks up to the level of community expectations.*
7. *Where resources permit, the City shall enhance the landscaping of all City-owned parks and recreation sites, install community gardens, and partner with other public and private entities because these actions will improve public health and nutrition,*



*and restore wildlife habitat, in addition to improving the human recreational experience.*

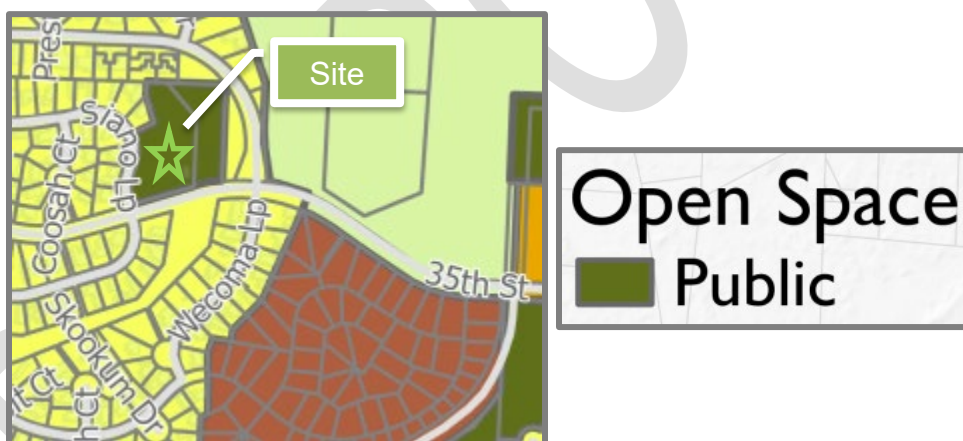
The project proposal is in conformance with the Florence Comprehensive plan through the addition of the pickleball courts and improving access to league sports, increasing accessibility through the addition of the ADA space and the bicycle parking, and improving the park facilities through replacement of the restrooms and picnic shelter. This criterion is met.

**B. Compliance with special conditions established by the Planning Commission to carry out the purpose of this Chapter.**

No special conditions have been established by the Planning Commission.

**C. Findings that adequate land is available for uses which are permitted outright in the district where the conditional use is proposed. Available land can be either vacant land or land which could be converted from another use within the applicable zoning district. Land needs for permitted uses may be determined through projections contained in the Florence Comprehensive Plan or other special studies.**

The subject site is zoned as Open Space on the 2020 Florence Realization Comprehensive Plan Map, as well as the City of Florence Zoning Map. The subject site has an existing CUP for a high intensity recreation facility. This project proposal does not represent development of vacant land that could have been used for a use permitted outright, but rather the expansion of an existing CUP. This criterion is met.



**D. Conditional uses are subject to design review under the provisions of Chapter 6 of this Title, except single family and duplex residential use. (Ord. 625, 6-30-80) See Code Section 10-6-3 for Design Review requirements.**

Design review is being completed as part of this design review. This criterion is met.

**E. Adequacy of public facilities, public services and utilities to service the proposed development.**

Utilities exist on site. This proposal does not represent an increased demand on utilities. Therefore, existing site utilities are anticipated to be adequate. This criterion is met.

**F. Adequacy of vehicle and pedestrian access to the site, including access by fire, police and other vehicles necessary to protect public health and safety. (Ord. 669, 5-17-82).**

**10-4-11: GENERAL CONDITIONS:** The Planning Commission may require any of the following conditions it deems necessary to secure the purpose of this Chapter. Where a proposed conditional use is permitted in another district, the Planning Commission may apply the relevant development standards from the other district. In addition, conditions may be required by the Planning Commission. Such conditions may include:

- A. Regulation of uses, special yard setbacks, coverage and height.**
- B. Requiring fences, walls, screens and landscaping plus their maintenance.**
- C. Regulation and control of points of vehicular ingress and egress.**

Vehicular points of egress and ingress have previously been established for this site. No changes or modifications are proposed or warranted as a result of this application review process.

- D. Regulation of noise, vibration, odors, and sightliness.**

Noise, vibrations, and odor associated with normal construction is anticipated during the construction phase of this project.

Upon completion of the park facility expansion noise, vibrations are anticipated to be similar to current conditions and in consistency with the proposed recreational facility use. Odors and sightliness are not anticipated to be an issue provided the continued and ongoing maintenance of the Rolling Dunes Park facility.

- E. Requiring surfacing of parking areas.**

No resurfacing of parking areas is being required in association with this application, with the exception of the ADA parking stall. The existing surfacing on the site parking is in serviceable condition. This criterion is met.

- F. Requiring rehabilitation plans.**

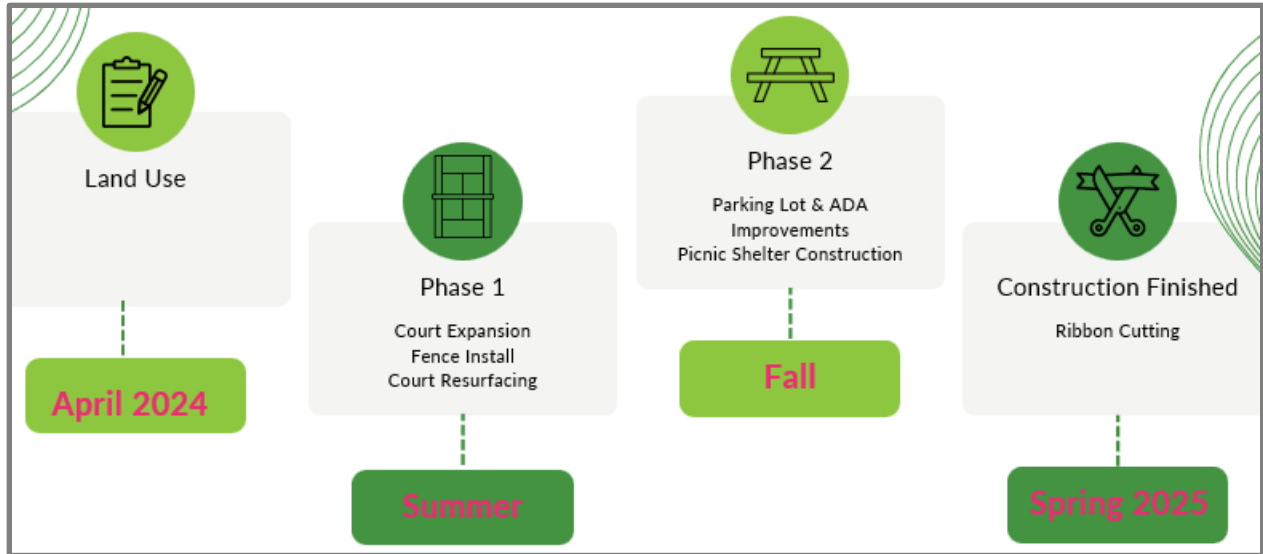
- G. Regulation of hours of operation and duration of use or operation.**

Rolling Dunes Park is a day use only facility. The existing hours of operation shall remain unchanged. The operation of use will expand with the addition of the pickleball courts, but will largely remain unchanged from the existing use as a high intensity recreation facility with court sports.

- H. Requiring a time period within which the proposed use shall be developed.**

The applicant has included a proposed time line for each development phase of the project with construction proposed to be finished and ribbon cutting expected Spring 2025 [Exhibit E].





**I. Requiring bonds to insure performance of special conditions.**

Bonds are not being requested and are not necessary in association with this application proposal. The funds for the on-site park expansion are being funded through grant dollars.

The future off-site, street frontage and sidewalk improvements will be discussed in more detail under Section FCC 10-36.

**J. Regulation of tree and vegetation removal to maintain soil stability, preserve natural habitat, protect riparian vegetation, buffer conflicting uses, and maintain scenic qualities.**

The only vegetation proposed for removal in association with this project is in the location of the pickleball courts. The subject site includes dune lands on 100% of the site. Prior to ground disturbing activities and SIR shall be completed to ensure soil stability. The SIR has previously been conditioned. Vegetation has been proposed surrounding the courts as part of the stormwater management plan using vegetated filter strips. This criterion is met or is conditioned to be met.

**K. Such other conditions as will make possible the development of the City in an orderly and efficient manner and in conformity with the intent and purpose of the Florence Comprehensive Plan.**

No other conditions were deemed necessary to ensure development of the City in an orderly and efficient manner.

---

**TITLE 10: CHAPTER 6: DESIGN REVIEW**

---

**10-6-3: GENERAL APPLICABILITY:**

**A. Planning Commission/ shall:**

- 1. Unless otherwise directed by the underlying zoning district, or subsection (B) below, review the following through a Type III process consistent with FCC 10-1-1-6-3 prior to issuance of a building permit:**

- a. **New construction,**
  - b. **Alterations to the exterior of non-residential structures or additions involving twentyfive percent (25%) or more of the floor area of a building; and**
  - c. **Changes of use from less intensive to greater intensive use not eligible for Type I or Type II review (see FCC 10-1-1-6-1 and 10-1-1-6-2).**
2. **Determine whether the proposed development is appropriate to the character of the neighborhood, according to the general criteria listed in Sections 10-6-5-1 and, when applicable, 10-6-6 or 10-6-7;**
  3. **Have authority to require changes in the planned appearances of proposed buildings, structures, and alterations in accordance with Section 10-6-1; and,**
  4. **The Planning Commission or their designee shall review any proposed external alteration, demolition, or change of use for any building shown on the historic resources map of the Comprehensive Plan. The Commission may delay action on such a permit for a period of ninety (90) days to explore with the owner options for rehabilitation and preservation of the structure.**

The proposed addition of the pickleball court, new restroom facilities, and new picnic shelters represents new construction and therefore requires Planning Commission Approval. These criteria are being met through this review process.

[...]

- C. **The requirements of individual zoning districts shall prevail where the applicability of this chapter and individual zoning districts conflict.**

**10-6-5: GENERAL APPROVAL CRITERIA:**

**10-6-5-1: GENERAL CRITERIA FOR NONRESIDENTIAL DEVELOPMENT:** Nonresidential projects shall meet the following criteria. The Planning Commission or Planning Commission or their designee may require any of the following conditions it deems necessary to secure the purpose and intent of this Chapter. The Commission or their designee shall consider the following criteria reviewing applications and may set conditions or standards which regulate and limit the following:

- A. **Setbacks, yards, height, density and similar design features according to the underlying zoning district.**

The proposed restroom and picnic shelter facility are proposed to be placed in the existing location approximately 29 feet from the east property line and approximately 26 feet from the south property line. The pickleball court and fence addition are proposed on the east property line. No minimum setback is listed in FCC 10-22 regulating the Open Space District. Minimum setbacks are met.

As part of the project proposal the existing fence chain link fence height of 10 feet is proposed to expand from the existing tennis courts to the pickleball courts. This is a height exceeding the maximum height allowance of 8 feet as permitted in commercial and industrial zones or 6 feet

maximum allowed in residential zones. Open Space District, as regulated by FCC 10-22 does not have a maximum height limited specifically stated. The Proposed expansion of the 10 foot high chain link fence represents 29% expansion and requires a new CUP for approval that is being requested through this review process. Additionally, a 10-foot fence height is considered standard for pickleball, according to the article *Building a Pickleball Court* (Gilman, July 11, 2023) on the [Professional Pickleball Association](https://www.ppatour.com/building-a-pickleball-court/) website (<https://www.ppatour.com/building-a-pickleball-court/>).

The approval for the 10 foot fence height shall be valid for 1 year (June 11, 2024) and shall expire after that time if substantial progress has not taken place or a written extension has not been filed in accordance with FCC 10-6-11 and FCC 10-4-8 (**Informational 1**).

Review of density is not applicable to this application. These criteria are met or are conditioned to be met.

**B. Lot area, dimensions and percentage of coverage according to the underlying zoning district.**

The Open Space District underlying zone, as regulated by FCC 10-22, does not specify required lot dimensions or maximum percentage of coverage. The proposed 35 x 120 sq foot pickleball court addition equals 4,200 sq. ft or approximately 6% of the total site.

**C. Installation and maintenance of fences, walls, hedges, screens and landscaping according to standards set forth in FCC 10-34 Landscaping, and any requirements of the underlying zoning district.**

Landscaping and screening will be discussed in more detail under section FCC 10-34 and was previously discussed under section FCC 10-3.

**D. The location and design of access and egress points for vehicles and pedestrians, including access points along State highways according to standards set forth in FCC 10-35 Access and Circulation, and any requirements of the underlying zoning district.**

There are no proposed changes to vehicular access and egress points on the subject site. Pedestrian access and egress points will be discussed in more detail under FCC 10-35.

**E. Noise, vibration, smoke, dust, odor, light intensity and electrical interference's.**

No vibration, smoke, dust, odor, light, or electrical interference has been proposed other than what is normal from construction (during the construction phase) and considered normal for the approved use as a public park facility.

**F. Parking and outside display areas, dimensions, surfacing and on-site traffic circulation according to standards set forth in FCC 10-3 Parking and Loading.**

No outside display areas are proposed. Parking lot surfacing and dimensioning have been discussed under sections FCC 10-3 and FCC 10-4.

**G. Architectural quality and aesthetic appearance, including compatibility with adjacent buildings.**

The existing restrooms and picnic shelter are proposed to be removed and replaced with new structures that will be ADA accessible. The replacement of these structures is proposed to preserve the existing Native American carvings / illustration and incorporate them into the final product.

***Existing Restroom & Picnic Facility***



The restroom facility is proposed to be masonry blocks with wood framing at the entrance and a green metal roof. The picnic shelter is proposed to be a wooden structure that is natural wood color with a metal roof. Both of these structures propose to use colors and materials that are in keeping with muted Pacific northwest coastal color palette that will have architectural quality and aesthetic appearance compatible with the adjacent buildings of both Siuslaw Village and Florence Golf Links. This criterion is met.



***Proposed Restroom Facility***



***Proposed Picnic Shelter***



**H. Color, building materials and exterior appearance in accordance with the policies established by the City in the Downtown Implementation Plan, and in applicable zoning districts.**

This project is located outside the Downtown Implementation Plan Areas. This criterion is not applicable.

**I. Exterior lighting and security.**

The Site does not currently have exterior lighting and none is proposed. This is a day use only dawn to dusk facility. No changes are proposed in hours of operation and no changes in proposed lighting on site are proposed.

**J. Public health, safety and general welfare.**

This project proposal has considered public health safety, and general welfare. The Comprehensive Plans Objectives and Policies related to public health have previously been discussed under section FCC 10-4 as the relate to Comprehensive Plan Chapter 8 related to open spaces, parks, and recreation. Increased recreation facilities have the potential to contribute to both physical and mental health of the facility users.

The open shelter facility versus the existing closed facility improves surveillance of activities within the park. The improved surveillance opportunities on the site have the potential to improve overall site safety.

The Siuslaw Valley Fire and Rescue Chief reports no issues or concerns for the project proposal [Exhibit J].

Public health, safety and general welfare have been considered with this project. This criterion is met.

[...]

**L. Requiring a time period within which the proposed use or portions thereof shall be developed.**

The project proposal included a proposed time line with the development to be completed Spring of 2025. This time line is determined to be adequate.

**M. Requiring bonds to insure performance of special conditions. (Ord. 625, 6-30-80)**

Bonds were previously discussed under section FCC 10-4.

**N. Such other conditions as are necessary to implement policies contained in the Florence Comprehensive Plan. (Ord. 680, 1- 11-83)**

Conditions related to the Florence Comprehensive Plan are discussed later in this report.

---

**TITLE 22: CHAPTER 8: OPEN SPACE DISTRICT**

---

**10-22-3: BUILDINGS AND USES PERMITTED CONDITIONALLY:** The Planning Commission, subject to the procedures and conditions set forth in Chapters 1 and 4 of this Title, may grant a conditional use permit for the following:

Parks with intensely developed facilities.

[...]

FCC 10-2-13 define high-intensity recreation as those with “specially built facilities or occurs in such density or form that it requires or results in modification of the area or resources.” The existing tennis courts and proposed pickleball courts are classified as high-intensity recreation and therefore, are conditionally permitted in the OS zoning district.

**10-22-4: CONDITIONAL USE APPROVAL CRITERIA AND CONDITIONS:** The Planning Commission shall require that the following approval criteria and conditions of approval be met:

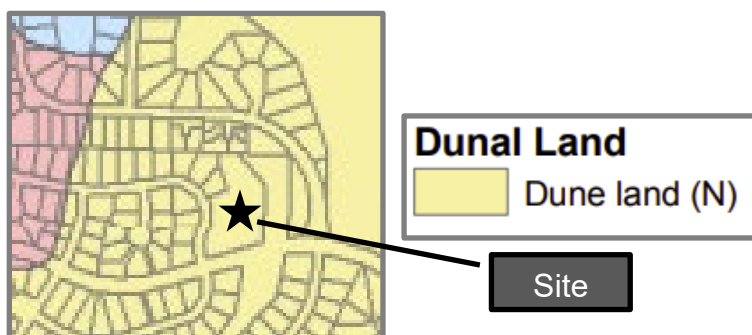
**A. Approval Criteria:**

1. The proposed use is consistent with the preservation of managed use of the open space resource identified, if any, on the subject property in the Comprehensive Plan.
2. Where the subject property is designated for urban development in the Comprehensive Plan, the proposed use must clearly be interim in nature or consistent with the ultimate planned use.
3. A site investigation report may be required to determine the extent and location of the resource.
4. An impact assessment may be required for wind, solar or wave power generating facilities.

**B. Conditions of Approval:**

1. Conditions may be imposed to implement the recommendations and findings of a site investigation report.

100% of the project site includes dunes land. This soil type is considered to be suitable for development, but a site investigation report is required to insure adequate stabilization according to *Map C, Appendix 7 of the Florence Realization 2020 Comprehensive Plan* [Natural Resources Conservation Map](#). In accordance with this recommendation a phase I site investigation report with an erosion plan shall be submitted prior to ground disturbing activities on site. (Condition 9.1)



**2. Design review may be required.**

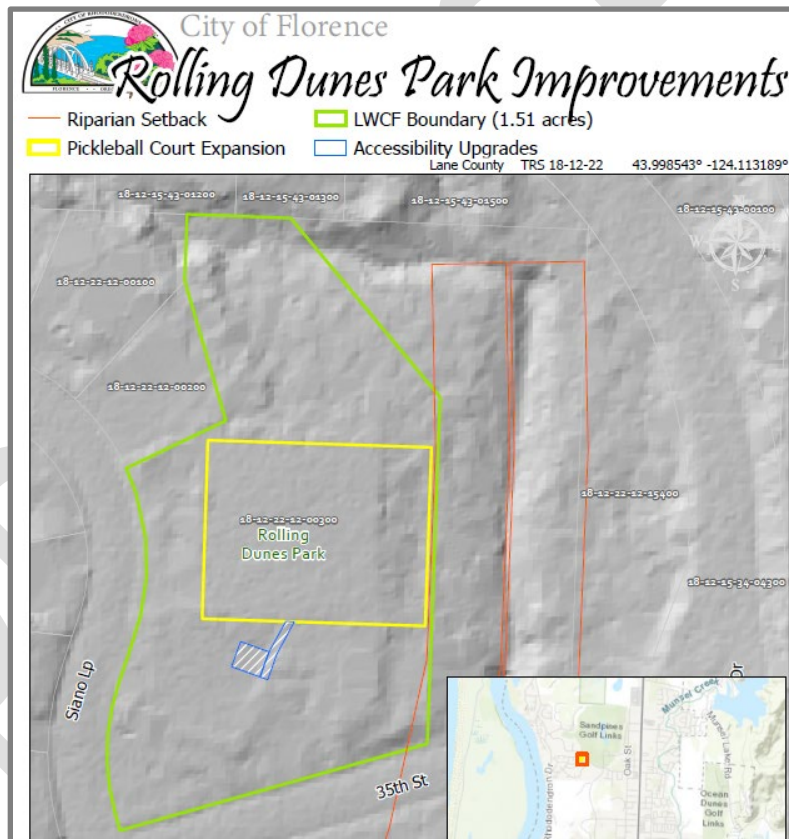
Design review was previously discussed under Section FCC 10-6

**3. General conditions listed in Chapter 4 of this Title may be applied.**

General conditions listed in Chapter 4 of this Title were previously discussed under Section FCC 10-4

**4. Conditions may be imposed to implement the recommendations and findings of an impact assessment. (Ord. 625, 6-30-80).**

Exhibit D (pages 2 & 3 of 7) includes a representation of the riparian area and the required 50 foot setback. As seen in the images included, the riparian area setback western edge is just outside of the pickleball courts eastern edge. The following image is from page 2 of 7 included in Exhibit B and illustrates the riparian area setback, tennis and pickleball courts, site boundaries, and accessibility upgrades.

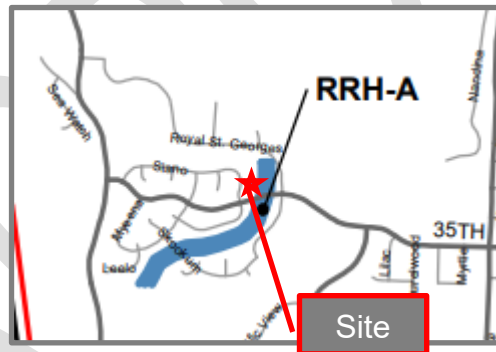


According to the [Significant Riparian Reaches](#) Map, significant riparian reach RRH-A is located in the drainageway on the abutting property to the east of the proposed pickleball court location. The RRH-A riparian area reach is identified on Table 10 of the [Florence Area Local Wetlands & Riparian Inventory](#) (pg. 34) as a Goal 5 Significant Riparian Area regulated in Title 10 Chapter 7 which requires a 50 foot setback. Significant riparian reach RRH-A is also identified as a Goal 17 resource in part and a Goal 5 resource as regulated by FCC 10-7-4 which regulates special development standards for wetlands and riparian areas and Comprehensive Plan, Chapter 17 (pg. 209-230 of 240) which covers goals, policies, and objectives related to coastal shorelands.



**Table 10. Significant Florence Riparian Corridors, Widths, and Functional Assessment**

Basin and Reach <sup>1</sup>	Riparian Width, <sup>2</sup> ft	Functional Assessment				Goal 5 Significant?	Notes		
		Water Quality	Flood Mgmt	Thermal Regulation	Wildlife Habitat		Goal 17?	Outside UGB?	In City Limits?
<b>Munsel Creek Basin</b>									
RMC-A	50/50-G17	H <sup>3</sup>	H	M	H	--	Goal 17		Yes
RMC-B	50/50-SH	H	M	H	H	Yes			Yes
RMC-C	50/50-SH <sup>4</sup>	H	H	H	H	Yes			Yes
RMC-Cs	50/50-SH	H	M	H	M	Yes			Yes
RMC-D	50/50-SH	H	M	H	H	Yes			Yes, in part
RMC-D1	50/50-PTH	H	M	M	M	--		Outside	
RMC-EI	120-PTH	H	M	M	H	--	Goal 17		No
RMC-Er	15 - PTH	M	M	L	M	--		Outside	
RMC-FI	50 - Topo	H	M	M	M	--		Outside	
RMC-Fr	120-PTH	H	M	M	H	--		Outside	
<b>Airport Basin</b>									
RAIR-A	20/20 Topo	M	M	L	L	No			Yes
RAIR-B	65/65-PTH	H	M	H	H	Yes	Goal 17, in part		Yes
RAIR-C	30/30 Topo	M	M	M	M	No			Yes
<b>Rhododendron Drive Basin</b>									
RRH-A	50/50-PTH	M	M	H	M	Yes	Goal 17, in part		Yes

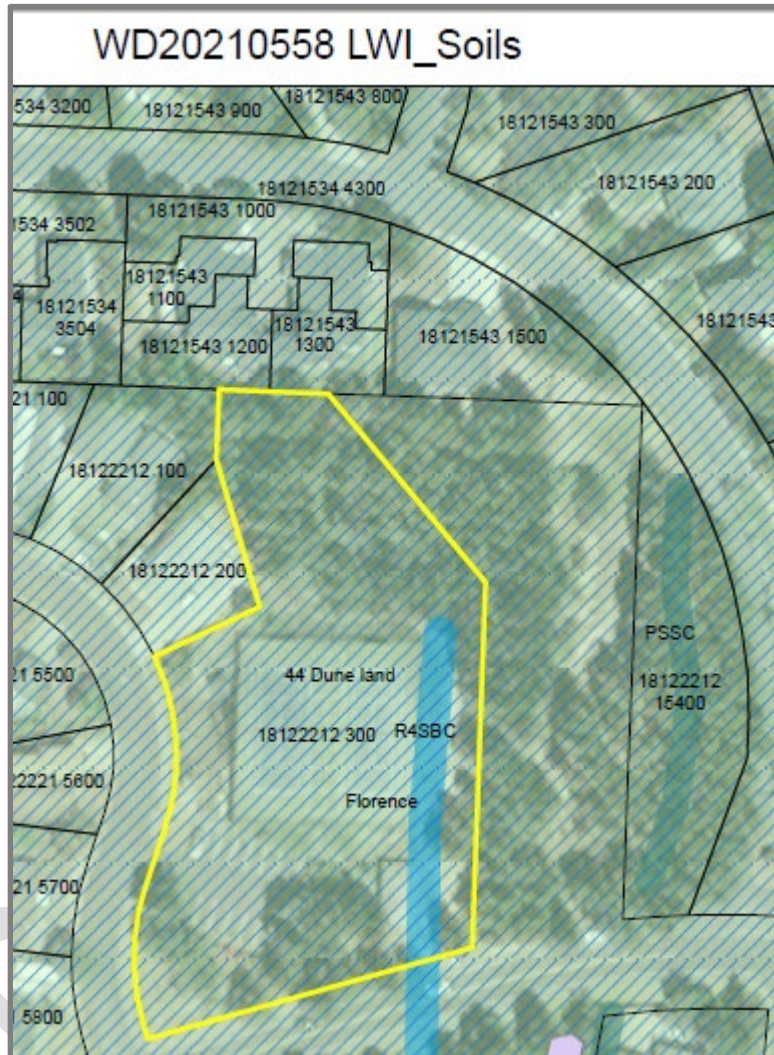


The Wetland Determination Report WD #2021-0558 states that a wetland or waterway is present on the Rolling Dunes Park property and is subject to the requirement of a removal / fill permit if more than 50 cubic yards of ground alteration take place in the wetland or waterway [Exhibit F]. The Department of State Lands (DSL) report provided includes a map that identifies the wetland or waterway on the site as a blue line identified as R4SBC. The following comments regarding the preliminary and advisory determination are provided on the report: *“Based on review of available information and site plan submitted, proposed park expansion appears to avoid impacts to jurisdictional wetlands or other waterways.”*

The Wetlands and Deepwater Habitats Classification [Exhibit I], the classification identifies this area as a riverine system, with an intermittent subsystem, streambed class, and a nontidal modifier of seasonally flooded.

The wetland or waterway identified on tax lot 15400 and represented by a blue-green line is identified as PSSC which identifies this feature as a palustrine system, with a scrub-shrub class and a non-tidal modifier as seasonally flooded. The distance between the eastern yellow border

of the Rolling Dunes lot and tax lot 15400 that the PSSC wetland or waterway is on is approximately 94 feet. Therefore, the minimum setback to the pickleball court addition will be met from this geographical feature.



Based on the information available in the 2020 Florence Realization Comprehensive Plan, Florence Area Local Wetlands & Riparian Area Inventory, and the DSL report provided if the waterway or wetland located on the site is the RRRH-A riparian reach identified as a Goal 17 resource (in part) or if it is the waterway or wetland located on Tax Lot 15400. Additional investigation is required to make this determination and shall be completed prior to ground disturbing activities and any approval provided through this conditional use permit and design review is contingent on determination of whether a Goal 17 resource is present on the site (**Condition 9.2 & 9.3**).

Provided that no Goal 17 resources are present on site that would present the addition of the pickleball courts or the restroom and picnic facility replacement, all require removal / fill permits from DSL shall be approved prior to work in the waterways or wetlands and the required setbacks (**Condition 9.4**). This criterion is conditioned to be met.

---

**TITLE 10: CHAPTER 34: LANDSCAPING**

---

**10-34-2: LANDSCAPE CONSERVATION**

**10-34-2-1: Applicability.** Except for single unit homes and duplexes the provisions of this Section are applicable to all development sites which contain stands of Native Vegetation or specific Significant Vegetation, as defined below. “Development sites” do not include any street, alley, or public right-of-way.

**10-34-2-2: Native Vegetation.** “Native vegetation” means those plant species native to the Florence region that are listed as native on the suggested Tree and Plant List for the City of Florence, such as Shore Pine, Fir, Hemlock, Spruce, Native Rhododendron, Wax Myrtle, Kinnikinnick, Huckleberry and Salal. Preservation of existing native vegetation is strongly encouraged and preferred over removal of vegetation and re-planting. Existing native vegetation may be credited toward the landscape requirements of Section 10-34-3-3 if it is preserved in accordance with the following standards:

- A. Living plant material covers a minimum of 70 percent of the area proposed for preservation;
- B. Preservation area(s) are a minimum of 30 square feet for any one area with dimensions a minimum of 5 feet on any side to ensure adequate space for healthy plant growth;
- C. Preservation area(s) are setback from new construction areas a minimum of 10 feet from new structures, and a minimum of 5 feet from new hard-surface areas (e.g. parking lot, walkways), and replanted with native vegetation if damaged during construction;
- D. The preservation area is clearly marked and identified for protection on the landscaping plan as well as on-site (e.g. construction fencing) prior to site disturbance.
- E. Existing noxious weeds<sup>1</sup> within the preservation area are removed prior to approval of the installed landscaping; and
- F. Preservation areas with grade changes around the perimeter are addressed with appropriate transition or stabilization measures (e.g. retaining wall) to avoid erosion.

**10-34-2-3: Significant Vegetation.** “Significant vegetation” means:

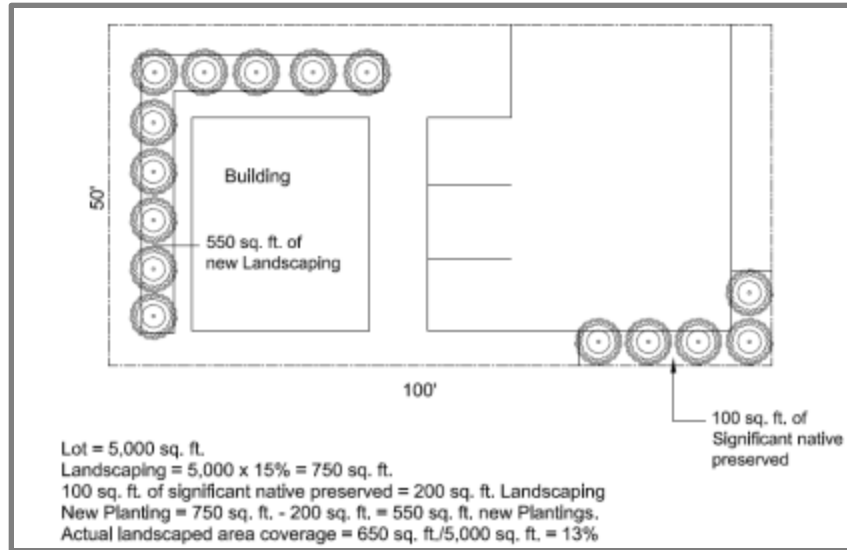
- A. Native vegetation, or
- B. Plants within designated sensitive land areas such as wetlands, riparian areas, and slopes steeper than 40%, or
- C. Trees having a DBH of four (4) inches or larger measured 4½ feet above ground.

**10-34-2-4: Preservation Credit.** The City may grant a “Preservation Credit” if existing significant vegetation on the site is preserved, in the form of a reduction of the overall

landscape area and planting requirements of Sections 10-34-3-3. The City may authorize credits which effectively reduce the required landscaping if the following standards are met:

- A. Significant vegetation species and areas to be preserved shall be mapped and flagged in support of the site development application. Significant trees shall be mapped individually and identified by species and diameter. Wetland resources shall have a current delineation approved by the Department of State Lands. Appropriate protection from construction damage shall be in place prior to site disturbance. For a “Burn to Learn” site, significant vegetation that can be saved shall be protected.
- B. Native vegetation, wetland, riparian, and steep slope vegetation shall meet the standards set forth in Section 10-34-2-2 subsections A through F above.
- C. Dead or diseased vegetation and split, leaning, or unstable trees shall not qualify as preserved vegetation.
- D. Mature vegetation shall be trimmed and pruned as appropriate by qualified personnel to form a long-term element of the site landscaping.
- E. Landscape credit for preserved significant vegetation areas shall be granted at the ratio of 2 to 1 (e.g. every one square foot of preserved significant vegetation shall be counted as two square feet in meeting the total specified landscape area for a site). However, in no case shall the requirement for actual landscaped area be reduced below  $\frac{2}{3}$  of the area that would be required with no credit.
- F. Landscape credit for preserved trees shall be granted at the ratio of one less new tree planting for every two (2) inches diameter of preserved significant trees (e.g. a preserved tree of six inch diameter counts as three newly planted trees). This credit can be applied against required front yard, parking island, buffer, and/or street trees. However in no case shall this credit reduce the requirement for newly planted trees below  $\frac{2}{3}$  of the number that would be required with no credit. All preserved trees shall be protected from construction compaction or grade changes of more than six inches on the surface area in relation to the crown of the tree canopy.
- G. **Figure 10-34(1): Native Preservation Credit Trade-off**

This section was included in the event the applicant wished to achieve standards through preservation credit.



**10-34-3: LANDSCAPING.**

**10-34-3-1: Applicability.** Except for single-unit and duplex dwelling uses, this Section shall apply to all new development as well as changes of use and expansions as described below, and shall apply in all districts except where superseded by specific zoning district requirements. These provisions shall be in addition to the provisions of FCC Title 9 Chapter 5 and where there are conflicts, the provisions of Title 9 Chapter 5 shall prevail.  
**A.** For new developments, all landscaping shall meet current code requirements. (Ord. 4, 2011)  
**B.** For modifications or additions to existing development, landscaping shall be brought up to current code requirements in the same proportion as the increase in use and/or building size. (Ord. 4, 2011)

[...]

**B.** For modifications or additions to existing development, landscaping shall be brought up to current code requirements in the same proportion as the increase in use and/or building size. (Ord. 4, 2011)

Landscaping shall be required to be brought up to code in the same proportion as the proposed expansion and modification. The proposed addition of the pickleball court represents a 29% increase.

Tennis court: 120 x 120 = 14,400  
 Pickleball: 35 x 120 = 4,200  
 $4,200 / 14,400 = 0.29$  or 29%

Therefore, landscaping shall be brought up to current code in a 29% proportional increase (Informational 2).

**10-34-3-2: Landscaping Plan Required.** A landscape plan is required. All landscape plans shall include the following information:

**A.** The location and height of existing and proposed fences and walls, buffering or screening materials.

- B. The location of existing and proposed terraces, retaining walls, decks, patios, shelters, and play areas.
- C. The location, size, and species of the new proposed plant materials (at time of planting).
- D. The location(s) of areas where existing vegetation will be cleared and the location(s) of areas where existing vegetation will be preserved, delineated on a recent aerial photo or site plan drawn to scale.
- E. Existing and proposed building and pavement outlines.
- F. Specifications for soil at time of planting, irrigation and anticipated planting schedule.
- G. Other information as deemed appropriate by the City Planning Official.

The landscaping plan was submitted in the Project Proposal [Exhibit C] and the Rolling Dunes Tree and Shrub document [Exhibit D] submitted as part of this application.

Exhibit C: is the Project Proposal document that includes a narrative statement regarding the fence, proposed plantings, and irrigation plans.

Exhibit D: This document is a site map that indicates existing trees and shrubs, where new trees and shrubs are proposed, and the proposed location of the chain link fence expansion.

Between these two documents most information required has been submitted with the exception of the specifications for soil at the time of planting, the anticipated planting schedule, and the proposed size of plants to be installed. These items will be conditioned later in these Findings,.

**10-34-3-3: Landscape Area and Planting Standards.** The minimum landscaping area is 15% of the lot area, unless specified otherwise in the applicable zoning district<sup>2</sup> for the proposed use. This required minimum landscaping area may be reduced if preservation credits are earned as specified in Section 10-34-2-4.

**A. Landscaping shall include planting and maintenance of the following:**

- 1. One tree per 30 lineal feet as measured along all lot lines that are adjacent to a street.

There is approximately 467 linear feet of street frontage along 35<sup>th</sup> Street and N. Siano Loop. Therefore, this site requires 16 trees adjacent to the streets.

$$467 / 30 = 15.6 \text{ (rounded up = 16 trees)}$$

The Project Proposal [Exhibit C] states there are 16 trees within the 20 feet of property lines adjacent to the two streets. This criterion is met.

- 2. Six shrubs per 30 lineal feet as measured along all lot lines that are adjacent to a street.

There is approximately 467 linear feet of street frontage along 35<sup>th</sup> Street and N. Siano Loop. Therefore, this site requires 94 shrubs adjacent to the streets.

$$467 / 30 = 15.6$$

$$15.6 \times 6 = 93.6 \text{ shrubs (rounded up = 94 shrubs)}$$

$$94 \times .29 = 27.4 \text{ shrubs (rounded up = 28 shrubs)}$$

In accordance with FCC 10-34-3-1, the landscaping shall increase at the same 29% proportional increase proposed with the Rolling Dunes Park expansion; and in accordance with FCC 10-34-3-3-A an additional 28 shrubs are required, but 14 are proposed. This criterion shall be met within 1 year of this approval (June 11, 2025)

- a. The Public Works Department shall submit a revised landscaping plan to the Community Development for review including all 28 required shrubs; or
- b. The Public Work Department shall submit documentation to the Community Development Department, in accordance with FCC 10-34-3-2, demonstrating that preservation credits have been satisfied and no further shrubs are required under FCC 10-34; or
- c. The Public Works Department shall submit a outstanding 14 shrubs shall be planted in the wetland or waterway present on the site to enhance the riparian area. These plantings shall be native vegetation that is typically found in the riparian area.

Documentation of the decision and revised plans as applicable shall be submitted to the City Community Development Department and t the plantings installed within 1 calendar year of this approval (June 11. 2024) (**Condition 6.3**). This criterion is either met or conditioned to be met.

**3. Living plant materials shall cover a minimum of 70 percent of the required landscape area within 5 years of planting.**

In accordance with this Code section, living plant material shall cover a minimum of 70% of the required landscape area within 5 years of planting (**Informational 3**).

**4. Except for preservation of existing significant vegetation, the required plant materials on-site shall be located in areas within the first 20 feet of any lot line that abuts a street. Exceptions may be granted where impracticable to meet this requirement or the intent is better served. Required trees may be located within the right-of-way and must comply with Section 10-34-4. Plant materials may be installed in any arrangement and do not need to be equally spaced nor linear in design. Plantings and maintenance shall comply with the vision clearance standards of FCC 10-35-2-13.**

The site includes a mix of preserved native vegetation and new plantings. The new plantings are proposed to be located within 20 feet of the property lines abutting streets. The site plan included as Exhibit D includes color coded symbols for trees and shrubs within 20 feet of the street abutting property line and trees and shrubs greater than 20 feet from the property lines. This criterion is met.



**10-34-3-4: Landscape Materials.** Permitted landscape materials include trees, shrubs, ground cover plants, non-plant ground covers, existing native vegetation, outdoor hardscape features and storm water features, as described below.

**A. Plant Selection.** A combination of deciduous and evergreen trees, shrubs, and ground covers shall be used, consistent with the purpose of this Chapter. A suggested *Tree and Plant List for the City of Florence* and the *Sunset Western Garden Book* are available at City Hall. The selection of plant and tree species shall be based upon site conditions such as wind and sun exposure, space limitations, water availability, and drainage conditions. The use of indigenous plants is encouraged, and may be required where exposure, slope or soil conditions warrant.

**1. Ground Cover.** Ground cover may consist of separate plants or mowed grass turf. Ground cover plant species shall meet the following minimum standards: plants from 4-inch pots shall be spaced a maximum of 18 inches measured on center, and 1-2 gallon size plants shall be spaced a maximum of 3 feet measured on center.

No plan ground cover is proposed with this project. Any plant ground cover used on this site shall be in accordance with this Code section and Code section FCC 10-34-3-7 (**Informational 4**).

**2. Shrubs.** Shrub plant species shall be planted from 3 gallon containers unless otherwise specified in the *Tree and Plant List for the City of Florence*.

The Project Proposal includes a list of proposed plantings to be dwarf rhododendron varieties, hybrid rhododendrons, barberry, and blueberry plants that with “complement the existing shrubs.” Sizes of these proposed planting shall be planted from containers no smaller than the minimum recommended planting size as seen on the [Tree and Plant List for the City of Florence](#) and included on the table below (**Condition 6.1**). This criterion is conditioned to be met.

<b>Plant Type</b>	<b>Recommended Planting Size</b>	<b>Recommended Container Size</b>
Dwarf Rhododendron	--	2 / 3 gallon
Hybrid Rhododendron	2 to 3 feet	3 / 5 gallon
Barberry	2 to 3 feet	3 / 5 gallon
Blueberry	--	--

**3. Trees.** Evergreen and deciduous tree species shall meet the following minimum standards: deciduous trees shall be a minimum of 1 ¾ inch caliper (diameter) measured 6 inches above grade, and evergreen trees shall be a minimum of 5 feet tall (**Nursery Grade 5/6**)

The minimum number of trees are currently present on site. No new trees are required or proposed. This criterion is not applicable.

**4. Non-plant Ground Covers.** Bark dust, chips, aggregate, or other non-plant ground covers may be used. Non-plant ground cover located adjacent to pedestrian ways shall be confined to the material within the planting bed to



**avoid safety hazards by edging 4 inches above-grade or recessing from grade. Non-plant ground covers cannot be a substitute for ground cover plants.**

Non-plant ground cover is not discussed in the application materials. All non-plant ground covers use onsite shall meet the requirements of this Code section and Code section FCC 10-34-3-7 (Informational 4).

- C. **Hardscape features**, such as plazas, pathways, patios and other pedestrian amenities may count toward ten (10) percent of the required landscape area, except in the Old Town and Main Street districts where hardscape features may count toward 50 percent of the landscape area, provided that such features conform to the standards of those districts. Swimming pools, sports courts, decks and similar facilities may not be counted toward fulfilling the landscape requirement in any zone.

The applicant is not proposing reductions in required landscaping area.

- D. **Storm Water Facilities**. Storm water facilities, such as detention/retention ponds and swales shall be landscaped. Landscaped bio-swales are encouraged and shall count toward meeting the landscaping requirement of this section if they are designed and constructed in accordance with the standards specified in Title 9 Chapter 5, and approved by the Public Works Department. Storm water facilities shall be landscaped with water-tolerant, native plants.

The stormwater facility is discussed in detail under Section FCC 9-5.

**10-34-3-5: Irrigation.** Permanent, underground irrigation is required for all landscaping, except existing native vegetation that is preserved in accordance with the specifications of Section 10-34-2-2 and new drought tolerant plants which must have temporary irrigation for plant establishment. All irrigation systems require an irrigation permit and shall be installed with a backflow prevention device per FCC 9-2-3-5.

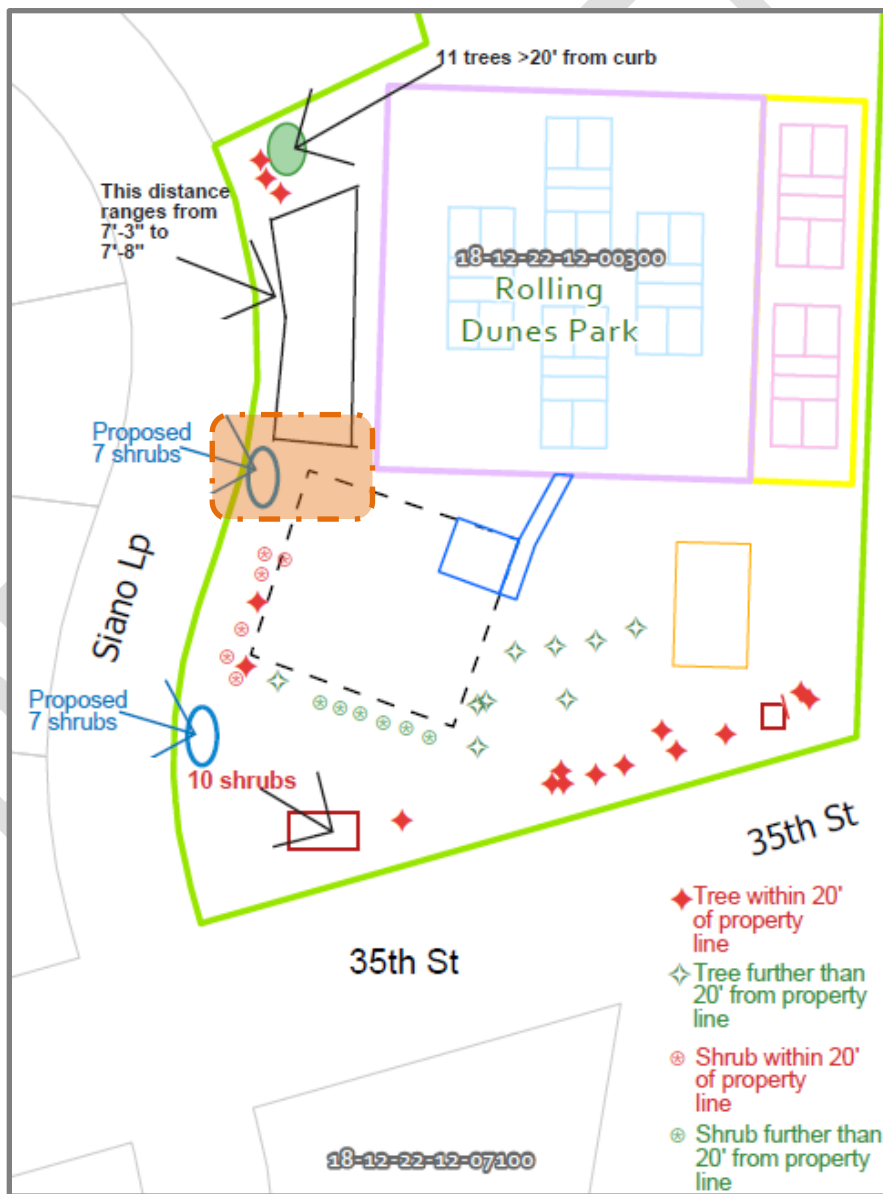
The project proposal states the existing irrigation will be extended to new plantings [Exhibit C]. This criterion is met.

**10-34-3-7: Buffering and Screening.** Buffering and screening are required under the conditions listed below. Walls, fences, and hedges shall comply with the vision clearance requirements and provide for pedestrian circulation, in accordance with FCC 10-35-2-13. (See Section 10-34-5 for standards specific to fences and walls.)

- A. **Parking/Maneuvering Area Adjacent to Streets and Drives**. Where a parking or maneuvering area is adjacent and parallel to a street or driveway, a berm; an evergreen hedge; decorative wall (masonry or similar quality material) with openings; arcade; trellis; or similar partially opaque structure 3-4 feet in height shall be established between street and driveway or parking area. See also FCC 10-3-7-D for standards specific to parking lots adjacent to the street. The required screening shall have breaks or portals to allow visibility (natural surveillance) into the site and to allow pedestrian access to any adjoining walkways. Hedges used to comply with this standard shall be a minimum of 36 inches in height at maturity, and shall be of such species, number, and spacing to provide year-round screening within five (5) years after planting. Vegetative

**ground cover is required on all surfaces between the wall/hedge and the street/driveway line.**

The area in the site plan below highlighted in orange with the dashed orange line was an areas that is seen on the site plan below and a snip from Google Street View. The 7 proposed shrubs on this northwest aspect of the driveway are anticipated to effectively screen headlights on site from adjacent residential properties. In accordance with this Code section a vegetated ground cover shall be used in the 2 proposed planting areas between the shrubbery and the ROW and the onsite driveway. These vegetated ground cover plants shall be from the [Tree and Plant List for the City of Florence](#) and be of minimum recommended size (Condition 6.2). This criterion is met.





- A. **Abutting Land Use Buffers.** When a commercial, industrial, or other non-residential use abuts a residential district or residential land use, a visual and noise buffer shall be established and maintained immediately adjacent to the residential property line, consistent with the standards listed in the table below. In no case shall the buffer strip be less than 15 feet in width unless reduced by the Planning Commission where a lesser distance will provide adequate buffering. The buffer strip may include existing vegetation, landscape plantings, evergreen hedge, berm, fence, and/or wall components. Fence and wall structures shall be not less than 6 feet and no more than 8 feet in height (see also Section 10-34-5). The landscaped buffer shall effectively screen at least 70 percent of the view between districts within five (5) years. Significant vegetation in these buffer strips may be preserved in accordance with Section 10-34-2, and replanting of local native vegetation is encouraged.

Adjoining Land Use / Zoning	Landscaped Buffer and/or Fence or Wall
Abutting single family Zoning or use	15 foot buffer with 6' solid wood fence or block wall or 35 foot landscaped buffer
Abutting Duplex, triplex or townhouse zoning or use	15 foot buffer with 6' solid wood fence or block wall or 25 foot landscaped buffer
Abutting multiple family or condominiums	15 foot buffer with 6' solid wood fence or block wall or 15 foot landscaped buffer

The pickleball court expansion is proposed to the east of the existing tennis courts. There is a a platted drainage wat on the east of the Rolling Dunes Site that is in excess of 35 feet and the

property abutting the drainage way on the east is platted as 'Common Open Space "A"'. The proposed expansion of the Rolling Dunes Park is in excess of 35 feet and sufficiently buffered from a residential area. This criterion is met

---

**TITLE 10: CHAPTER 35: ACCESS AND CIRCULATION**

---

**10-35-3-2: Site Layout and Design:** To ensure safe, direct, and convenient pedestrian circulation, all developments shall provide a continuous pedestrian system. The pedestrian system shall be based on the standards in subsections A - C, below:

**A. Continuous Walkway System.** The pedestrian walkway system shall extend throughout the development site and connect to all future phases of development, and to existing or planned off-site adjacent trails, public parks, and open space areas to the greatest extent practicable. The developer may also be required to connect or stub walkway(s) to adjacent streets and to private property with a previously reserved public access easement for this purpose in accordance with the provisions of Section 10-35-2, Vehicular Access and Circulation, and Section 10-36-2 Street Standards.

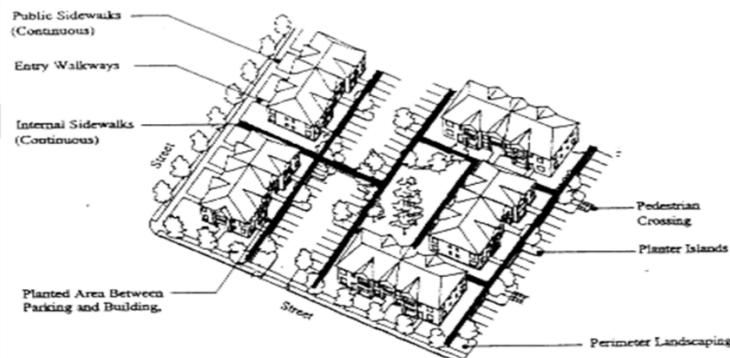
**B. Safe, Direct, and Convenient.** Walkways within developments shall provide safe, reasonably direct, and convenient connections between primary building entrances and all adjacent streets, based on the following criteria:

1. **Reasonably direct.** A route that does not deviate unnecessarily from a straight line or a route that does not involve a significant amount of out-of-direction travel for likely users.
2. **Safe and convenient.** Routes that are reasonably free from hazards and provide a reasonably direct route of travel between destinations.

**C. Connections Within Development.** Connections within developments shall be provided as required in subsections 1 - 3, below:

1. Walkways shall be unobstructed and connect all building entrances to one another to the extent practicable, as generally shown in Figure 10-35(5);

[...]



The project proposal includes the addition of an ADA walkway from the parking area to the tennis court that is reasonably direct, safe, convenient and unobstructed. This criterion is met.

**10-35-3-1: Sidewalk Requirements:**

- A. Requirements: Sidewalks shall be newly constructed or brought up to current standards concurrently with development under any of the following conditions:**
- 1. Upon any new development of property.**
  - 2. Upon any redevelopment of property that expands the building square footage by 25% or more.**
  - 3. Upon any change of use that requires more than five additional parking spaces.**
- B. Exceptions: The Planning Commission may issue a permit allowing noncompliance with the provisions of subsection (A) of this section and obtain instead a non-remonstrance agreement for future improvements when, in the Planning Commission's determination through a Type 3 process, the construction of a sidewalk is impractical for one or more of reasons 1 through 4 below. The Public Works Director may issue a permit allowing noncompliance with the provisions of subsection (A) of this section and obtain instead a non-remonstrance agreement for future improvements for reason 5 below:**
- 1. Sidewalk grades have not and cannot be established for the property in question within a reasonable period of time.**
  - 2. Future installation of public utilities or street paving would, of necessity, cause severe damage to existing sidewalks.**
  - 3. Topography or contours make the construction of a sidewalk impractical.**
  - 4. Physical improvements are present along the existing street that prevents a reasonable installation within the right-of-way or adjacent property.**
  - 5. If the proposed development is in a residential zoning district and there are no sidewalks within 400 linear feet.**
- C. Appeals: If the owner, builder or contractor considers any of the requirements impractical for any reason, s/he may appeal the decision to the Planning Commission.**
- D. Timing: Sidewalks shall be constructed and approved by the Public Works Department prior to final inspection for the associated building permit. No certificate of occupancy may be issued until the required sidewalks are constructed or financially secured.**

Based on the approximately 29% expansion of the existing public park facilities, the requirement of newly installed sidewalks are triggered. The above exceptions number 5 applies to this project as there are no sidewalks within 400 feet on either 35<sup>th</sup> St or N. Siano Loop. The Project Proposal states:

**Circulation and access.** *Siuslaw Village is the development in which Rolling Dunes Park is situated. Currently, Siuslaw Village does not have any sidewalks. While sidewalks were not part of our grant application to Oregon Parks and Recreation for the Land Water Conservation Fund grant request, Public Works will within 5-years of completing the pickleball court expansion along with the new restroom and picnic shelter will budget and complete sidewalk improvements along Siano Loop. The area north of the driveway entrance to the parking area at Rolling Dunes is narrow due to the location of the community gardens, however there is enough room to accommodate a standard 5.5-foot (including the top of the curb) sidewalk. The five-year request for sidewalks along Siano Loop also allows the City enough time to adequately budget for reconstruction of the driveway approach to the parking area so that proper and adequate ADA ramps can be included.*

*Regarding sidewalks along the 35th Street frontage of the park, Public Works has submitted a Safe Routes to School grant to help fund the completion of sidewalks on both sides of 35th Street between Siano Loop and Kingwood Street. If successful in obtaining the Safe Routes to School grant funding, completion of sidewalks in this area will be of great benefit to those pedestrians that walk in the corridor to access school(s), places of employment, businesses and other services.*

This project is eligible for an exception on installation of sidewalks under this Code section, but is proposing their installation within 5 years of completion along N. Siano Loop and in conjunction with a pending Safe Routes to School Grant that has been applied for to complete the sidewalk system along 35<sup>th</sup> St. This criterion is met.

**10-35-3-2: Site Layout and Design: To ensure safe, direct, and convenient pedestrian circulation, all developments shall provide a continuous pedestrian system. The pedestrian system shall be based on the standards in subsections A - C, below:**

- A. Continuous Walkway System.** The pedestrian walkway system shall extend throughout the development site and connect to all future phases of development, and to existing or planned offsite adjacent trails, public parks, and open space areas to the greatest extent practicable. The developer may also be required to connect or stub walkway(s) to adjacent streets and to private property with a previously reserved public access easement for this purpose in accordance with the provisions of Section 10-35-2, Vehicular Access and Circulation, and Section 10-36-2 Street Standards.
- B. Safe, Direct, and Convenient.** Walkways within developments shall provide safe, reasonably direct, and convenient connections between primary building entrances and all adjacent streets, based on the following criteria:
  - 1. Reasonably direct.** A route that does not deviate unnecessarily from a straight line or a route that does not involve a significant amount of out-of-direction travel for likely users.
  - 2. Safe and convenient.** Routes that are reasonably free from hazards and provide a reasonably direct route of travel between destinations.
  - 3. "Primary entrance"** for commercial, industrial, mixed use, public, and institutional buildings is the main public entrance to the building. In the case

where no public entrance exists, street connections shall be provided to the main employee entrance.

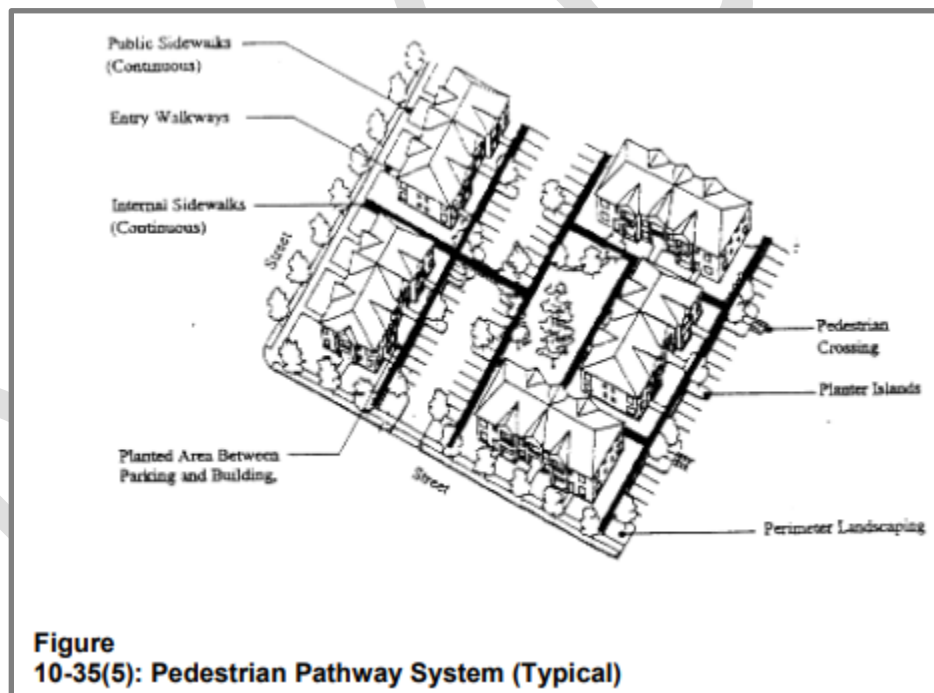
4. "Primary entrance" for residential buildings is the front door (i.e., facing the street). For buildings in which units do not have their own exterior entrance, the "primary entrance" may be a lobby, courtyard, or breezeway that serves as a common entrance for more than one dwelling.

C. Connections Within Development. Connections within developments shall be provided as required in subsections 1 - 3, below:

1. Walkways shall be unobstructed and connect all building entrances to one another to the extent practicable, as generally shown in Figure 10-35(5);

2. Walkways shall connect all on-site parking areas, storage areas, recreational facilities and common areas, and shall connect off-site adjacent uses to the site to the extent practicable. Topographic or existing development constraints may be cause for not making certain walkway connections; and

3. For large parking areas with 80 or more parking spaces and depending on the layout of the parking lot, the City may require raised walkways a minimum of 5 feet wide to provide pedestrian safety.



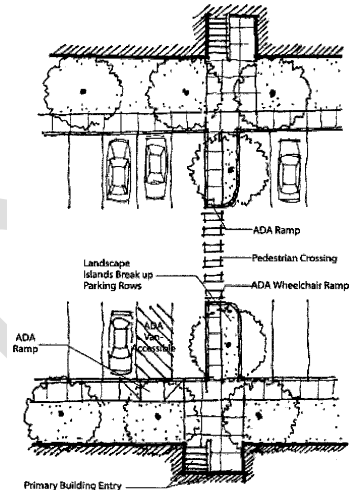
10-35-3-3: Walkway and Multi-Use Path Design and Construction: Walkways and multi-use paths shall conform to all applicable standards in subsections A - D, as generally illustrated in Figure 10-35(6):

[...]



- C. **Width and Surface.** Walkway surfaces shall be concrete, asphalt, brick/masonry pavers, or other durable surface, as approved by the Public Works Director, at least five (5) feet wide, without curb. Multi-use paths (i.e., for bicycles and pedestrians) shall be concrete or asphalt, at least ten (10) feet wide. (See also, Section 10-36-2)

Figure 10-35(6):  
Pedestrian Walkway Detail (Typical)



- D. **Accessible routes.** Walkways and multi-use paths shall conform to applicable Americans with Disabilities Act (ADA) requirements. The ends of all raised walkways, where the walkway intersects a driveway or street shall provide ramps that are ADA accessible, and walkways shall provide direct routes to primary building entrances.

The site as proposed has adequate onsite pedestrian access. This project proposes the addition of an ADA accessible access way from the ADA parking stall on the north east corner of the parking lot to the existing tennis courts. Onsite access requirements are met.

The current site does not include pedestrian access from off the site onto the site with the exception of the vehicle driveway. The shared use of the vehicular driveway between pedestrians, bicycles, vehicles, and other forms of mobility may cause a safety issues. In conjunction with the installation of sidewalks or before a pedestrian walkway that meet ADA standards shall be installed to provide pedestrian and bicycle access from 35<sup>th</sup> St and separated access from N. Siano loop. The pedestrian walkway is conditioned to be in conjunction with the installation of sidewalks to provide additional time for planning and to ensure orderly development and connection of the two facilities (**Condition 7.1**). This criterion is met of is conditioned to be met.

---

## TITLE 10: CHAPTER 37: LIGHTING

---

**10-37-2: APPLICABILITY:** Section 10-37 applies to installation of all lighting fixtures as of the effective date of this Ordinance, except as exempted by provision of this Ordinance. Devices include but are not limited to, lights for: buildings and structures, recreational areas, parking lot and maneuvering areas, landscape areas, streets and street signs, product display areas, building overhangs and open canopies, holiday celebrations, and construction lights.

- A. **Resumption of Use** - If a property with non-conforming lighting is abandoned for a period of one year or more, then all exterior lighting shall be brought into compliance with this Ordinance before any further use of the property occurs.
- B. **Major Additions or Alterations** - If a major addition occurs on a property, lighting for the entire property shall comply with the requirements of this Code. For purposes of this section, the following are considered to be major additions:
1. **Additions of 26 percent or more** in terms of additional dwelling units, gross floor area, seating capacity, or parking spaces, either with a single addition or with cumulative additions after the effective date of this Ordinance.

2. Single or cumulative additions, modification or replacement of 25 percent or more of installed exterior lighting luminaires existing as of the effective date of this Ordinance.
3. Existing lighting on sites requiring a conditional use permit or variance after the effective date of this ordinance.

C. Amortization - On or before 10 years from the effective date of this code, all outdoor lighting shall comply with this Code. Most outdoor lighting will be fully depreciated at the end of 10 years if not sooner. "Easy fixes" such as re-aiming or lowering lumen output of lamps is recommended in advance of the effective date of the ordinance. Where lighting is judged to be a safety hazard immediate compliance is required.

**10-37-3: LIGHTING PLANS REQUIRED:** All applications for building permits and land use planning review which include installation of exterior lighting fixtures, not exempted, shall include the number of luminaires, the number of lamps in each luminaire, a photometric report for each type of luminaire and a site plan with the photometric plan of the lumen output.

The City shall have the authority to request additional information in order to achieve the purposes of this Ordinance.

**10-37-4: LIGHTING STANDARDS:**

- A. All exterior lighting fixtures subject to this code section must be designed as a full cut-off fixture or have a shielding method to direct light emissions downward below the horizontal plane onto the site and does not shine illumination or glare skyward or onto adjacent or nearby property.
- B. Parking areas shall have lighting to provide at least two (2) foot-candles of illumination at any point in the entire lot with a maximum of five (5) foot-candles over parking spaces and walkways. The Design Review Board may decrease the minimum if the applicant can provide documentation that the overall parking lot has adequate lighting. The Design Review Board may increase the maximum on a case-by-case basis, with no greater than 7 foot-candles measured directly under the light fixture.
- C. Lighting in or adjacent to residential zones or residential uses shall not exceed twenty feet in height as measured from the adjacent grade to the top of the light fixture. Heights in other zoning districts shall not exceed 25 feet unless the Design Review Board adopts findings that the higher light fixtures are necessary to achieve proper illumination levels.
- D. Main exterior lights for commercial, institutional, and industrial buildings, landscaping and parking lots shall be extinguished at end of business hours with a minimum lighting remaining for personal and building security and safety after hours.



- E. **A thirty-day review period beginning with the first day in business using the new lighting system shall be required to evaluate and adjust illumination levels of lighting. The City may ask for lighting to be adjusted in this time period based on public comments or staff inspections.**

[...]

Rolling Dunes Park is a day use only park. No lighting is proposed on the existing tennis courts or proposed pickleball court. No lighting is proposed for the picnic shelter. No lighting is proposed for the restrooms. There is a statement in the project proposal that states that additional lighting for the park other than possible outside lighting on the proposed restroom facility which will be downward shining and compliant with dark skies standards.’ As stated lighting would meet Code in accordance with this section. If lighting is proposed at a future date it shall mee lighting regulation in place at that time.

**10-37-5: EXEMPTIONS:**

- N. **Athletic field lighting; steps should be taken to minimize glare and light trespass, and utilize sensible curfews. Light directed upward is prohibited.**

No lighting is proposed on the existing tennis courts or the proposed pickleball courts. The project proposal stated that “the Florence Pickleball Club would like the City to incorporate lighting of the courts for night time plan, however with the park being within a long-established residential area, lighting of the courts would infringe upon the resident’s quiet enjoyment of the area and create light trespass concerns on neighboring properties.” Outdoor lighting of the courts is not being proposed If lights are proposed in the future, current code allows for an exception.

---

**TITLE 9: UTILITIES**

---

---

**TITLE 9: CHAPTER 5: STORMWATER MANAGEMENT REQUIREMENTS**

---

**9-5-3: STORMWATER DESIGN CRITERIA:**

**9-5-3-1: GENERAL:**

- A. **The criteria in Section 9-5-3 shall be used in the design of public and private stormwater drainage and management systems. Stormwater management facilities shall be constructed in accordance with the Stormwater Manual: the 2008 Portland Stormwater Management Manual, as superseded by the December 2010 City of Florence Stormwater Design Manual; and the 2008 City of Portland Erosion and Sediment Control Manual.**

**9-5-3-2: STORMWATER QUANTITY (FLOW CONTROL):**

- A. **A 25-year, return period storm shall be used for the design of all private and public stormwater drainage systems.**
- B. **Onsite stormwater management facilities shall be required to prevent the post-development runoff rates from a project site from exceeding the pre-development runoff rates from the site, based on a 2 through 25-year storm. Exemptions to this**

requirement may be approved by the City Manager or his/her designee if it is determined that a more effective solution is available and that downstream capacity will accommodate the increase in flow.

- C. Each new development project is responsible for mitigating its impacts on the stormwater system. This mitigation requirement can be satisfied through the use of any of the following techniques, subject to the other limitations identified by this Code:
  - 1. Construction of onsite facilities to limit the flow rate of stormwater runoff leaving the development site, in accordance with the Stormwater Manual.
  - 2. Enlargement or improvement of the down gradient conveyance system in accordance with the requirements of this Code and the City of Florence Stormwater Management Plan.
- D. The development of any land requiring a Drainage Plan shall address onsite and off-site drainage concerns, both up gradient and down gradient (a minimum of 1/4-mile) of the project, including:
  - 1. Modifications to the existing onsite stormwater drainage and management facilities and drainage patterns shall not restrict or redirect flows creating backwater or direct discharge onto off-site property to levels greater than the existing condition unless approved by the affected off-site property owners and the City. Proof of off-site property owners approval shall be provided by having the affected property owner(s) sign an easement identifying the location of the backwater storage or impoundment area. This area shall be clearly shown on the submitted Drainage Plan site sheet(s). The easement shall be in a form approved by the City and recorded with the Lane County Deeds and Records Office.
  - 2. Stormwater facilities shall be designed and constructed to accommodate all flows generated from the project property in accordance with the land use zoning as shown in the most recent approved City Code.
  - 3. Capacity of the downstream drainage system to determine if increases in peak flow rates resulting from the proposed development can be accommodated.
- E. The types of stormwater management controls presented in the Stormwater Manual are available for owners and developers to use in satisfying the pre-developed and post-development runoff requirement. More than one of these types of controls may be needed to satisfy the runoff requirement. In areas where the runoff requirement in Section 9-5-3-2-F are exempt or partially exempt, the City may require improvements to the down gradient conveyance system.

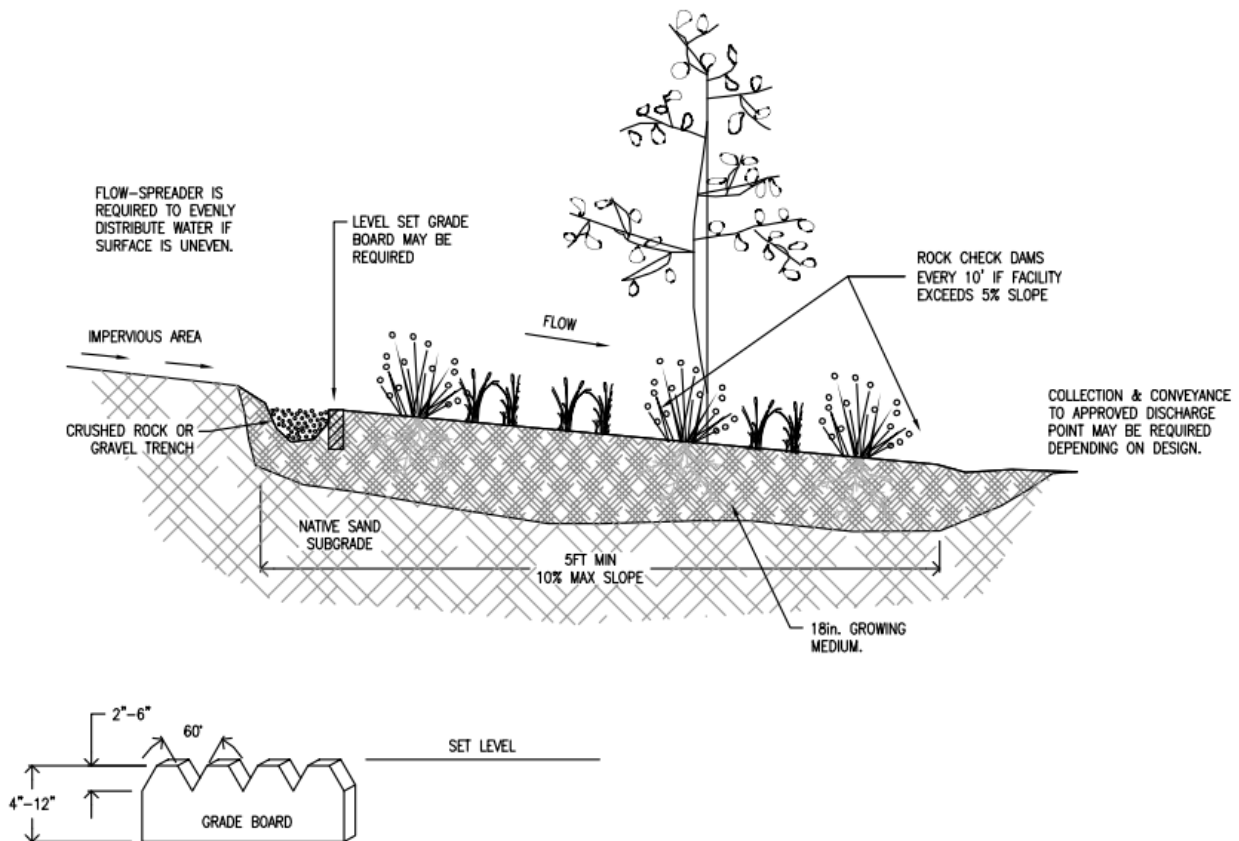
#### **9-5-3-3: STORMWATER QUALITY:**

- A. Stormwater management facilities to treat stormwater are required for certain types of projects. These water quality facilities shall be designed and constructed for all projects requiring a Drainage Plan and for other projects as required by this section. Stormwater management facilities required for development shall be designed,

installed and maintained in accordance with the Stormwater Manual, which is based on achieving at least 70% removal of the Total Suspended Solids (TSS) from the flow entering the facility for the design storm specified in the Stormwater Manual.

- B. Water quality facilities shall be designed and constructed for all projects requiring a Drainage Plan.
- C. Projects located in the Zones of Contribution must have pre-treatment facilities prior to infiltration facilities as prescribed in the Stormwater Manual. When a wellhead protection plan is developed and adopted by the City, this specific requirement may be rescinded or modified by the City.
- D. The water quality design storm shall be based on an intensity of 0.25 inches per hour, or 0.83 inches for a 24-hour SCS Type 1A rainfall return event.
- E. Water quality facilities must be designed to prevent damage to the facility for flows exceeding the water quality design storm and to ensure no re-suspension of pollutants, consistent with the Stormwater Manual.
- G. The types of stormwater management facilities presented in the Stormwater Manual are available for owners and developers to use in satisfying the stormwater quality requirement. More than one of these types of facilities may be required to satisfy this requirement.

This project proposes increasing onsite impervious surface by 4,200 sq ft through the pickleball court addition. This amount of increased impervious surface requires management of both the quality of stormwater flow, but also the quantity of stormwater. In accordance with this Code section and the [Stormwater Design Manual](#), post development drainage shall be managed on site.



The stormwater management plan is included on the Project Proposal [Exhibit C] and proposes using vegetated filtration strips consistent with sheet SW-160 around the perimeter of the pickleball courts using the simplified approach. Prior to site disturbing activities on-site the Public Works Department shall submit a simplified approach form, which can be found in Appendix A of the Stormwater Design Manual (pages 55-57 of 186) (**Condition 8.2**). A signed O and M shall be submitted to the City of Florence Community Development Department. The maintenance of the stormwater facilities shall be the ongoing responsibility of the City of Florence and / or the City of Florence Public Works Department in accordance with FCC 9-5-4-1-A below. The vegetated filter strip shall be designed and installed in accordance with SW-160 from the Stormwater Design Manual and shall use plants approved for this type of stormwater facility from Appendix G of the Stormwater Design Manual (**Condition 8.1**).

Stormwater drainage for the proposed restroom facilities and picnic shelter propose using existing stormwater facilities to manage post development run-off. This is determined to be acceptable since this is roof run off and the total square footage of new shelters does not exceed 500 sq ft of the existing shelter and restroom facilities.

These criteria are met or are conditioned to be met.

**9-5-4: MAINTENANCE RESPONSIBILITY:**

**9-5-4-1: PUBLIC FACILITIES:**

- A. The City will maintain and operate Public Stormwater Facilities as set out in FCC 9-5-1-2 and FCC 9-5-1-6.**

The proposed and existing stormwater facilities are public facilities in a public park. Their ongoing maintenance shall be the ongoing responsibility of the City of Florence and the City of Florence Public Works Department (**Informational 5**).

---

**VI. CONCLUSION-**

The proposed application meets the requirements of City Code subject to conditions.

---

**VIII. EXHIBITS**

"A"	Findings of Fact
"B"	Land Use Application
"C"	Project Proposal
"D"	Site Plans and Expansion Images
"E"	Power Point Presentation – Overview
"F"	DSL Agency Decision WD 2021-0558
"G"	Spruce Village Plat Map
"H"	Stormwater Design Manual Excerpts
"I"	Wetlands and Deepwater Classification
"J"	Referral Comments





# EXHIBIT B *City of Florence*

Community Development Department

250 Highway 101

Florence, OR 97439

Phone: (541) 997 - 8237

Fax: (541) 997 - 4109

[www.ci.florence.or.us](http://www.ci.florence.or.us)

## Type of Request

### THIS SECTION FOR OFFICE USE ONLY

Type I    Type II    Type III    Type IV

Proposal: \_\_\_\_\_

## Applicant Information

Name: City of Florence Phone 1: 541-997-4106

E-mail Address: mike.miller@ci.florence.or.us Phone 2: \_\_\_\_\_

Address: 250 Hwy 101, Florence, OR 97439

Signature: Mike Miller Digitally signed by Mike Miller  
Date: 2024.04.19 16:36:14 -07'00' Date: 4/17/2024

Applicant's Representative (if any): Mike Miller, Public Works Director

## Property Owner Information

Name: City of Florence Phone 1: 541-997-4106

E-mail Address: mike.miller@ci.florence.or.us Phone 2: \_\_\_\_\_

Address: 250 Hwy 101, Florence, OR 97439

Signature: Mike Miller Digitally signed by Mike Miller  
Date: 2024.04.19 16:36:24 -07'00' Date: 4/17/2024

Applicant's Representative (if any): Mike Miller, Public Works Director

NOTE: If applicant and property owner are not the same individual, a signed letter of authorization from the property owner which allows the applicant to act as the agent for the property owner must be submitted to the City along with this application. The property owner agrees to allow the Planning Staff and the Planning Commission onto the property. Please inform Planning Staff if prior notification or special arrangements are necessary.

## For Office Use Only:

Received

Approved

Exhibit

**Property Description**

Site Address: Rolling Dunes Park

General Description: Rolling Dunes Park, tennis courts, picnic shelter, restrooms, community gardens and horse shoe pits.

Assessor's Map No.: 12 22 12 Tax lot(s): 00300

Zoning District: Open space

Conditions & land uses within 300 feet of the proposed site that is one-acre or larger and within 100 feet of the site that is less than an acre OR add this information to the off-site conditions map

(FCC 10-1-1-4-B-3): Mobile Home/Manufactured Home

**Project Description**

Square feet of new: 4,200 Square feet of existing: 14,400

Hours of operation: Dawn to dusk Existing parking spaces: 14

Is any project phasing anticipated? (Check One): Yes  No

Timetable of proposed improvements: Summer/Fall 2024

Will there be impacts such as noise, dust, or outdoor storage? Yes  No

If yes, please describe: General construction impacts from demo of existing picnic shelter/restrooms and construction of 35'x120' expansion of tennis/pickleball courts and construction of new picnic shelter and restrooms

Proposal: (Describe the project in detail, what is being proposed, size, objectives, and what is desired by the project. Attach additional sheets as necessary)

We are expanding the existing tennis courts to provide additional court area dedicated to pickleball. The expansion area is 35'x120' and will be part of the existing 120'x120' tennis courts. The existing fence for the tennis courts will be expanded to encompass the new court area as well and new wind screening will be installed. The City acquired a Land Water Conservation Grant from Oregon Parks and Recreation Department to complete the improvements.

In addition to the tennis court expansion, the project includes updating ADA access, including converting one parking stall to a van accessible parking stall. The existing restrooms and picnic shelter will be demo'd and new a new two unit restroom facility with storage area will be constructed.

The new restroom facility will be fully ADA accessible. The picnic shelter will replace the existing shelter and will be more open to provide additional visibility into the picnic shelter. The existing panels with native american cravings/illustrations will be preserved and used in the final product.

**For Office Use Only:**

Date Submitted: \_\_\_\_\_ Fee: \_\_\_\_\_

Received by: \_\_\_\_\_

Paid

# Exhibit C

## Project Proposal – Pickleball Court Expansion at Rolling Dunes Park

Rolling Dunes Park is currently the home of the only public tennis court that incorporates pickleball. Our project is to expand the existing tennis courts to provide additional court area dedicated to pickleball. The current tennis court is 120' x 120' and the expansion area will add an area will add 35' x 120'. The existing fence for the tennis courts will be expanded to encompass the new court area as well and new wind screening will be installed.

The City acquired a Land Water Conservation Grant from Oregon Parks and Recreation Department to complete the improvements. In addition to the tennis court expansion, the project includes updating ADA access, including converting one parking stall to a van accessible parking stall.

The existing restrooms and picnic shelter will be razed and new a new two-unit restroom facility with storage area will be constructed. The new restroom facility will be fully ADA accessible. The picnic shelter will replace the existing shelter and will be more open to provide additional visibility into the picnic shelter. The existing panels with native American carvings/illustrations will be preserved and used in the final product.

We will be preserving all of the vegetation on the property with the exception of the trees within the pickleball expansion area.

**Onsite Parking and Loading.** As mentioned above, our project includes updating ADA access, including converting on one parking stall to a van accessible parking stall. The existing parking stalls are double striped with the stripping 24-inches wide. The existing parking stalls are 10-feet wide on center (measured between the double stripe) with a length of 18-feet. While the current parking area does not include bicycle parking, we will include two bicycle parking spaces using a 'wave' type bicycle rack. The wave bike rack will be located near the tennis court entry with a concrete slab in the existing landscape area adjacent to the pathway to the tennis courts.

**Landscaping.** Currently, the park property has 16 trees within the street frontage area. Specifically, there are 11 trees along the 35<sup>th</sup> Street and 5 trees along Siano Loop. We have one planter along 35<sup>th</sup> Street that contains 10 shrubs and 6 shrubs along the Siano Loop frontage for a total of 16 shrubs along our street frontages.

By preserving the existing 16 trees within 20 feet of the street frontages, we meet the current code requirement of 16 trees. We do not meet the current code requirement of 95 shrubs within 20 feet of the street frontages, however the minimum proportional number of shrubs based on 4,200 square feet of new area is 29 shrubs. Our plan is to add an additional 14 shrubs within the 20-foot frontage area along Siano Loop. We will extend our existing irrigation system to irrigate the new plantings. The proposed shrubs will complement the existing shrubs and consist of dwarf rhododendron varieties; hybrid rhododendrons; barberry and blueberry plants.

In addition, the property features 20 trees that are further back from 35<sup>th</sup> Street and Siano Loop more than 20 feet. In this same area we an additional 6 shrubs that will also be preserved.

**Circulation and access.** Siuslaw Village is the development in which Rolling Dunes Park is situated. Currently, Siuslaw Village does not have any sidewalks. While sidewalks were not part of our grant application to Oregon Parks and Recreation for the Land Water Conservation Fund grant request, Public Works will within 5-years of completing the pickleball court expansion along with the new restroom and picnic shelter will budget and complete sidewalk improvements along Siano Loop. The area north of the driveway entrance to the parking area at Rolling Dunes is narrow due to the location of the community gardens, however there is enough room to accommodate a standard 5.5-foot (including the top of the curb) sidewalk. The five-year request for sidewalks along Siano Loop also allows the City enough time to adequately budget for reconstruction of the driveway approach to the parking area so that proper and adequate ADA ramps can be included.

Regarding sidewalks along the 35<sup>th</sup> Street frontage of the park, Public Works has submitted a Safe Routes to School grant to help fund the completion of sidewalks on both sides of 35<sup>th</sup> Street between Siano Loop and Kingwood Street. If successful in obtaining the Safe Routes to School grant funding, completion of sidewalks in this area will be of great benefit to those pedestrians that walk in the corridor to access school(s), places of employment, businesses and other services.

**Lighting.** This park is a day use only park and we are not proposing any additional lighting for the park other than possible outside lighting on the proposed restroom facility which will be downward shining and compliant with dark skies standards. We understand that the Florence Pickleball Club would like the City to incorporate lighting of the courts for night time plan, however with the park being within a long-established residential area, lighting of the courts would infringe upon the resident's quiet enjoyment of the area and create light trespass concerns on neighboring properties. Outdoor lighting of the courts is not being proposed.

The picnic shelter, as currently envisioned does not have lighting. It is possible to provide lighting in the picnic shelter itself to provide low illumination, however the park is closed at dusk. Lighting of the picnic shelter is outside of our proposal and request for funding from Oregon Park and Recreation Department.

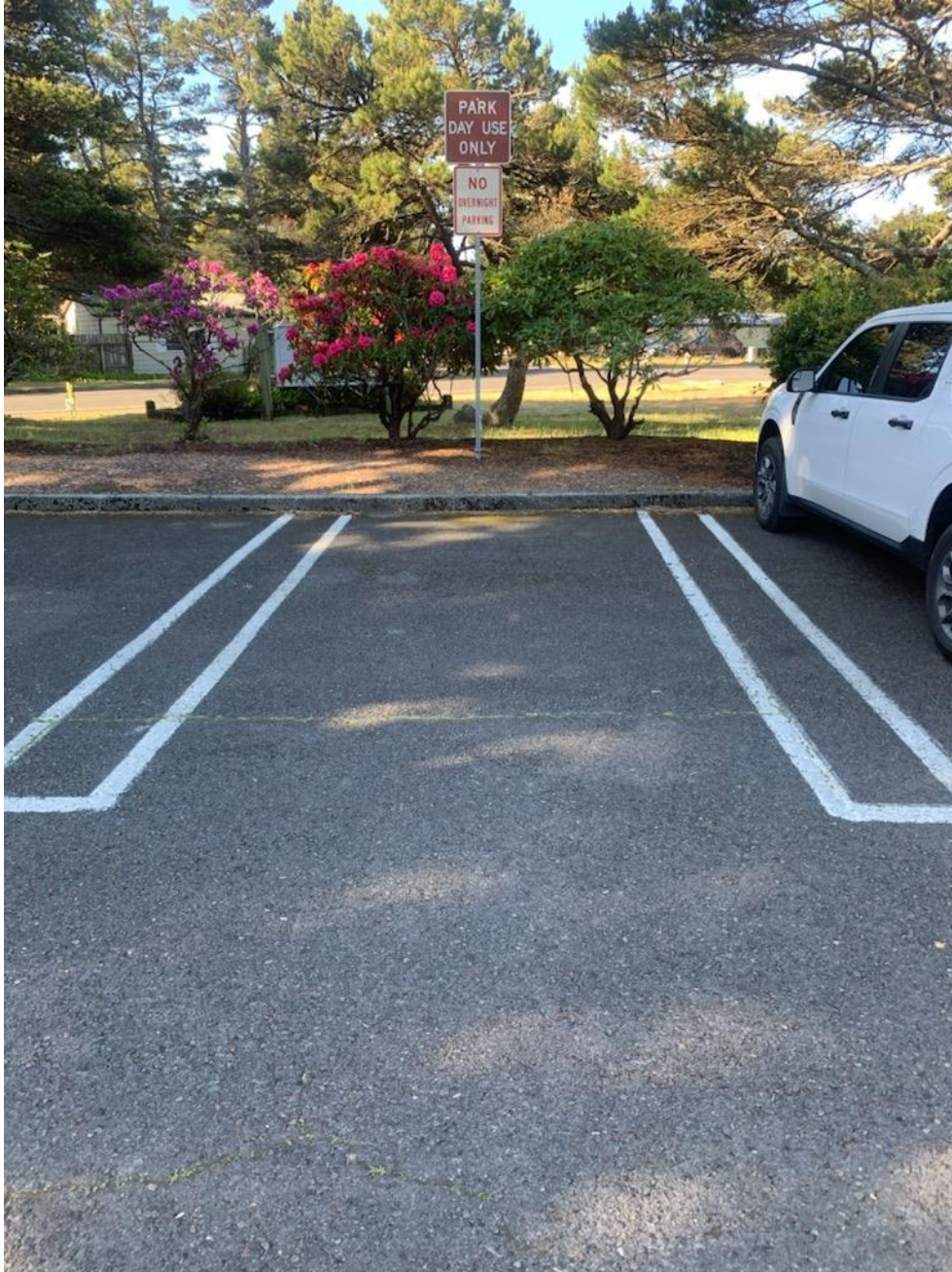
**Stormwater management.** We are proposing to use stormwater filtration strips along the perimeter of the pickleball expansion area. Since the new area is small in size will use the simplified approach to size the vegetated surface stormwater facility. In our case we are proposing using a vegetated filter strip to receive and manage stormwater runoff from the adjacent pickleball court expansion area. Vegetated filter strips can be found in the Florence Stormwater Design Manual, on page 31. We would utilize the standard drawing SW-160 that provides the typical filter strip details.

For the new restroom and picnic shelter, we would utilize the existing stormwater management system. The current system consists of a drywell approach to stormwater management. Since the stormwater runoff for these facilities is only roof runoff there is no pollution of concern to

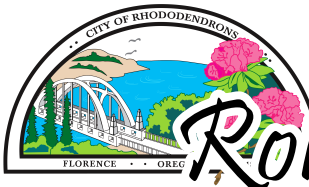


treat, making drywells a good choice for handling rain water runoff from the restroom and picnic shelter roofs.

Below is a photo of a typical parking stall at Rolling Dunes Park:







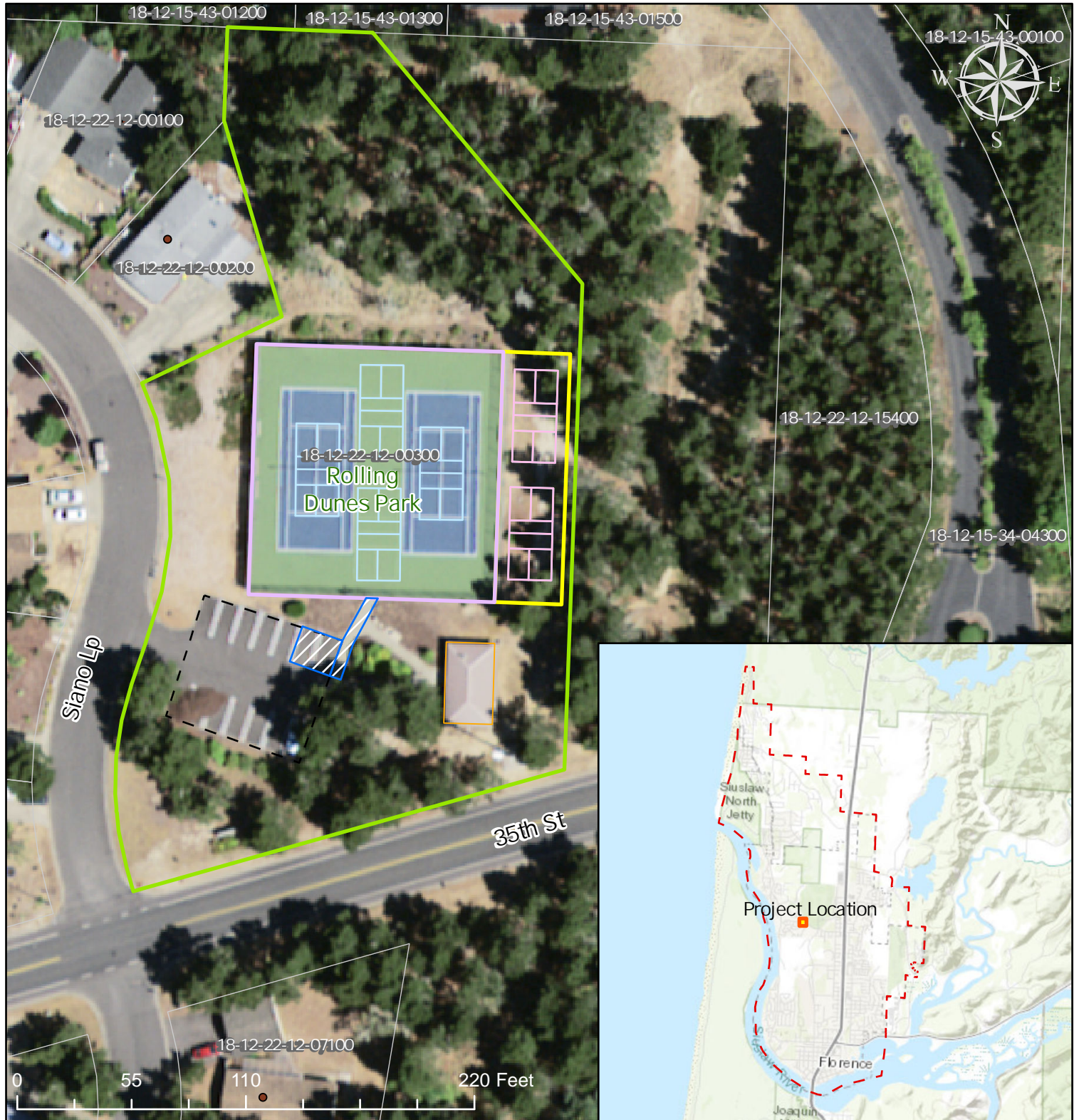
City of Florence

# Exhibit D

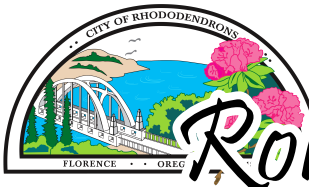
# Rolling Dunes Park Improvements

- Existing Pickleball Court
- Existing Fence
- Existing Parking Lot
- Existing Picnic Shelter
- Proposed Fence
- Proposed Accessibility Upgrades
- Proposed Pickleball Courts
- Rolling Dunes Park & LWCF Boundary (1.52 acres)
- Tax Lot
- Florence UGB

Lane County TRS 18-12-22  
43.998543° -124.113189°







City of Florence

# Rolling Dunes Park Improvements

— Riparian Setback

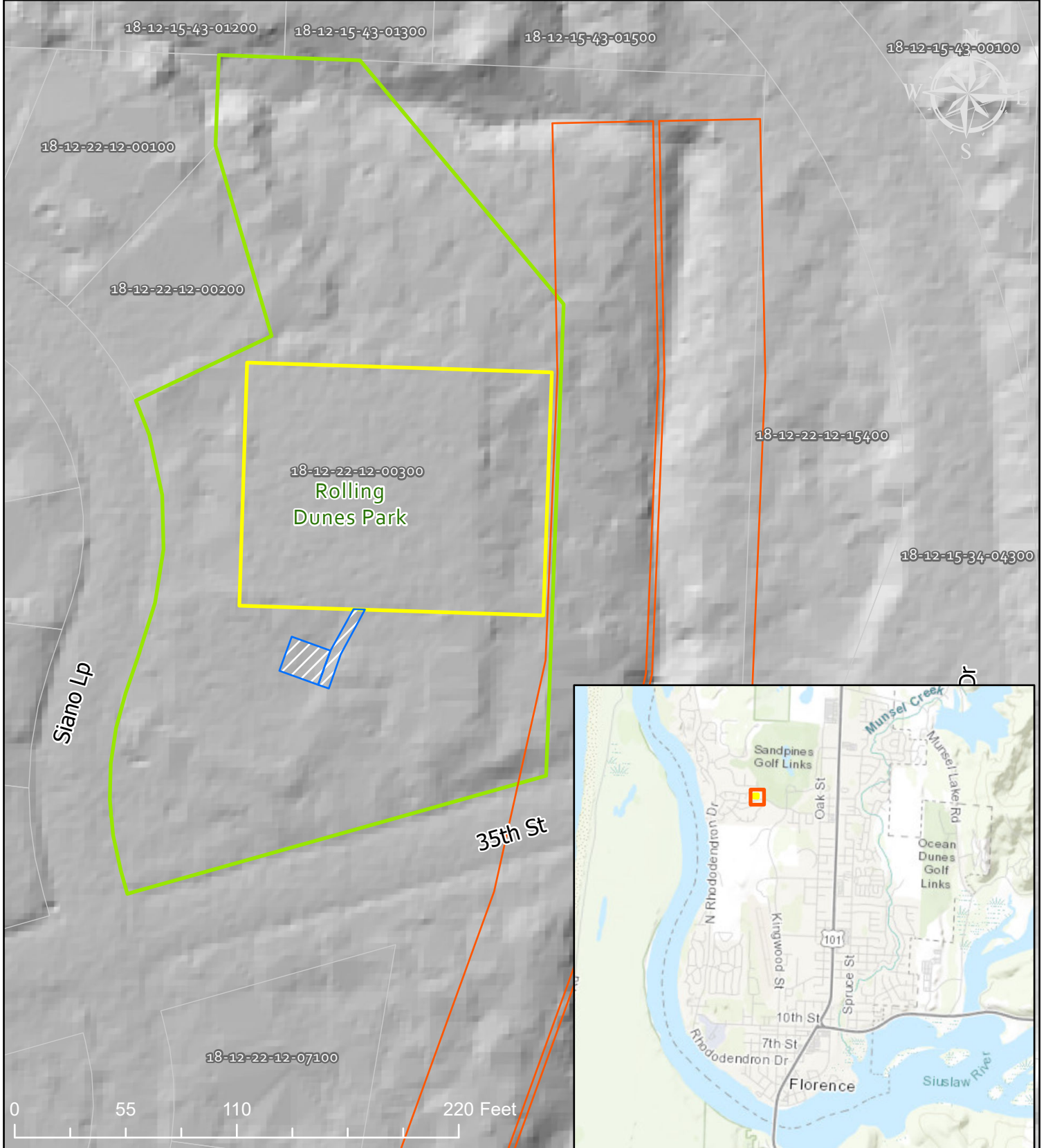
▭ LWCF Boundary (1.51 acres)

▭ Pickleball Court Expansion

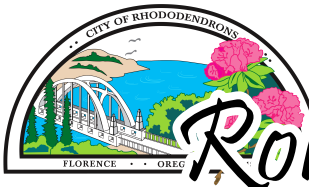
▭ Accessibility Upgrades

Lane County TRS 18-12-22

43.998543° -124.113189°







City of Florence

# Rolling Dunes Park Improvements

— Riparian Setback

▭ LWCF Boundary (1.51 acres)

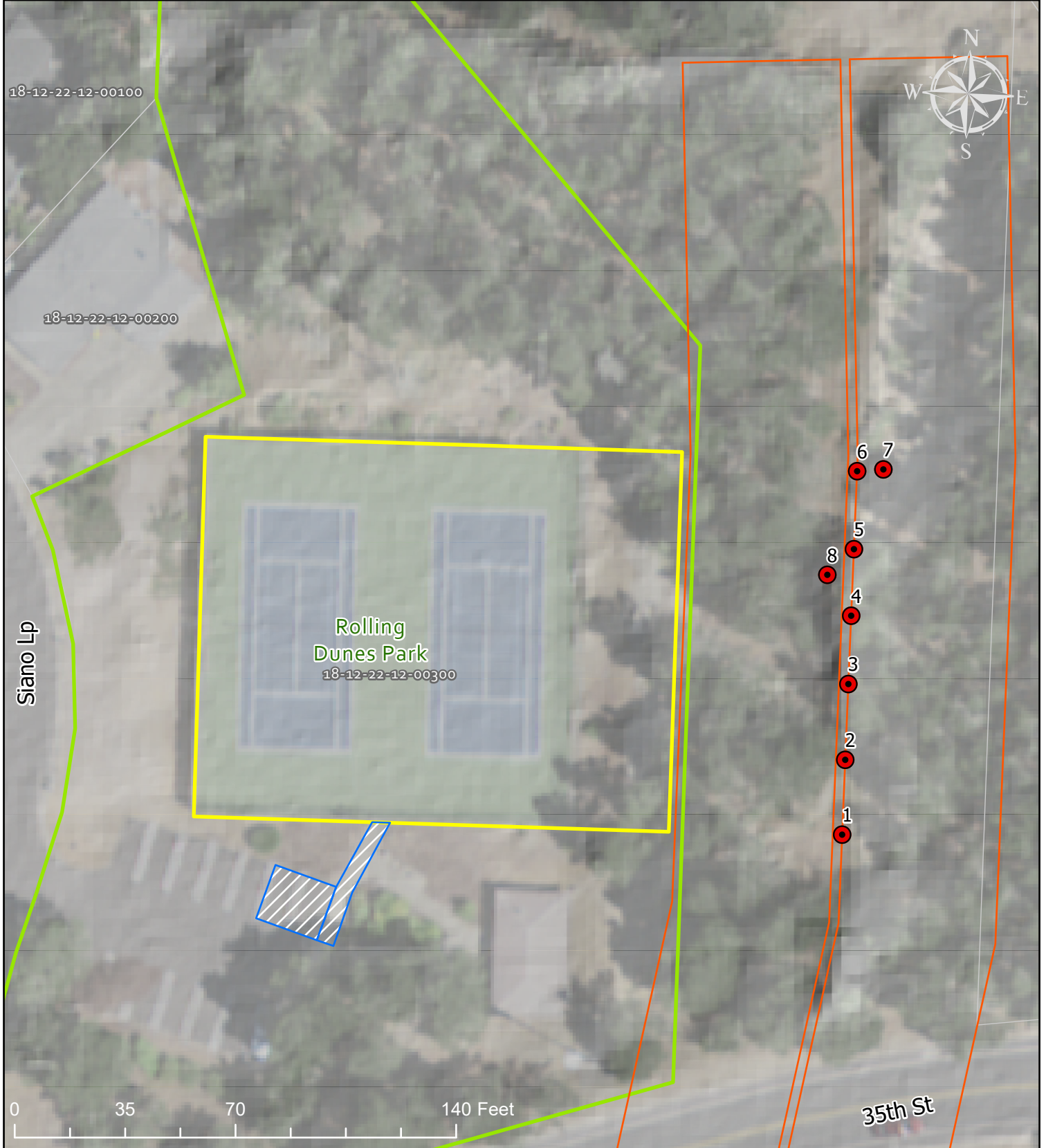
● Photopoint

▭ Pickleball Court Expansion

▭ Accessibility Upgrades

Lane County TRS 18-12-22

43.998543° -124.113189°











Modify gate handle to  
between 36-48"

Access route - regrade

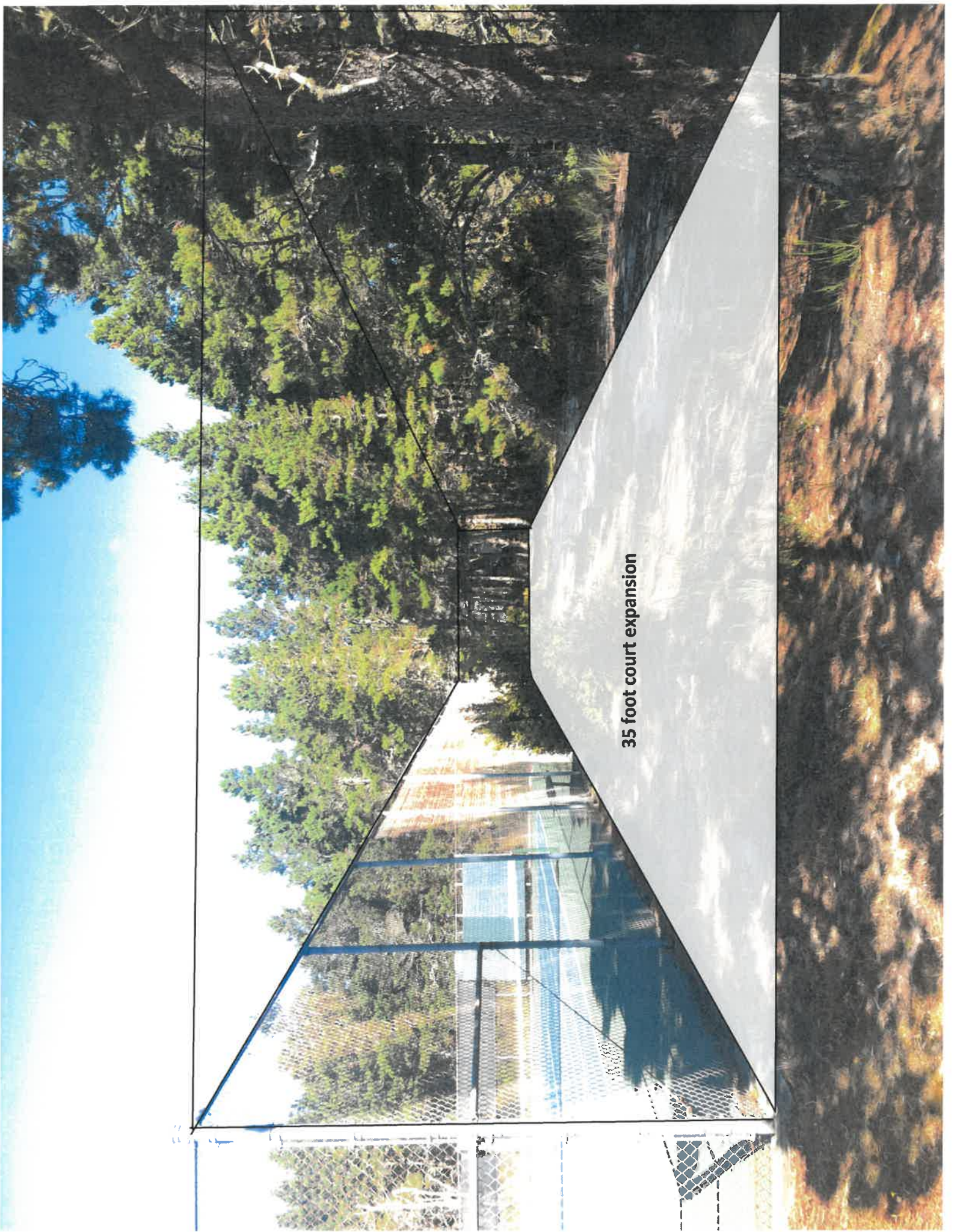
Curb ramp install

Boundary access aisle

Accessible parking space (Van)

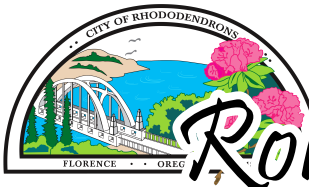






35 foot court expansion



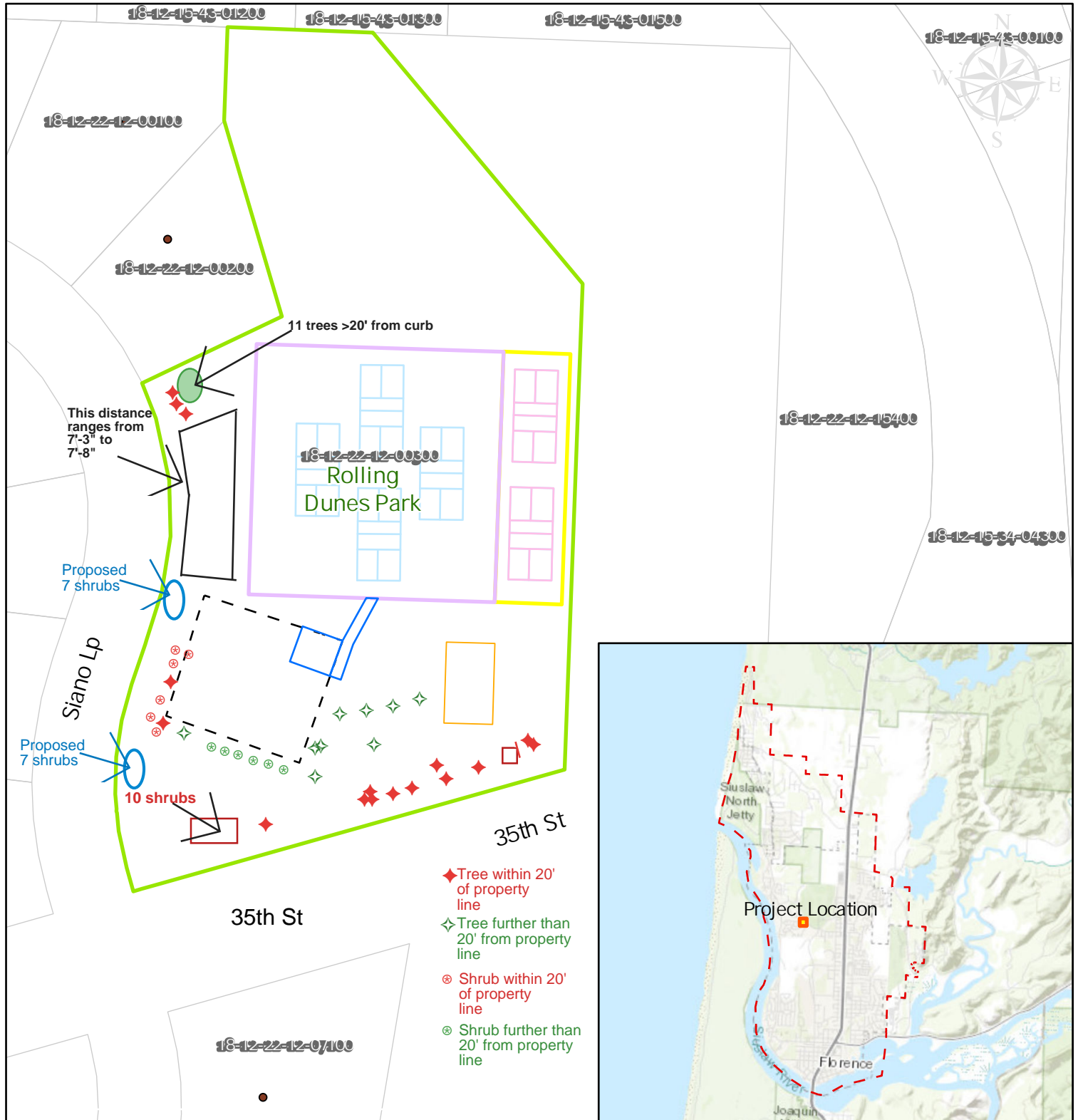


City of Florence

# Rolling Dunes Park Improvements

- Existing Pickleball Court
- Existing Fence
- Existing Parking Lot
- Existing Picnic Shelter
- Proposed Fence
- Proposed Accessibility Upgrades
- Proposed Pickleball Courts
- Rolling Dunes Park & LWCF Boundary (1.52 acres)
- Tax Lot
- Florence UGB

Lane County TRS 18-12-22  
43.998543° -124.113189°





# ROLLING DUNES

## PICKLE BALL COURT EXPANSION

Mike Miller Director of Public Works



# Rolling Dunes



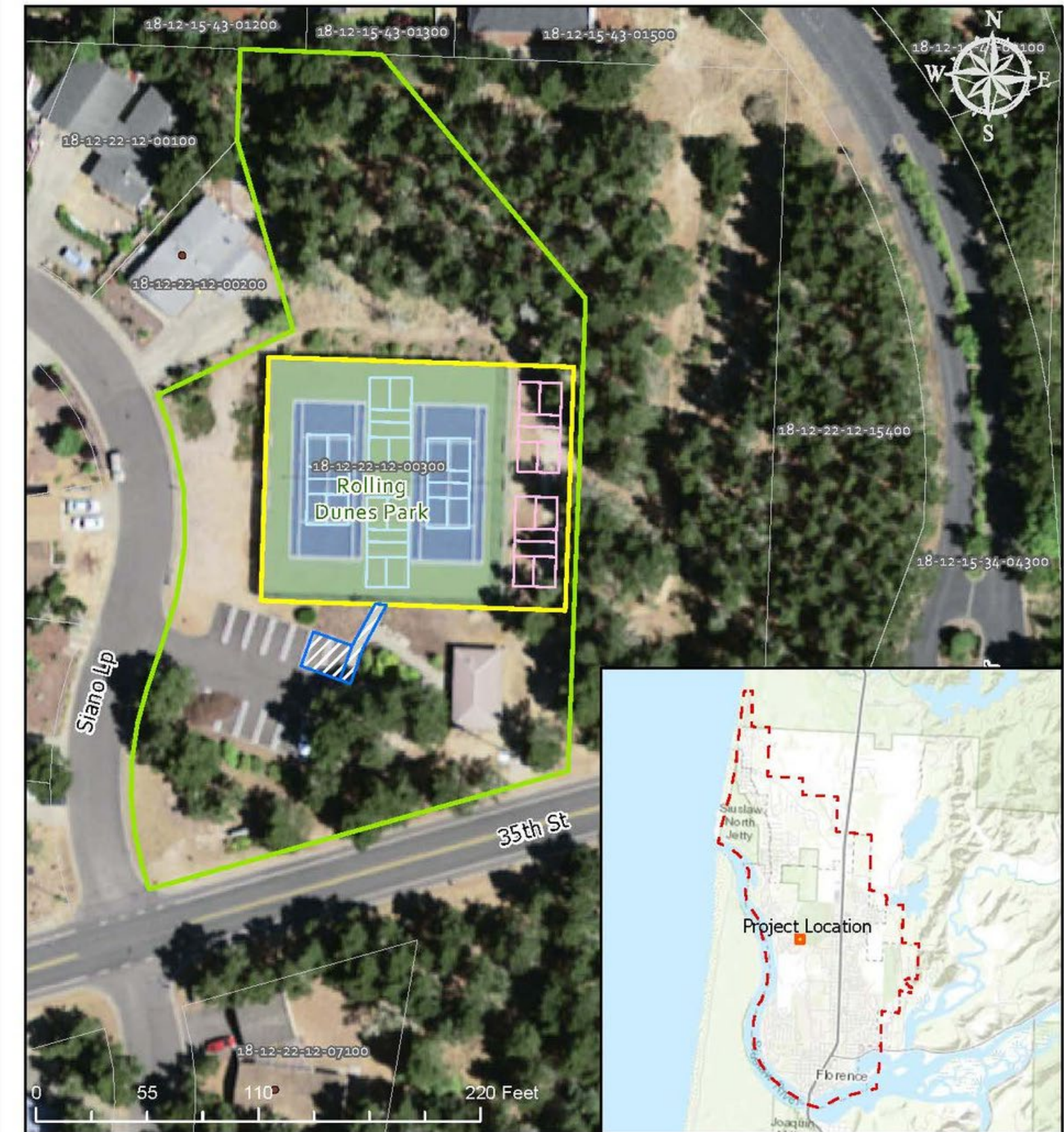
**Phase 1**  
**Court Expansion**  
**& Improvements**



**Phase 2**  
**Parking Lot Improvements &**  
**Picnic Shelter Construction**

City of Florence  
**Rolling Dunes Park Improvements**

■ Pickleball Court Expansion    □ Tax Lot    — Existing Pickleball Court    ■ Florence UGB  
■ LWCF Boundary (1.51 acres)    ■ Accessibility Upgrades    — Proposed Pickleball Courts  
Lane County    TRS 18-12-22    43.998543° -124.113189°





# Phase 1

## Court Expansion & Improvements





# Phase 2

## ADA Parking Lot & Accessibility Improvements





# Phase 2

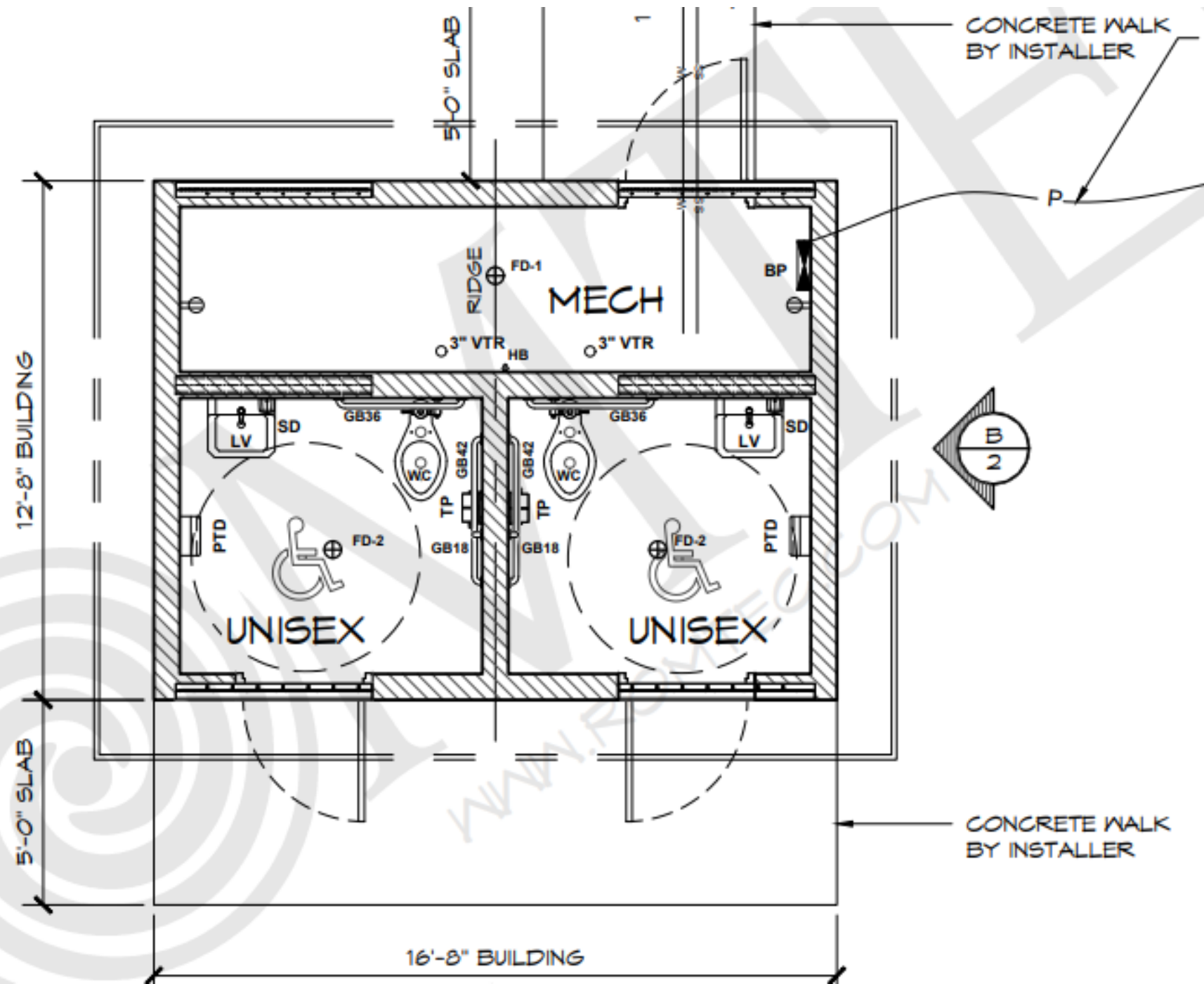
## Picnic Shelter & Restroom Construction





# Phase 2

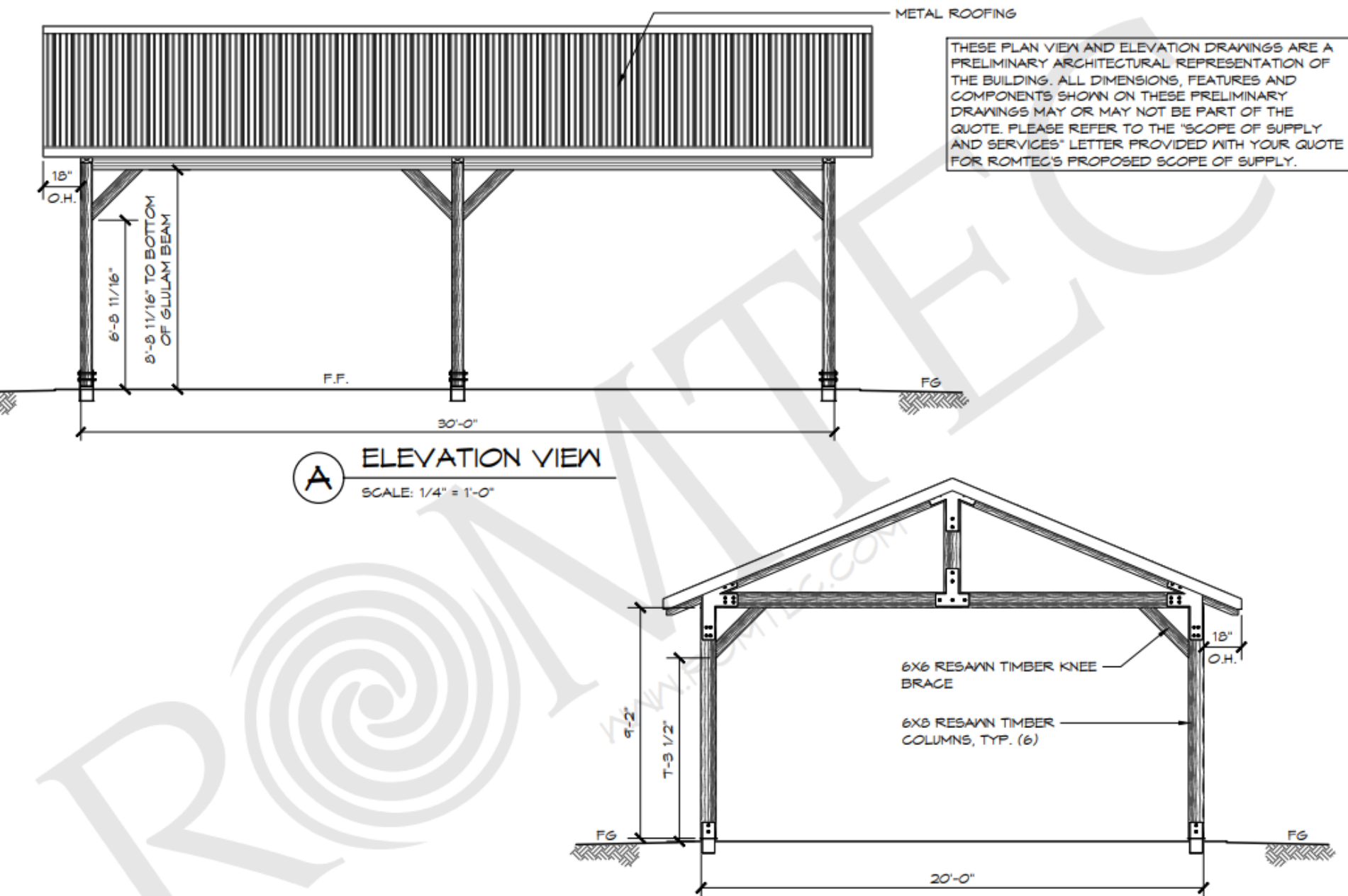
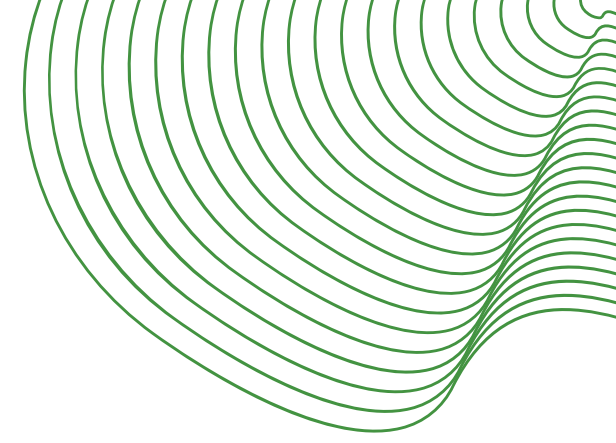
## Picnic Shelter & Restroom Construction





# Phase 2

## Picnic Shelter & Restroom Construction





# Grant Funding



Land & Water  
Conservation Fund  
\$156,500





# Estimated Construction Time Line



Land Use

April 2024



Phase 1

Court Expansion  
Fence Install  
Court Resurfacing

Summer



Phase 2

Parking Lot & ADA  
Improvements  
Picnic Shelter Construction

Fall



Construction Finished

Ribbon Cutting

Spring 2025





 Contact

541-997-4106

PublicWorks@ci.florence.or.us



CITY OF FLORENCE  
**PUBLIC WORKS**



 Website

[bit.ly/RollingDunesExpansion](https://bit.ly/RollingDunesExpansion)

## OFFSITE WETLAND DETERMINATION REPORT

OREGON DEPARTMENT OF STATE LANDS

WD#: 2021-0558

775 Summer Street NE, Suite 100, Salem OR 97301-1279 Phone: (503) 986-5200

At your request, an offsite wetland determination has been conducted on the property described below.

County: Lane

City: Florence

Other Name & Address: Kyle Terry, City of Florence, OR

Township: 18S

Range: 12W

Section: 22

Q/Q: \_\_\_\_\_

Tax Lot(s): 300

Project Name: Rolling Dunes Park Pickleball Court

Site Address/Location: Rolling Dunes Park, Florence, OR

- The Local Wetlands Inventory shows a wetland/waterway on the property.
- The county soil survey shows hydric (wet) soils on the property. Hydric soils indicate that there may be wetlands.
- It is unlikely that there are jurisdictional wetlands or waterways on the property based upon a review of wetlands maps, the county soil survey and other information. An onsite investigation by a qualified professional is the only way to be certain that there are no wetlands.
- There may be wetlands on the property that are subject to the state Removal-Fill Law.
  - A state permit is required for  $\geq 50$  cubic yards of fill, removal, or ground alteration in the wetlands or waterways.
  - A state permit may be required for any amount of fill, removal, or other ground alteration in the Essential Salmonid Habitat and hydrologically associated wetlands.
  - A state permit may be required for any amount of fill, removal, or other ground alteration in a compensatory wetland mitigation site.
- A state permit will not be required for project because estimated impacts to potential locations of jurisdictional wetlands/waters are less than 50 cubic yards.
- The proposed parcel division may create a lot that is largely wetland and thus create future development problems.
- A wetland determination or delineation is needed prior to site development; the wetland delineation report should be submitted to the Department of State Lands for review and approval.
- A permit may be required by the Army Corps of Engineers: (503) 808-4373

**Note: This report is for the state Removal-Fill Law only. City or County permits may be required for the proposed activity.**

Comments: Based on review of available information and site plan submitted, proposed park expansion appears to avoid impacts to jurisdictional wetlands or other waters.

Determination by: Matt Unitis \_\_\_\_\_

Date: 11/ 18/ 2021

This jurisdictional determination is valid for five years from the above date, unless new information necessitates a revision. Circumstances under which the Department may change a determination and procedures for renewal of an expired determination are found in OAR 141-090-0045 (available on our web site or upon request). The applicant, landowner, or agent may submit a request for reconsideration of this determination in writing within six months from the above date.

**This is a preliminary jurisdictional determination and is advisory only.**

Copy To:  Other Email: [kyle.terry@ci.florence.or.us](mailto:kyle.terry@ci.florence.or.us)  Enclosures:

City of Florence Planning Department

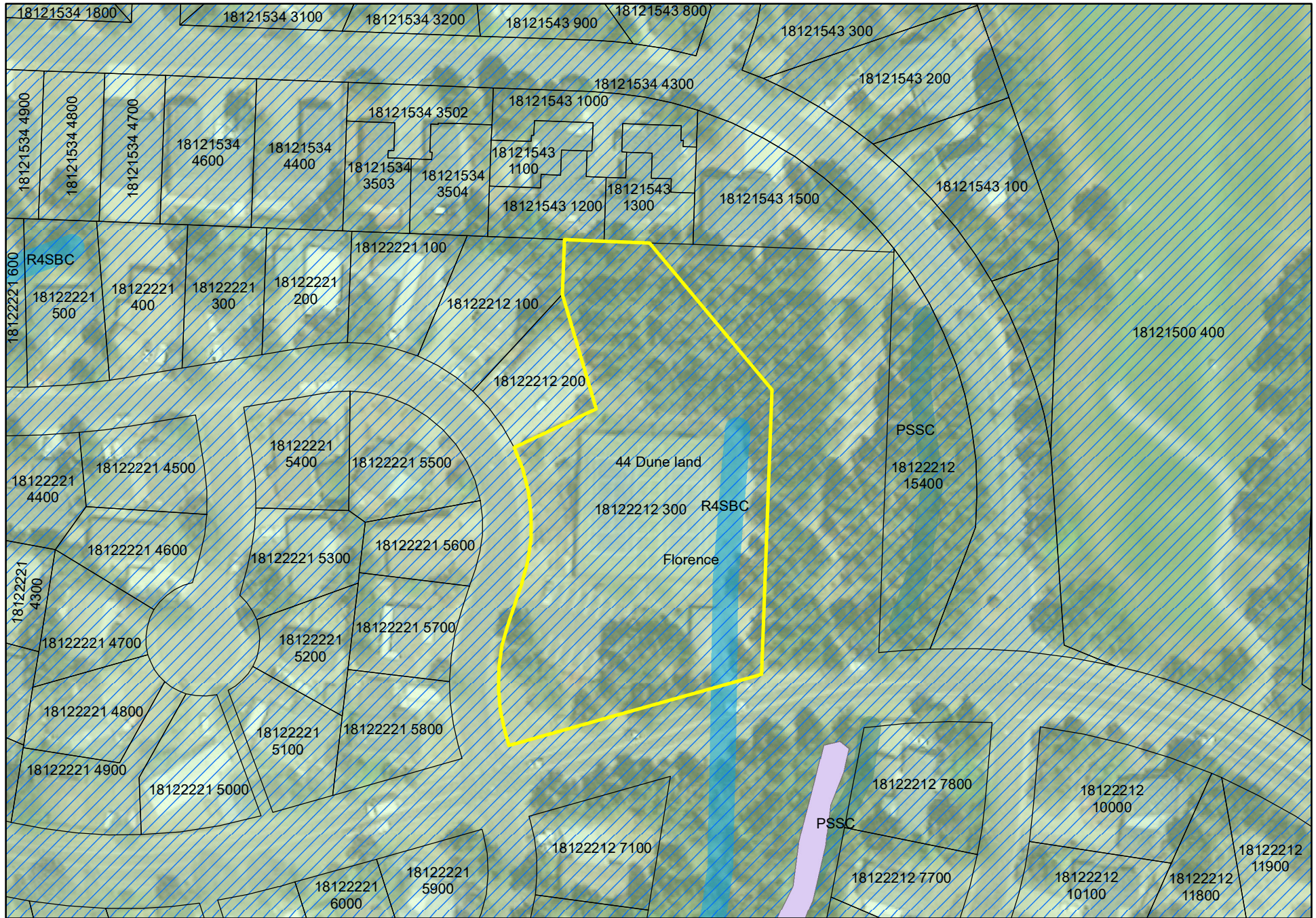
Charles Redon

### FOR OFFICE USE ONLY

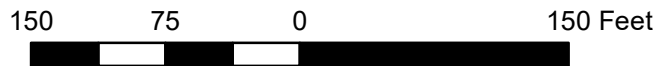
Entire Lot(s) Checked? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Waters Present <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Maybe	Request Received: 9 / 27 //2021
LWI Area: Florence	LWI Code: _____	Latitude: <u>43.998263</u> Longitude: -124.113188 Related DSL File #: None
Has Wetlands? <input type="checkbox"/> Y <input type="checkbox"/> N <input checked="" type="checkbox"/> Unk	ESH? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N	Wild & Scenic? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N
State Scenic? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N	Coast Zone? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> Unk	
Adjacent Waterbody: <u>Unnamed drainage</u>		



# WD20210558 LWI\_Soils



Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

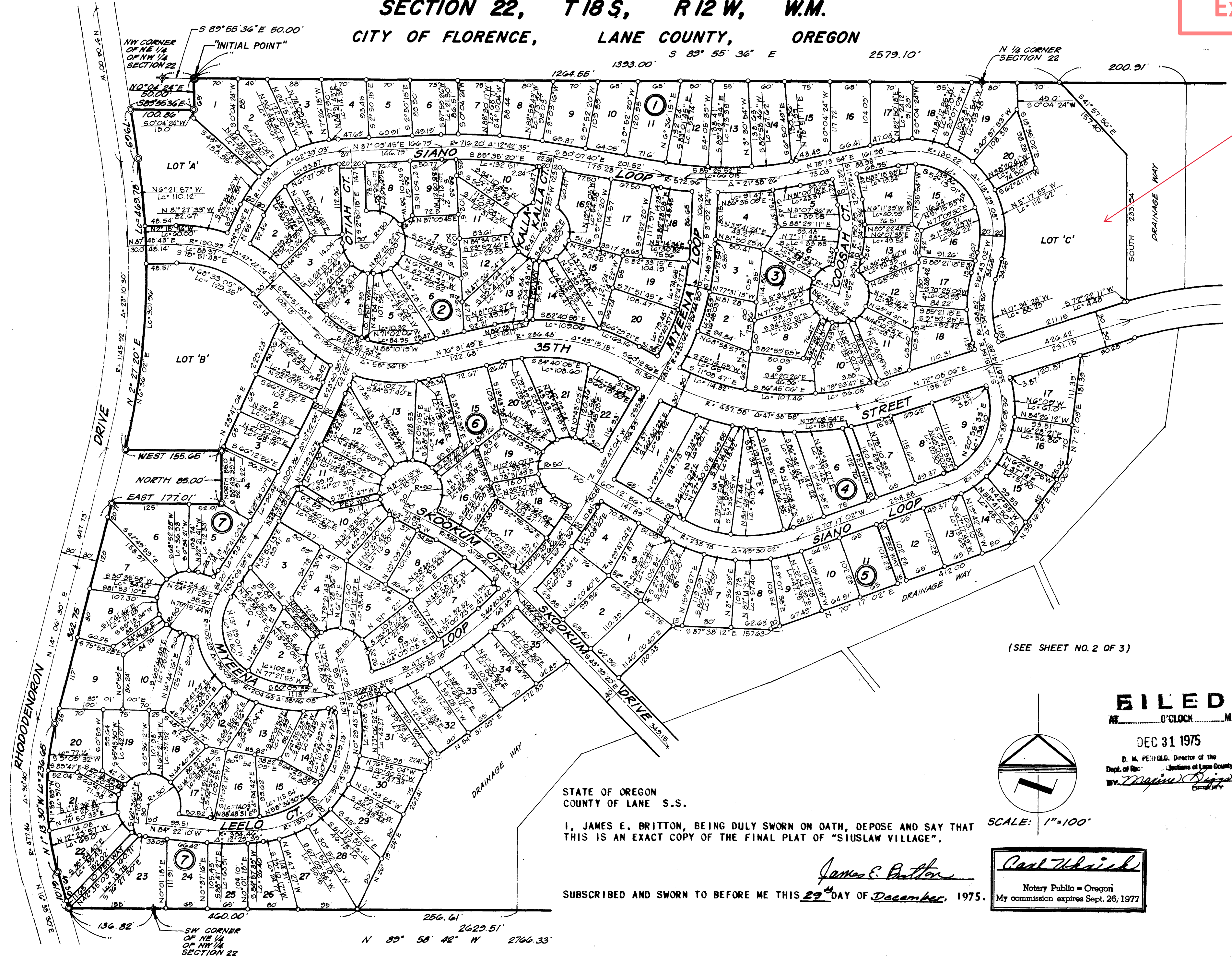




# SIUSLAW VILLAGE

SECTION 22, T18S, R12W, W.M.  
CITY OF FLORENCE, LANE COUNTY, OREGON

Exhibit G

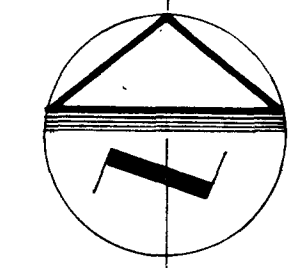


(SEE SHEET NO. 2 OF 3)

**FILED**  
AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M

DEC 31 1975

D. M. PENFIELD, Director of the  
Dept. of Rec. & Corrections of Lane County  
By: *Maguire*



SCALE: 1"=100'

STATE OF OREGON  
COUNTY OF LANE S.S.

I, JAMES E. BRITTON, BEING DULY SWORN ON OATH, DEPOSE AND SAY THAT THIS IS AN EXACT COPY OF THE FINAL PLAT OF "SIUSLAW VILLAGE".

*James E. Britton*

SUBSCRIBED AND SWORN TO BEFORE ME THIS 29<sup>th</sup> DAY OF December, 1975.

*Paul Thibault*  
Notary Public - Oregon  
My commission expires Sept. 26, 1977

Rolling Dunes Park



# SIUSLAW VILLAGE

SECTION 22, T18S, R12W, W.M.  
CITY OF FLORENCE, LANE COUNTY, OREGON

FILED  
AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M

DEC 31 1975

D. M. PEWFIELD, Director of the  
Dept. of Rec. & Corrections of Lane County  
By: *Maxine Riegel*

NE CORNER  
OF NW 1/4  
OF NE 1/4  
SECTION 22

STATE OF OREGON  
COUNTY OF LANE S.S.

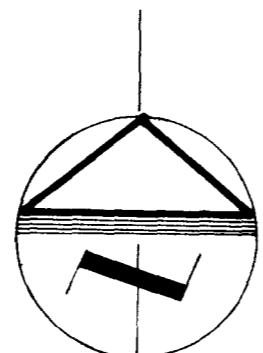
I, JAMES E. BRITTON, BEING DULY SWORN ON OATH, DEPOSE AND SAY THAT  
THIS IS AN EXACT COPY OF THE FINAL PLAT OF "SIUSLAW VILLAGE".

*James E. Britton*

SUBSCRIBED AND SWORN TO BEFORE ME THIS 29 DAY OF December, 1975.

*Carl H. Hirsch*

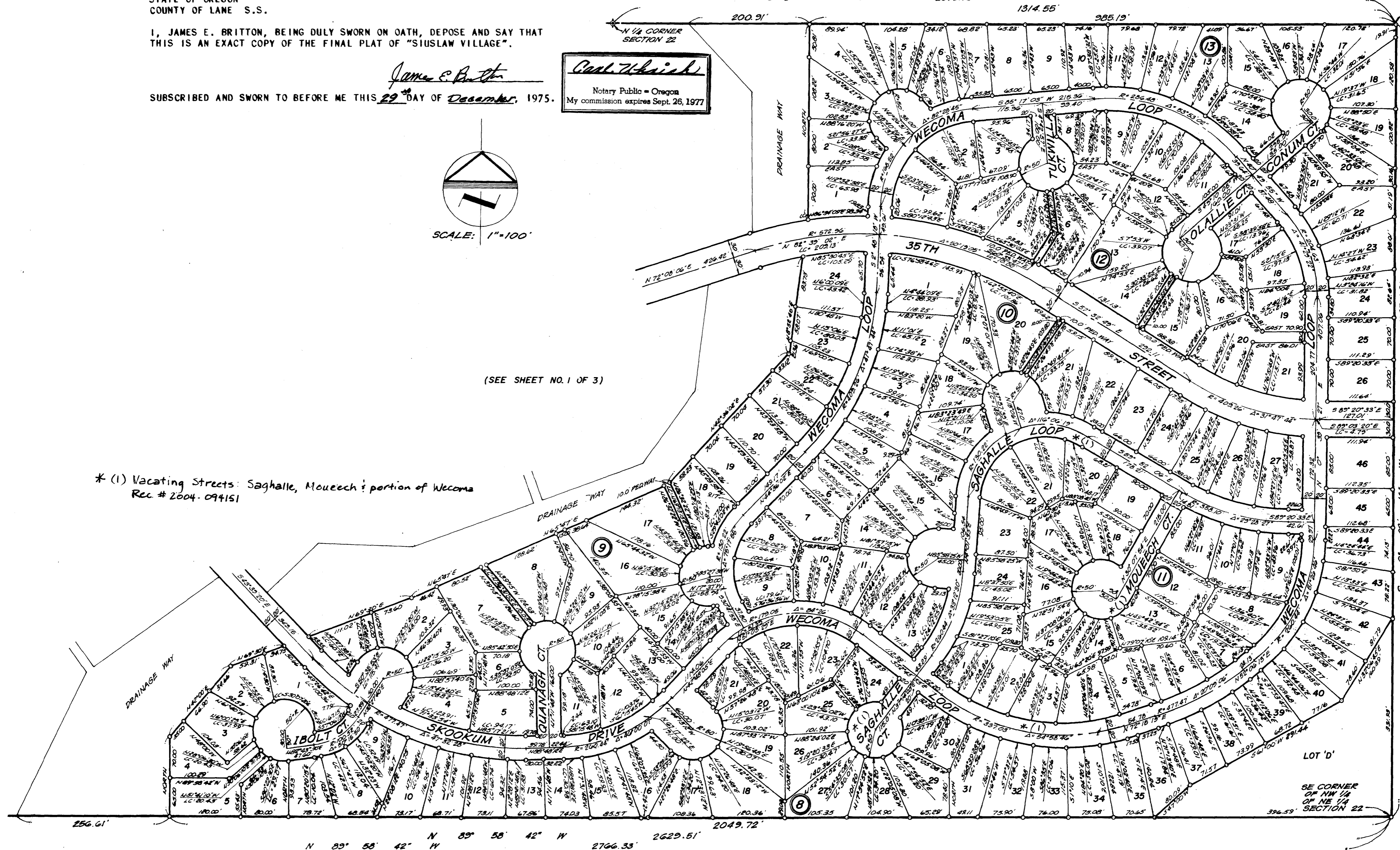
Notary Public - Oregon  
My commission expires Sept. 26, 1977



SCALE: 1"=100'

(SEE SHEET NO. 1 OF 3)

\* (1) Vacating Streets: Saghalle, Moueech; portion of Wecoma  
Rec. # 2004-094151



N 89° 58' 42" W 2766.33' 2629.51' 2049.72'

S29384

S17182

# SIUSLAW VILLAGE

SECTION 22, T18S, R12W, W.M.  
CITY OF FLORENCE, LANE COUNTY, OREGON

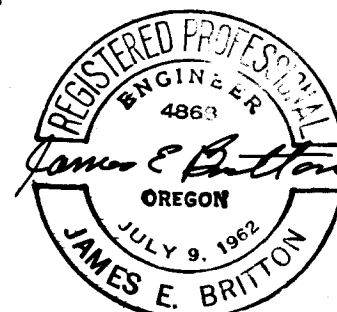
**FILED**  
AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M  
DEC 31 1975  
D. M. PENFOLD, Director of the  
Dept. of Rec. & Admin. Services of Lane County  
*Maguire*

### SURVEYOR'S CERTIFICATE

STATE OF OREGON  
COUNTY OF LANE S.S.

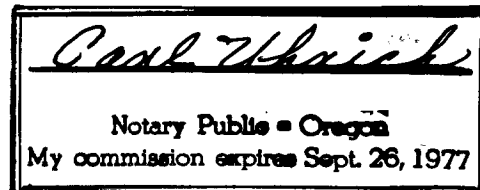
I, JAMES E. BRITTON, REGISTERED PROFESSIONAL ENGINEER, BEING FIRST DULY SWORN ON OATH, SAY THAT I HAVE CAUSED TO BE SURVEYED AND MARKED WITH PROPER MONUMENTS THE FOLLOWING DESCRIBED PLAT: BEGINNING AT THE INITIAL POINT WHICH IS MARKED BY A 2" X 36" GALVANIZED IRON PIPE DRIVEN TO 6 INCHES BELOW THE SURFACE OF THE GROUND AT A POINT SOUTH 89° 55' 36" EAST 50.00 FT. FROM THE NW CORNER OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 18 SOUTH, RANGE 12 WEST OF THE WILLAMETTE MERIDIAN, SAID POINT ALSO BEARING NORTH 89° 55' 36" WEST 1264.55 FEET FROM THE NORTH ONE-QUARTER CORNER OF SAID SECTION 22; THENCE SOUTH 89° 55' 36" EAST ALONG THE NORTH LINE OF SAID SECTION 1264.55 FEET TO THE NORTH ONE-QUARTER CORNER THEREOF; THENCE CONTINUING SOUTH 89° 55' 36" EAST ALONG SAID NORTH LINE 1314.55 FEET TO THE NORTHEAST CORNER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 22, THENCE SOUTH 0° 22' 16" WEST 1327.60 FEET TO THE SOUTHEAST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHEAST QUARTER; THENCE NORTH 89° 58' 42" WEST 2629.51 FEET TO THE SOUTHWEST CORNER OF THE NORTHEAST ONE-QUARTER OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 22; THENCE CONTINUING NORTH 89° 58' 42" WEST 136.82 FEET TO A 5/8 INCH IRON ROD FOUND ON THE EASTERLY RIGHT OF WAY LINE OF COUNTY ROAD NO. 65; THENCE NORTH 16° 33' 30" WEST ALONG SAID RIGHT OF WAY 61.01 FEET; THENCE ALONG THE ARC OF A 447.46 FOOT RADIUS CURVE TO THE RIGHT (THE LONG CHORD OF WHICH BEARS NORTH 1° 13' 30" WEST 236.65 FEET) 239.50 FEET TO A FOUND 5/8 INCH IRON ROD; THENCE NORTH 14° 06' 30" EAST 362.78 FEET TO A FOUND 5/8 INCH IRON ROD; THENCE LEAVING SAID RIGHT OF WAY EAST 177.01 FEET TO A FOUND 5/8 INCH IRON ROD; THENCE NORTH 85.0 FEET TO A 5/8 INCH IRON ROD; THENCE WEST 155.65 FEET TO A FOUND 5/8 INCH IRON ROD ON THE EASTERLY RIGHT OF WAY LINE OF SAID COUNTY ROAD; THENCE ALONG THE ARC OF A 1175.92 FOOT RADIUS CURVE TO THE LEFT (THE LONG CHORD OF WHICH BEARS NORTH 2° 27' 20" EAST 469.78 FEET) 472.96 FEET TO A FOUND 5/8 INCH IRON ROD; THENCE NORTH 9° 04' WEST 79.69 FEET TO A FOUND 5/8 INCH IRON ROD; THENCE LEAVING SAID RIGHT OF WAY SOUTH 89° 55' 36" EAST 100.86 FEET TO A FOUND 5/8 INCH IRON ROD; THENCE NORTH 0° 04' 24" EAST 50.0 FEET TO THE INITIAL POINT OF BEGINNING, ALL BEING IN SECTION 22, TOWNSHIP 18 SOUTH, RANGE 12 WEST OF THE WILLAMETTE MERIDIAN IN FLORENCE, LANE COUNTY, OREGON.

*James E. Britton*  
JAMES E. BRITTON



SUBSCRIBED AND SWORN TO BEFORE ME THIS 22<sup>nd</sup> DAY OF December, 1975 A.D.

NOTARY PUBLIC FOR OREGON *Carl Whitch*  
MY COMMISSION EXPIRES:



### LEGEND

- DENOTES CORNER OF LOT OR CURVE POINT TO BE MARKED WITH 5/8 INCH IRON ROD AFTER COMPLETION OF STREETS AND UTILITIES ADJACENT THERETO.
- ⊙ DESIGNATES 5/8 INCH IRON ROD FOUND.
- ⊙ INITIAL POINT - REPLACED FOUND 5/8 INCH IRON ROD.
- PED WAY DEDICATED PEDESTRIAN WAY (MAY BE USED FOR PUBLIC UTILITIES ALSO)
- DRAINAGE WAY DRAINAGE WAY MAY BE USED FOR OTHER BENEFICIAL PUBLIC USES NOT IN CONFLICT WITH DRAINAGE USE.

NOTE: PUBLIC UTILITY EASEMENTS OF A 5 FOOT WIDTH CONTIGUOUS WITH AND ALONG THE FULL LENGTH OF ALL STREETS, EXCEPTING 35TH STREET AND RHODODENDRON DRIVE.

### DEDICATION

KNOW ALL MEN THAT MCKENZIE PROPERTIES, INC., AN OREGON CORPORATION, DOES HEREBY LAYOUT AND SUBDIVIDE THE SAME AS SHOWN ON THE ANNEXED PLAT AND IT DOES HEREBY DEDICATE TO THE FREE USE OF THE PUBLIC FOREVER THE STREETS, EASEMENTS, PEDESTRIAN WAYS, DRAINWAYS AND OPEN SPACES AS SHOWN HEREON FOR PURPOSES OF PUBLIC BENEFIT.

MCKENZIE PROPERTIES, INC.

*Richard E. Wildish*  
RICHARD E. WILDISH  
PRESIDENT

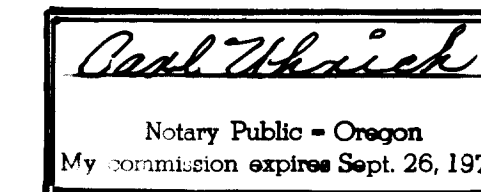
*James A. Wildish*  
JAMES A. WILDISH  
SECRETARY - TREASURER

STATE OF OREGON  
COUNTY OF LANE S.S.

PERSONALLY APPEARED RICHARD E. WILDISH AND JAMES A. WILDISH, WHO BEING DULY SWORN, SAY THAT THEY ARE THE PRESIDENT AND SECRETARY-TREASURER, RESPECTIVELY, OF MCKENZIE PROPERTIES, INC., AND THAT THIS INSTRUMENT WAS SIGNED IN BEHALF OF AND BY AUTHORITY OF SAID CORPORATION BY THE ABOVE NAMED OFFICERS AND THEY ACKNOWLEDGED SAID INSTRUMENT TO BE THEIR FREE ACT AND DEED.

SUBSCRIBED AND SWORN THIS 22<sup>nd</sup> DAY OF December, 1975

NOTARY PUBLIC FOR OREGON *Carl Whitch*  
MY COMMISSION EXPIRES:



### APPROVALS

LANE COUNTY COMMISSIONERS

*Frank A. Elliott*  
COMMISSIONER

*Nancy M. Hayward*  
COMMISSIONER

*Robert E. Wood*  
COMMISSIONER

*Kenneth J. Bylund*  
COUNTY ASSESSOR

*Lawrence B. Olson*  
COUNTY SURVEYOR

CITY OF FLORENCE - PLANNING COMMISSION

*Nancy M. Hayward*  
CHAIRMAN

*BE JAMES*  
SECRETARY

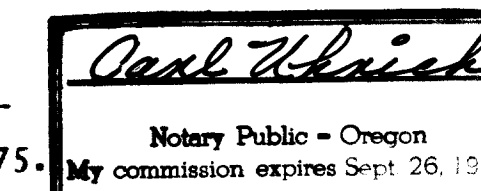
*Donald L. Bowman*  
MAYOR

STATE OF OREGON  
COUNTY OF LANE S.S.

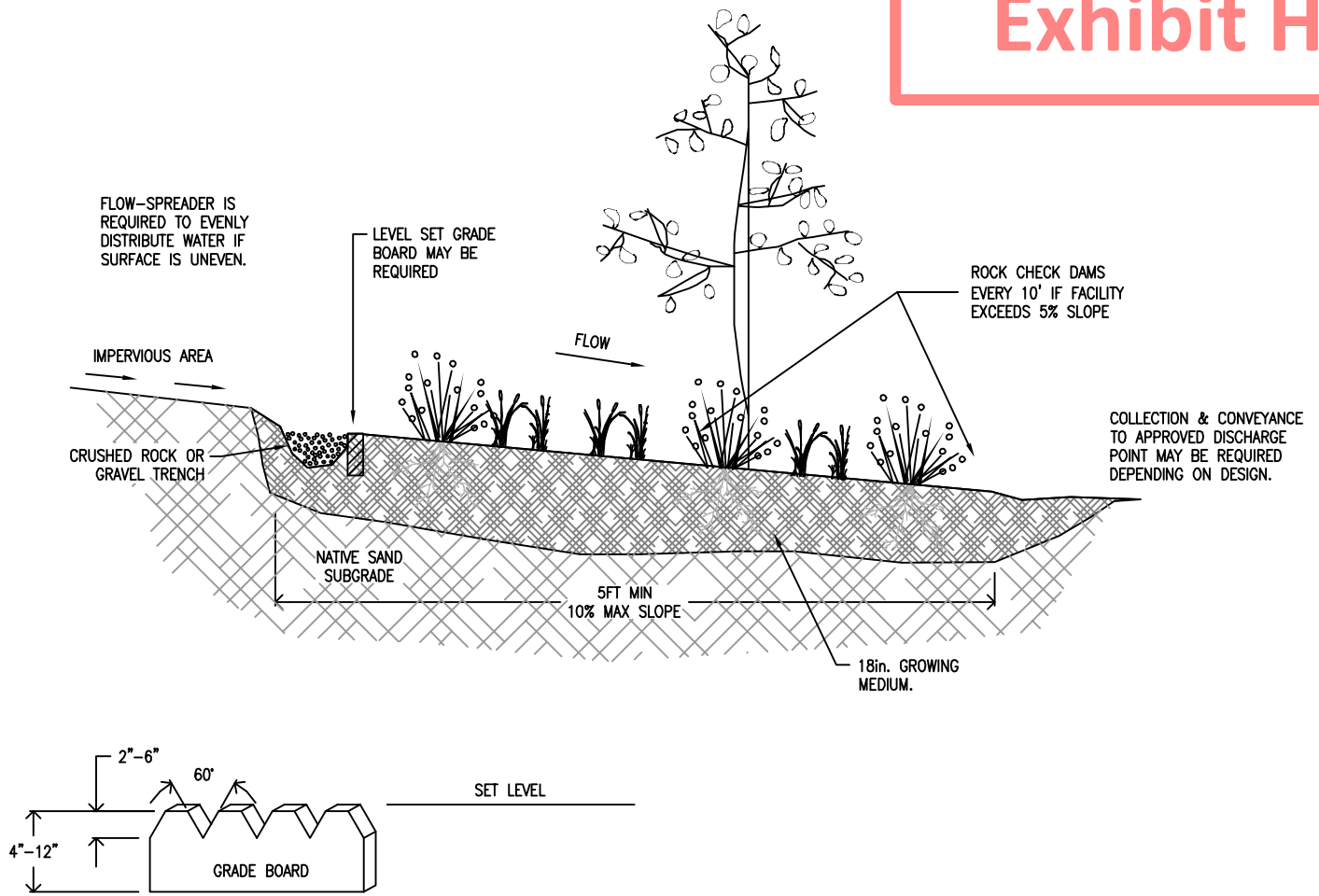
I, JAMES E. BRITTON, BEING DULY SWORN ON OATH, DEPOSE AND SAY THAT THIS IS AN EXACT COPY OF THE FINAL PLAT OF "SIUSLAW VILLAGE".

*James E. Britton*

SUBSCRIBED AND SWORN TO BEFORE ME THIS 29<sup>th</sup> DAY OF December, 1975.



# Exhibit H



1. Provide protection from all vehicle traffic, equipment staging, as well as foot traffic for proposed infiltration areas prior to and during construction.
2. Dimensions:
  - a. Flow line length: 5' minimum.
  - b. Slopes: 0.5 - 10%
3. Setbacks (from beginning of facility):
  - a. 5' from property line
  - b. 10ft from buildings
  - c. 50ft from wetlands, rivers, streams, and creeks where required.
4. Overflow: Collection from filter strip shall be specified on plans to approved discharge point according to Stormwater Design Manual.
5. Growing medium: Growing medium shall be used within the top 18" (See Appendix B for specifications).
6. Vegetation: The entire filter strip must have 100% coverage by grasses, shrubs and trees. Irrigation may be required. See Appendix G of the SWDM for approved plants.
7. Level Spreaders: A grade board or sand/gravel trench may be required to disperse the runoff evenly across the filter strip to prevent a point of discharge. The top of the level spreader must be horizontal and at an appropriate height to provide sheetflow directly to the soil without scour. Level spreaders shall not hold a permanent volume of runoff. Grade boards can be made of any material that will withstand weather and solar degradation. Trenches used as level spreaders can be filled with washed crushed rock or pea gravel.
8. Check dams: shall be placed according to facility design otherwise:
  - a. 12" in length
  - b. Equal to the width of the filter
  - c. 3 to 5" in height
  - d. Every 10' where slope exceeds 5%.
9. Inspections: Call City of Florence Public Works (541) 997-4106 to schedule appropriate inspections.

- DRAWING NOT TO SCALE -

## STORMWATER MANAGEMENT MANUAL TYPICAL DETAILS



**CITY OF FLORENCE**  
PUBLIC WORKS DEPARTMENT  
989 Spruce Street  
Florence, OR 97439  
Phone: 541-997-4106

DATE: 11-30-10

- Simplified / Presumptive /  
Performance Design Approach -  
**Filter Strip**

NUMBER

**SW-160**



## 5.6 *Vegetated Filter Strips*

See [Appendix I SW-160](#) for typical filter strip details.

**Description:** Vegetated filter strips, or vegetated filters, are gently sloping areas used to filter, slow, and infiltrate sheet flow runoff. Stormwater enters the filter as sheet flow from an impervious surface or is converted to sheet flow using a flow spreader. Flow control is achieved using the relatively large surface area, and for slopes greater than 5%, a generous proportion of check dams or terraces. Pollutants are removed through filtration and sedimentation. Filters can be planted with a variety of trees, shrubs, and ground covers, including grasses. Sod may be used for single-family residential sites and for filter strips along sidewalks. There are an infinite number of ways to fit this concept into site designs and designers are encouraged to use the site landscape areas for this purpose. An approved conveyance/destination method may be required at the end of the filter.

**Design Considerations:** When designing vegetated filters, slopes should be kept as flat as possible to prevent erosion. Spreading the flow evenly across the filter is also important in ensuring that the facility functions correctly and avoids flow channeling.

**Construction Considerations:** Vegetated filter areas should be clearly marked before site work begins to avoid soil disturbance during construction. No vehicular traffic, except that specifically used to construct the facility, should be allowed within 10 feet of filter areas. Flow spreaders must be constructed perfectly level to distribute flows evenly across the filter, and for public facilities must be surveyed after construction.

**Design Requirements:** See [Appendix I](#) for detail drawings.

**Groundwater** In high groundwater areas, groundwater must be addressed per Section 4.6.

**Soil** Topsoil shall be used within the top 18 inches of the facility per [Appendix B](#) to support plant growth. Maximum design infiltration rate of the facility is controlled by the infiltration rate of the growing medium and shall not be greater than 4 in/hr. **Soil:** Topsoil shall be used within the top 18 inches of the facility per [Appendix B](#) to support plant growth. Maximum design infiltration rate of the facility is controlled by the infiltration rate of the growing medium and shall not be greater than 4 in/hr. With a demonstrated hardship, higher design infiltration rates may be used with the infiltration blend soil (see [Appendix B](#)) if stormwater from vehicular surfaces is pretreated. Design infiltration rate shall be demonstrated with testing certified by a professional Engineer or Geologist and shall not exceed 10 inches per hour.

**Dimensions and Slopes:** The maximum slope allowable for fully planted vegetated filter strips is 10%. The maximum slope allowable for vegetated filter strips which are planted with sod only is 5%. Terraces may be used to decrease ground slopes. Minimum slopes are 0.5%.

**Setbacks:** Required setback is 10 feet from structures unless lined with impermeable fabric. Easements for non-buildable areas may be required if facilities are located near property lines.

**Sizing:** Unless used for very long, narrow projects such as pathways and trails, vegetated filters cannot be used to manage flow from more than 0.5 acre of impervious area. Filters shall be a minimum of 10 feet wide x 10 feet long. A Simplified Approach sizing factor of 0.2 may be used to receive credit for pollution reduction and flow control.

**Destination Use:** Vegetated filter strips which are designed per the Simplified Approach may be used to meet stormwater destination requirements for up to 0.5 acre of impervious surfaces. Minimum filter strip width may be reduced to 5 feet for narrow, linear impervious surfaces, such as pedestrian and bicycle paths.

**Check Dams:** When necessary, check dams allow water to pool and infiltrate into the ground and also reduce erosion as well as promote infiltration on steeper slopes. They shall be constructed of durable, non-toxic materials such as rock, brick, concrete, or soil by integrating these materials into the grading of the swale. Check dams are as long as the width of the swale, perpendicular to flow line. They generally form a 12 inch wide bench on top and measure 3 to 5 inches high, depending on the depth of the facility. See [Appendix I.3 SW-340](#) for typical check dam details.

**Landscaping:** The entire filter strip must have 100 percent coverage by native grasses, native wildflower blends, native ground covers, or any combination thereof.

**Checklist of minimal information to be shown on the permit drawings:**

- 1) Facility dimensions and setbacks from property lines and structures
- 2) Profile view of facility, including typical cross-sections with dimensions
- 3) Growing medium specification (if applicable)
- 4) All stormwater piping associated with the facility, including pipe materials, sizes, slopes, and invert elevations at every bend or connection
- 5) Landscaping plan
- 6) Flow spreader details and specifications
- 7) Check dam or terrace details and specifications

**Inspection requirements and schedule:** The following table shall be used to determine which stormwater facility components require City inspection, and when the inspection shall be requested. Please note that, while not all facility components may require an inspection call, inspectors will inspect for all required components in the field.

**Facility Component Inspection Requirement**

Filter grading if applicable	
Terraces (if applicable)	
Piping and flow spreader (if applicable)	Call for Inspection
Growing medium (if applicable)	Call for Inspection
Plantings	Call for Inspection

**Operations and Maintenance requirements:** See [Chapter 3.0](#).

---

property owner to maintain. The owner must sign an O&M agreement with the City, committing the owner and future owners to certain operation and maintenance activities.

This agreement must be recorded with Lane County prior to building permit issuance. Maintenance responsibility of Stormwater Management Facilities will be set out in the Operations and Maintenance Agreement (see Appendix for a sample agreement). For example, facilities located within public street right-of ways or easements dedicated to the City may be shared between the City and adjacent private property owner. The City's maintenance responsibility may include periodic removal of accumulated trash, debris, and sediment, and repair or replacement of curbing, inlet drains, or rock check-dams. Weeding and trimming or replacement of shrubs, grasses, or other plantings may be the responsibility of the adjacent private property owner. In order to comply with adjacent private property owners' aesthetic values, adjacent private property owners may perform trash and sediment removal on a more frequent basis than the City is capable of achieving. Under no circumstance shall a private property owner place fill, trash, lawn trimmings, or leaves into public or private stormwater facilities.

Submit the completed Form O&M with the building permit application for review by the City of Florence. The form will need to be recorded with Lane County and proof submitted to the City of Florence prior to building permit issuance.

County Clerks's Office Contact Information:  
Lane County Deeds and Records  
125 E 8th Ave  
Eugene OR 97401  
541-682-3654

# APPENDIX

# G

## Approved Tree and Plant List



Pond Plant List							
Plant Name	Planting Zone			Characteristics			
	Wet to Saturated	Moist to Dry	Dry/Upland	NW Native	Evergreen	Potential Hgt.	O.C. Spacing
Botanic name, Common Name							
<i>Vaccinium ovatum</i> , California Huckleberry		X	X			8'	4'
<i>Vaccinium parvifolium</i> , Red Huckleberry		X	X			8'	4'
<b>Trees</b>							
<i>Abies grandis</i> , Grand Fir		X		Y	Y	150'	
<i>Acer macrophyllum</i> , Big Leaf Maple		X		Y	Y	60'	
<i>Alnus rubra</i> , Red Alder	X	X		Y	N	80'	
<i>Alnus rhombifolia</i> , White Alder	X	X		Y	N	80'	
<i>Arbutus menziesii</i> , Madrone			X	Y	N	35'	
<i>Cornus nuttallii</i> , Western Flowering Dogwood		X	X	Y	N	20'	
<i>Crataegus douglasii</i> , Black Hawthorn	X			Y	N	40'	
<i>Frangula purshiana</i> , Cascara Buckthorn	X			Y	N	30'	
<i>Malus fusca</i> , Oregon Crab Apple	X	X		Y	N	30'	
<i>Picea sitchensis</i> , Sitka Spruce	X	X	X	Y	Y	200'	
<i>Pinus contorta</i> var. <i>contorta</i> , Beach Pine		X	X	Y	Y	40'	
<i>Prunus emarginata</i> var. <i>mollis</i> , Bitter Cherry	X	X		Y	N	50'	
<i>Pseudotsuga menziesii</i> , Douglas Fir		X	X	Y	Y	200'	
<i>Salix hookeriana</i> , Dune Willow	X	X		Y	N	15'	
<i>Salix scouleriana</i> , Scouler's Willow	X	X		Y	N	15'	
<i>Sequoia sempervirens</i> , Coast Redwood		X	X	Y	Y	250'	
<i>Taxus brevifolia</i> , Pacific Yew		X	X	Y	Y	25'	
<i>Thuja plicata</i> , Western Red Cedar	X	X	X	Y	Y	150'	

Pond Plant List							
Plant Name	Planting Zone			Characteristics			
	Wet to Saturated	Moist to Dry	Dry/Upland	NW Native	Evergreen	Potential Hgt.	O.C. Spacing
Botanic name, Common Name							
<i>Sagittaria latifolia</i> , Wapato	X			Y	N	24"	12"
<i>Potamogeton natans</i> , Floating-leafed Pondweed	X			Y	Y	18"	12"
<i>Schoenoplectus (Scirpus) acutus</i> var. <i>acutus</i> , Hardstem Bulrush	X			Y	N	10"	12"
<i>Schoenoplectus (Scirpus) americanus</i> , American Bulrush	X			Y	Y	30"	12"
<i>Schoenoplectus tabernaemontani</i> , Softstem Bulrush	X			Y	N	5'	12"
<i>Scirpus microcarpus</i> , Small Fruited Bulrush	X	X		Y	Y	24"	12"
<i>Sparganium emersum</i> , Narrowleaf Bur-reed	X			Y	N	24"	12"
<i>Veronica americana</i> , American Brooklime	X			Y	N	12"	12"
<i>Veronica scutellata</i> , Marsh Speedwell	X			Y	N	12"	12"
<i>Viola palustris</i> , Marsh Violet	X	X		Y	N	6"	6"
<b>Large Shrubs and Small Trees</b>							
<i>Acer circinatum</i> , Vine Maple			X	Y	N	15'	10'
<i>Amelanchier alnifolia</i> , Saskatoon Serviceberry			X	Y	N	20'	10'
<i>Holodiscus discolor</i> , Oceanspray			X	Y	N	6'	4'
<i>Lonicera involucrata</i> , Black Twinberry		X	X	Y	N	5'	4'
<i>Morella californica</i> , California Wax Myrtle	X	X		Y	Y	20'	4'
<i>Oemleria cerasiformis</i> , Indian Plum		X	X	Y	N	6'	4'
<i>Philadelphu lewisii</i> , Wild Mock Orange			X	Y	N	6'	4'
<i>Rhododendron macrophyllum</i> , Pacific Rhododendron			X	Y	Y	20'	10'
<i>Rhododendron occidentale</i> , Western Azalea			X	Y	N	10'	4'
<i>Ribes sanguineum</i> , Red-Flowering Current		X	X	Y	N	8'	4'
<i>Rubus parviflorus</i> , Thimbleberry		X		Y	N	8'	4'
<i>Rubus spectabilis</i> , Salmonberry	X	X		Y	N	10'	4'
<i>Salix geyeriana</i> , Geyer's Willow		X		Y	N	15'	6'
<i>Salix lucida</i> var. <i>'Lasiandra'</i> , Pacific Willow	X	X		Y	N	15"	6'
<i>Salix stichensis</i> , Sitka Willow	X	X		Y	N	20'	6'
<i>Sambucus racemosa</i> , Red Elderberry		X		Y	N	10'	10'
<i>Spiraea douglasii</i> , Douglas Spiraea		X		Y	N	7'	4'
<i>Viburnum edule</i> , Squashberry		X		Y	N	6'	4'
<b>Shrubs</b>							
<i>Arctostaphylos columbiana</i> , Hairy Manzanita		X	X	Y	Y	10'	4'
<i>Cornus sericea</i> , Red-twig Dogwood	X	X		Y	N	6'	4'
<i>Gaultheria shallon</i> , Salal			X	Y	Y	24"	24"
<i>Ledum glandulosum</i> , Western Labrador Tea	X	X		Y	Y	3'	3'
<i>Mahonia aquifolium</i> , Oregon Grape		X	X	Y	Y	5'	3'
<i>Mahonia nervosa</i> , Dull Oregon Grape		X		Y	Y	24"	24"
<i>Physocarpus capitatus</i> , Pacific Ninebark	X			Y	N	6'	3'
<i>Rosa gymnocarpa</i> , Baldhip Rose	X			Y	N	3'	3'
<i>Rosa nutkana</i> , Nootka Rose		X		Y	N	8'	3'
<i>Rosa pisocarpa</i> , Swamp Rose	X			Y	N	8'	3'



Pond Plant List							
Plant Name	Planting Zone			Characteristics			
	Wet to Saturated	Moist to Dry	Dry/Upland	NW Native	Evergreen	Potential Hgt.	O.C. Spacing
Botanic name, Common Name							
<b>Herbaceous Plants</b>							
<i>Achillea millefolium</i> , Common Yarrow			X	Y	N	24"	12"
<i>Agrostis exarata</i> , Spike Bentgrass		X		Y	N	4'	12"
<i>Alisma triviale</i> , Water Plantain	X			Y	N	24"	12"
<i>Athyrium felix-femina</i> , Lady Fern	X			Y		36"	24"
<i>Beckmannia syzigachne</i> , American Slough Grass	X					3'	12"
<i>Bidens cernua</i> , Nodding Beggerticks		X		Y	N	24"	12"
<i>Blechnum spicant</i> , Deer Fern	X	X		Y	N	24"	24"
<i>Bromus sitchensis</i> , Alaska Brome		X	X	Y	Y	18"	12"
<i>Calamagrostis nutkaensis</i> , Pacific Reed Grass	X			Y	Y	4'	12"
<i>Camassia leichtlinii</i> , Camas Lily		X		Y	N	24"	12"
<i>Camassia quamash</i> , Common Camas		X		Y	N	24"	12"
<i>Carex densa</i> , Dense Sedge	X	X		Y	N	24"	12"
<i>Carex lenticularis</i> , Lakeshore Sedge	X			Y	N	24"	12"
<i>Carex leptopoda</i> , Taperfruit Shortscale Sedge	X	X		Y	Y	36"	12"
<i>Carex obnupta</i> , Slough Sedge	X	X		Y	Y	4'	12"
<i>Carex stipata</i> , Sawbeak Sedge	X	X		Y	N	20"	12"
<i>Carex unilateralis</i> , One-sided Sedge	X			Y	Y	3'	12"
<i>Carex utriculata</i> , Large-headed Sedge	X			Y	Y	4'	12"
<i>Comarum palustre (Potentilla palustris)</i> , Purple Marshlocks	X			Y	N	12"	6"
<i>Danthonia californica</i> , California Oatgrass		X		Y	N	24"	6"
<i>Deschampsia cespitosa</i> , Tufted Hair Grass		X		Y	N	36"	12"
<i>Eleocharis obtusa</i> , Ovate Spike Rush	X			Y	Y	8"	12"
<i>Eleocharis palustris</i> , Creeping Spike Rush	X			Y	Y	18"	12"
<i>Elymus glaucus</i> , Blue Wild Rye		X		Y	Y	24"	12"
<i>Fragaria chiloensis</i> , Coastal Strawberry		X	X	Y	Y	6"	12"
<i>Glyceria elata</i> , Tall Managrass	X	X		Y	Y	30"	12"
<i>Glyceria occidentalis</i> , Western Manna Grass	X	X		Y	Y	18"	12"
<i>Juncus balticus</i> , Baltic Rush	X	X		Y	Y	3'	12"
<i>Juncus bolanderi</i> , Bolander's Rush	X	X		Y	Y	20"	12"
<i>Juncus effusus var. pacificus</i> , Soft rush	X	X		Y	Y	36"	12"
<i>Juncus ensifolius</i> , Dagger-leaf Rush	X	X		Y	Y	24"	12"
<i>Juncus falcatus</i> , Sickle-leafed Rush	X	X		Y	Y	12"	12"
<i>Juncus lesueurii</i> , Salt Rush	X	X		Y	Y	4'	12"
<i>Juncus nevadensis</i> , Sierra Rush	X	X		Y	Y	24"	12"
<i>Juncus oxymeris</i> , Pointed Rush	X	X		Y	Y	24"	12"
<i>Juncus patens</i> , Spreading Rush	X	X		N	Y	36"	12"
<i>Juncus tenuis</i> , Slender Rush	X	X		Y	Y	36"	12"
<i>Lotus formosissimus</i> , Seaside Bird's-foot Trefoil		X		Y	N	12"	12"
<i>Lysichiton americanus</i> , Western Skunkcabbage	X			Y	N	3'	24"
<i>Myosotis laxa</i> , Small-flowered Forget-Me-Not	X			Y	N	18"	12"
<i>Polystichum munitum</i> , Sword Fern	X	X		Y	Y	24"	24"
<i>Potentilla anserina</i> , Pacific Silverweed		X		Y	N	12"	6"

Green Street Plant List										
Plant Name		Facility Type			Characteristics					
Botanical name, Common Name		Zone	Public			NW Native	Evergreen	Potential Hgt.	O.C. Spacing	Under Powerlines
			Swale	Curb Extension	Planter					
<b>Street Trees</b>										
<i>Arbutus unedo</i> , Strawberry Tree		B		X	X	N	Y	20'	10'	Y
<i>Acer campestre</i> 'Evelyn', Queen Elizabeth Hedge Maple		A/B	X	X	X	N	N	30"	10'	N
<i>Acer rubrum</i> , 'Red Sunset' Maple		B	X	X	X	N	N	60'	20'	N
<i>Betula jacquemontii</i> , Jacquemontii Birch		A/B	X	X	X	N	N	60'	20'	N
<i>Betula papyrifera</i> , Paper Birch			X	X	X	Y	N	60'	20'	N
<i>Carpinus caroliniana</i> , American Hornbeam		A/B	X	X	X	N	N	30'	10'	Y
<i>Cedrus deodara</i> , Deodara Cypress		B	X	X	X	N	Y	50'	20'	N
<i>Celtis occidentalis</i> , Hackberry		A/B	X	X	X	N	N	50'	20'	N
x Cupressocyparis leylandii, Leyland Cypress		B				N	Y	50'	20'	N
<i>Frangula purshiana</i> , Cascara Buckthorn		A/B	X	X	X	Y	N	30'	10'	Y
<i>Gleditsia triacanthos</i> 'Impcole', Imperial Honeylocust		A/B	X	X	X	N	N	30'	10'	Y
<i>Gleditsia triacanthos</i> 'Skycole', Skyline Honeylocust		A/B	X	X	X	N	N	70'	20'	N
<i>Juglans ailantifolia</i> , Heartnut		B	X	X	X	N	N	60'	20'	N
<i>Koelreuteria paniculata</i> , Goldenrain Tree		A/B	X	X	X	N	N	30'	10'	Y
<i>Lavatera arborea</i> , Tree Mallow		B	X	X	X	N	N	8'	4'	Y
<i>Magnolia stellata</i> , Star Magnolia		B		X	X	N	Y	20'	10'	Y
<i>Nyssa sylvatica</i> , Black Tupelo		A	X	X	X	N	N	50'	20'	N
<i>Prunus serrulata</i> 'Amanogawa', Amanogawa Japanese Flowering Cherry		B	X	X	X	N	N	30'	10'	Y
<i>Prunus Serrulata</i> 'Kwanzan', Kwanzan Flowering Cherry		B	X	X	X	N	N	30'	10'	Y
<i>Prunus serrulata</i> 'Shogetsu', Shogetsu Flowering Cherry		B	X	X	X	N	N	30'	10'	Y
<i>Prunus serrulata</i> , Japanese Flowering Cherry		B	X	X	X	N	N	30'	10'	Y
<i>Prunus virginiana</i> 'Canada Red', Canada Red Chokecherry		A/B	X	X	X	N	N	25'	10'	Y
<i>Styrax japonicus</i> , Japanese Snowbell		B		X	X	N	N	30'	10'	Y

Green Street Plant List										
Plant Name		Facility Type			Characteristics					
Botanical name, Common Name		Zone	Public			NW Native	Evergreen	Potential Hgt.	O.C. Spacing	Under Powerlines
			Swale	Curb Extension	Planter					
<b>Herbaceous Plants</b>										
<i>Camassia leichtlini</i> , Great Camas		A/B	X	X	X	Y	N	24"	12"	
<i>Camassia quamash</i> , Common Camas		A/B	X	X	X	Y	N	24"	12"	
<i>Carex densa</i> , Dense Sedge		A	X	X	X	Y	Y	24"	12"	
<i>Carex obnupta</i> , Slough Sedge		A	X	X	X	Y	Y	4'	12"	
<i>Carex stipata</i> , Sawbeak Sedge		A	X	X	X	N	N	20"	12"	
<i>Festuca glauca</i> , Blue Fescue Grass										
<i>Hebe 'Autumn Glory'</i> , Hebe		B	X		X	N	Y	14"	12"	
<i>Deschampsia cespitosa</i> , Tufted Hair Grass		A/B	X	X	X	Y	N	36"	12"	
<i>Iris douglasiana</i> , Douglas Iris		B	X	X		Y	N	18"	12"	
<i>Iris tenax</i> , Oregon Iris		B	X	X		Y	N	18"	12"	
<i>Juncus patens</i> , Spreading Rush		A	X	X	X	N	Y	36"	12"	
<i>Polystichum munitum</i> , Sword Fern		A/B	X	X		Y	Y	24"	24"	
<b>Shrubs</b>										
<i>Chamaecyparis obtusa</i> , False Cypress		A/B	X	X	X	N	N	24"	24"	
<i>Cornus mas</i> , Cornelian Cherry		B	X	X	X	N	N	8'	4'	
<i>Cornus sanguinea 'Midwinter Fire'</i>		A/B	X	X	X	N	N	5'	24"	
<i>Cornus sericea 'Flaviramea'</i> , Yellow Twig Dogwood		A/B	X	X	X	N	N	5'	24"	
<i>Cornus sericea 'Kelseyii'</i> , Kelsey Dogwood		A/B	X	X	X	N	N	24"	24"	
<i>Euonymus occidentalis</i> , Western Burning Bush										
<i>Euonymus japonicus 'Microphyllus'</i> , Boxleaf Evergreen Euonymus		B	X	X		N	Y	24"	24"	
<i>Gaultheria shallon</i> , Salal		B	X	X		Y	Y	24"	24"	
<i>Lavandula angustifolia</i> Lavander		B	X	X	X	N	N	24"	24"	
<i>Lonicera nitida (Box Honeysuckle)</i>		B	X	X	X	N	Y	5'	24"	
<i>Mahonia nervosa</i> , Dull Oregon Grape		B	X	X		Y	Y	24"	24"	
<i>Spiraea betulifolia</i> , Birchleaf Spiraea		A/B	X	X	X	Y	N	24"	24"	
<i>Rhododendron occidentale</i> , Western Azalea		B	X	X	X	Y	N	20'	10'	
<i>Rhododendron macrophyllum</i> , Pacific Rhododendron		B	X	X	X	Y	Y	10'	4'	
<i>Rhododendron sp., Dwarf &amp; Hybrid Rhododendron Varieties</i>		B	X	X	X	N	Y	5'	5'	
<i>Rosmarinus officinalis</i> Rosemary		B	X	X		N	N	4'	24"	
<i>Viburnum opulus 'Nanum'</i> , Dwarf European Cranberry		B	X	X		N	N	24"	24"	
<b>Goundcovers</b>										
<i>Arctostaphylos uva-ursi</i> , Kinnickinnick		B	X	X		Y	Y	6"	12"	
<i>Fragaria chiloensis</i> , Coastal Strawberry		B	X	X	X	Y	Y	6"	12"	
<i>Helictotrichon sempervirens</i> , Blue Oat Grass		B	X	X	X	N	Y	24"	12"	
<i>Lithodora diffusa</i> , Lithodora		B	X	X	X	N	Y	6"	12"	
<i>Mahonia repens</i> , Creeping Oregon Grape		B	X	X		Y	Y	12"	12"	

Facility Plant List											
Plant Name		Proposed Facility Type						Characteristics			
Botanical name, Common Name	Zone	Swale	Planter	Rain Garden (Private)	Dry Pond	Wet Pond	Public	NW Native	Evergreen	Potential Hgt.	O.C. Spacing
							Rain Garden				
<i>Populus tremuloides</i> , Quaking Aspen	A			X			X	Y	N	40'	10
<i>Prunus emarginata var. mollis</i> , Bitter Cherry	A/B	X	X	X			X	Y	N	50'	10
<i>Pseudotsuga menziesii</i> , Douglas Fir	B	X		X			X	Y	Y	200'	30'
<i>Quercus agrifolia</i> , Coast Live Oak	B	X		X			X	N	Y	60'	20'
<i>Frangula purshiana</i> , Cascara Buckthorn	A/B	X	X	X	X		X	Y	N	30'	20'
<i>Salix hookeriana</i> , Dune Willow	A/B	X	X	X		X	X	Y	N	15'	6'
<i>Salix scouleriana</i> , Scouler's Willow	A/B	X	X	X	X	X	X	Y	N	15'	6'
<i>Sequoia sempervirens</i> , Coast Redwood	B	X		X			X	Y	Y	250'	30'
<i>Sequoiadendron giganteum</i> , Giant Redwood	B			X			X	N	Y	250'	30'
<i>Taxus brevifolia</i> , Pacific Yew	B	X	X	X	X		X	Y	Y	25'	15'
<i>Taxodium distichum</i> , Bald Cypress	A/B	X		X			X	N	N	100'	30'
<i>Thuja plicata</i> , Western Red Cedar	A/B	X		X	X		X	Y	Y	150'	30'
<i>Tsuga heterophylla</i> , Western Hemlock	B	X		X			X	Y	Y	125'	30'



Facility Plant List											
Plant Name		Proposed Facility Type						Characteristics			
Botanical name, Common Name	Zone	Swale	Planter	Rain Garden (Private)	Dry Pond	Wet Pond	Public	NW Native	Evergreen	Potential Hgt.	O.C. Spacing
							Rain Garden				
Blueberry											
<i>Empetrum nigrum</i> , Black Crowberry	A/B	X	X	X	X	X	X	Y	Y	6"	12"
<i>Eriogonum latifolium</i> , Seaside Buckwheat	A/B	X	X	X			X	Y	N	24"	12"
<i>Fragaria chiloensis</i> , Coastal Strawberry	B	X	X	X	X		X	Y	Y	6"	12"
<i>Helictotrichon sempervirens</i> , Blue Oat Grass	B	X	X	X				N	Y	24"	12"
<i>Lycopodium clavatum</i> , Running Clubmoss	A/B		X	X				Y	Y	6"	12"
<i>Satureja douglasii</i> , Yerba Buena	B	X	X	X			X	Y	Y	6"	24"
<i>Viola adunca</i> , Hookedspur Violet	B	X	X	X				Y	N	6"	12"
<i>Viola sempervirens</i> , Evergreen Violet	B	X	X	X	X		X	Y	Y	12"	12"
<i>Mahonia repens</i> , Creeping Oregon Grape	B	X	X	X	X		X	Y	Y	12"	12"
<b>Trees</b>											
<i>Abies grandis</i> , Grand Fir	B	X		X			X	Y	Y	150'	20'
<i>Acer griseum</i> , Paperbark Maple	B	X	X	X				N	N	30'	10'
<i>Acer macrophyllum</i> , Big Leaf Maple	B	X		X			X	Y	Y	80'	20'
<i>Alnus rhombifolia</i> , White Alder	A/B	X		X	X	X	X	Y	N	80'	20'
<i>Alnus rubra</i> , Red Alder	A/B	X		X	X	X	X	Y	N	80'	20'
<i>Arbutus menziesii</i> , Madrone	B	X		X			X	Y	N	35'	20'
<i>Cornus nuttallii</i> , Western Flowering Dogwood	B	X		X	X		X	Y	N	60'	20'
<i>Chamaecyparis lawsoniana</i> , Port Orford Cedar	B	X		X	X		X	Y	Y	200'	30'
<i>Corylus cornuta var. californica</i> , California Hazelnut	B	X	X	X	X		X	Y	N	15'	10'
<i>Crataegus douglasii</i> , Black Hawthorn	A/B	X		X	X	X	X	Y	N	40'	10'
<i>Garrya elliptica</i> , Wavyleaf Silktassel	B			X			X	Y	Y	15'	10'
<i>Juglans hindsii</i> , Northern California Black Walnut	B	X		X	X		X	N	N	60'	20'
<i>Malus fusca</i> , Oregon Crab Apple	A/B	X	X	X	X		X	Y	N	30'	10'
<i>Metasequoia glyptostroboides</i> , Dawn Redwood	B	X		X			X	N	N	80'	20'
<i>Picea sitchensis</i> , Sitka Spruce	B	X		X	X		X	Y	Y	200'	30'
<i>Pinus contorta var. contorta</i> , Beach Pine	B	X		X	X		X	Y	Y	40'	20'

Facility Plant List											
Plant Name		Proposed Facility Type						Characteristics			
Botanical name, Common Name	Zone	Swale	Planter	Rain Garden (Private)	Dry Pond	Wet Pond	Public	NW Native	Evergreen	Potential Hgt.	O.C. Spacing
							Rain Garden				
<i>Salix lucida</i> var. 'Lasiandra', Pacific Willow	A/B	X	X	X	X	X	X	Y	N	15'	6'
<i>Salix stichensis</i> , Sitka Willow	A	X	X	X	X	X	X	Y	N	20'	6'
<i>Sambucus racemosa</i> , Red Elderberry	B	X	X	X	X		X	Y	N	10'	10'
<i>Spiraea douglasii</i> , Douglas Spiraea	A/B	X	X	X	X	X	X	Y	N	7'	4'
<i>Viburnum edule</i> , Squashberry	A/B	X	X	X	X		X	Y	N	8'	4'
<b>Shrubs</b>											
<i>Arctostaphylos columbiana</i> , Hairy Manzanita	B	X	X	X	X		X	Y	Y	10'	4'
<i>Baccharis pilularis</i> , Coyote Brush	B			X	X			Y	Y	8'	4'
<i>Ceanothus velutinus</i> , Snowbrush	B	X		X			X	Y	Y	4'	3'
<i>Cornus sericea</i> , Red-twig Dogwood	A	X	X	X	X	X	X	Y	N	6'	3'
<i>Gaultheria shallon</i> , Salal	B	X	X	X	X		X	Y	Y	24"	24"
<i>Juniperus communis</i> , Common Juniper	B	X		X	X			Y	Y	18"	24"
<i>Ledum glandulosum</i> , Western Labrador Tea	A/B	X	X	X	X	X	X	Y	Y	3'	3'
<i>Mahonia aquifolium</i> , Tall Oregon Grape	B	X		X			X	Y	Y	5'	3'
<i>Mahonia nervosa</i> , Dull Oregon Grape	B	X		X			X	Y	Y	24"	24"
<i>Philadelphus lewisii</i> , Mock Orange	B	X		X	X		X	Y	N	10'	24"
<i>Physocarpus capitatus</i> , Pacific Ninebark	A/B	X	X	X	X	X	X	Y	N	10'	3'
<i>Rosa gymnocarpa</i> , Baldhip Rose	B	X	X	X			X	Y	N	3'	3'
<i>Rosa nutkana</i> , Nootka Rose	B	X		X	X	X	X	Y	N	8'	3'
<i>Rosa pisocarpa</i> , Swamp Rose	A/B	X	X	X		X	X	Y	N	8'	3'
<i>Vaccinium ovatum</i> , California Huckleberry	B	X		X	X		X	Y	Y	8'	4'
<i>Vaccinium parvifolium</i> , Red Huckleberry	B	X		X	X		X	Y	N	8'	4'
<b>Groundcovers</b>											
<i>Arctostaphylos uva-ursi</i> , Kinnickinnick	B	X		X				Y	Y	6"	12"
<i>Cornus canadensis</i> , Bunchberry Dogwood	B	X	X	X	X		X	Y	Y	8"	12"
<i>Vaccinium oxycoccos</i> , Small Cranberry	A	X	X	X		X	X	Y	Y	12"	12"
<i>Vaccinium uliginosum</i> , Bog	A	X	X	X		X	X	Y	N	18"	12"

Facility Plant List											
Plant Name		Proposed Facility Type						Characteristics			
Botanical name, Common Name	Zone	Swale	Planter	Rain Garden (Private)	Dry Pond	Wet Pond	Public	NW Native	Evergreen	Potential Hgt.	O.C. Spacing
							Rain Garden				
Golden Blue-eyed Grass											
<i>Spiranthes romanzoffiana</i> , Hooded Ladies' Tresses	A		X	X	X			Y	N	24"	12"
<i>Sparganium emersum</i> , Narrowleaf Bur-reed	A	X		X		X	X	Y	Y	6"	12"
<i>Stachys cooleyae</i> , Hedge Nettle	A	X	X	X	X		X	Y	N	4'	6"
<i>Tellima grandiflora</i> , Fringecup	B	X	X	X				Y	N	3"	12"
<i>Thalictrum occidentale</i> , Western Meadowrue	B	X	X	X				Y	N	24"	12"
<i>Tolmiea menziesii</i> , Piggyback Plant	B	X	X	X				Y	N	24"	12"
<i>Veronica Americana</i> , American Brooklime	A	X	X	X		X	X	Y	N	3'	12"
<i>Veronica scutellata</i> , Marsh Speedwell	A	X	X	X		X	X	Y	N	24"	12"
<b>Large Shrubs and Small Trees</b>											
<i>Acer circinatum</i> , Vine Maple	A/B	X	X	X			X	Y	N	15'	10'
<i>Amelanchier alnifolia</i> , Saskatoon Serviceberry	B	X		X	X		X	Y	N	12'	10'
<i>Ceanothus gloriosus</i> , Point Reyes Ceanothus	B	X	X	X			X	N	Y	6'	3'
<i>Ceanothus sanguineus</i> , Oregon Redstem Ceanothus	B	X		X			X	Y	Y	7'	4'
<i>Holodiscus discolor</i> , Oceanspray	B	X		X			X	Y	N	6'	4'
<i>Lonicera hispidula</i> , Pink Honeysuckle	B	X		X	X		X	Y	N	20'	6'
<i>Lonicera involucrata</i> , Twinberry Honeysuckle	B	X		X	X	X	X	Y	N	5'	4'
<i>Morella californica</i> , California Wax Myrtle	B	X	X	X	X	X	X	Y	Y	20'	10'
<i>Oemleria cerasiformis</i> , Indian Plum	B	X		X	X		X	Y	N	6'	4'
<i>Rhododendron macrophyllum</i> , Pacific Rhododendron	B	X	X	X			X	Y	Y	20'	10'
<i>Rhododendron occidentale</i> , Western Azalea	B	X	X	X			X	Y	N	10'	4'
<i>Ribes bracteosum</i> , Bog Currant	A/B	X		X	X		X	Y	N	8'	6'
<i>Ribes divaricatum</i> , Straggly Gooseberry	B	X	X	X			X	Y	N	10'	4'
<i>Ribes sanguineum</i> , Red-Flowering Currant	B	X	X	X	X		X	Y	N	8'	4'
<i>Rubus parviflorus</i> , Thimbleberry	B	X		X	X	X	X	Y	N	8'	4'
<i>Rubus spectabilis</i> , Salmonberry	A/B	X	X	X	X	X	X	Y	N	10'	4'
<i>Salix geyeriana</i> , Geyer's Willow	A	X		X	X	X	X	Y	N	15'	6'



Facility Plant List											
Plant Name		Proposed Facility Type						Characteristics			
Botanical name, Common Name	Zone	Swale	Planter	Rain Garden (Private)	Dry Pond	Wet Pond	Public	NW Native	Evergreen	Potential Hgt.	O.C. Spacing
							Rain Garden				
Monkey-flower											
<i>Nuphar lutea</i> , Yellow Pond-lily	A					X		Y	Y	6"	12"
<i>Oenanthe sarmentosa</i> , Pacific Water Parsley	A	X		X		X	X	Y	N	3'	24"
<i>Polypodium glycyrrhiza</i> , Licorice Fern	A	X	X	X				Y	Y	12"	12"
<i>Panicum acuminatum</i> , Western Panic Grass	A	X		X	X		X	Y	N	24"	6"
<i>Polystichum munitum</i> , Sword Fern	A/B	X		X	X		X	Y	Y	24"	24"
<i>Potentilla anserina</i> , Pacific Silverweed	A	X		X	X	X	X	Y	N	12"	6"
<i>Plagiobothrys figuratus</i> , Fragrant Popcorn Flower	A	X	X	X	X		X	Y	N	12"	6"
<i>Plectritis congesta</i> , Rosy Plectritis	A	X		X	X		X	Y	N	12"	6"
<i>Prunella vulgaris</i> var. <i>lanceolata</i> , Self-heal	B	X	X	X	X		X	Y	N	12"	6'
<i>Ranunculus occidentalis</i> , Western Buttercup	A/B	X	X	X			X	Y	N	24"	12"
<i>Ranunculus orthorhyncus</i> , Straightbeak Buttercup	A	X	X	X			X	Y	N	24"	12"
<i>Rumex salicifolius</i> , Willow Dock	A	X		X	X		X	Y	N	3'	12"
<i>Sanguisorba officinalis</i> , Great Burnet	A	X	X	X	X		X	Y	N	24"	12"
<i>Schoenoplectus (Scirpus) acutus</i> var. <i>acutus</i> , Hardstem Bulrush	A	X	X	X		X		Y	N	5'	12"
<i>Schoenoplectus (Scirpus) americanus</i> , American Bulrush	A	X	X	X		X	X	Y	N	3'	12"
<i>Schoenoplectus tabernaemontani</i> , Softstem Bulrush	A	X	X	X		X		Y	N	5'	12"
<i>Scirpus microcarpus</i> , Small Fruited Bulrush	A			X		X	X	Y	Y	24"	12"
<i>Scrophularia californica</i> , California Figwort	A	X	X	X			X	Y	N	12"	6"
<i>Sedum oreganum</i> , Oregon Stonecrop	B	X	X					Y	Y	4"	12"
<i>Sidalcea hendersonii</i> , Henderson's Checkerbloom	B	X	X	X	X		X	Y	N	5'	12"
<i>Sidalcea malviflora</i> , Dwarf Checkerbloom	B	X	X	X	X		X	Y	N	12"	6"
<i>Sisyrinchium californicum</i> ,	A/B	X	X	X	X			N	Y	6"	12"

Facility Plant List											
Plant Name		Proposed Facility Type						Characteristics			
Botanical name, Common Name	Zone	Swale	Planter	Rain Garden (Private)	Dry Pond	Wet Pond	Public	NW Native	Evergreen	Potential Hgt.	O.C. Spacing
							Rain Garden				
<i>Gentiana sceptrum</i> , King's Scepter Gentian	A	X	X	X		X	X	Y	N	24"	6"
<i>Glyceria elata</i> , Tall Managrass	A			X		X	X	Y	Y	3'	12"
<i>Glyceria occidentalis</i> , Western Manna Grass	A			X		X	X	Y	Y	18"	12"
<i>Heuchera micrantha</i> , Crevice Alumroot	B		X	X			X	Y	N	24"	6"
<i>Iris douglasiana</i> , Douglas Iris	B	X		X			X	Y	N	18"	12"
<i>Iris sibirica</i> , Siberian Iris	A	X	X	X				N	N	3'	12"
<i>Iris tenax</i> , Oregon Iris	B	X		X			X	Y	N	18"	12"
<i>Juncus articulatus</i> , Jointed Rush	A	X	X	X		X	X	Y	Y	3'	12"
<i>Juncus balticus</i> , Baltic Rush	A	X	X	X		X	X	Y	N	24"	12"
<i>Juncus bolanderi</i> , Bolander's Rush	A	X	X	X		X	X	Y	Y	24"	12"
<i>Juncus effusus</i> var. <i>pacificus</i> , Soft Rush	A	X	X	X			X	Y	Y	3'	12"
<i>Juncus ensifolius</i> , Dagger-leaf Rush	A	X	X	X		X	X	Y	N	10"	12"
<i>Juncus falcatus</i> , Sickle-leafed Rush	A	X	X	X		X	X	Y	Y	12"	12"
<i>Juncus lesueurii</i> , Salt Rush	A	X	X	X		X	X	Y	Y	4'	12"
<i>Juncus nevadensis</i> , Sierra Rush	A	X	X	X		X	X	Y	Y	24"	12"
<i>Juncus oxymers</i> , Pointed Rush	A	X	X	X		X	X	Y	Y	24"	12"
<i>Juncus patens</i> , Spreading Rush	A	X	X	X	X	X	X	Y	Y	3'	12"
<i>Lasthenia californica</i> , Perennial Goldfields	B	X	X	X			X	Y	N	12"	6"
<i>Lilium columbianum</i> , Columbia Lily	B	X	X	X			X	Y	N	3'	12"
<i>Lotus formosissimus</i> , Seaside Bird's-foot Trefoil	A	X	X	X	X		X	Y	N	12"	12"
<i>Lotus purshianus</i> , Spanish Clover	B	X	X	X	X		X	Y	N	12"	12"
<i>Lotus pinnatus</i> , Bog Trefoil	A	X	X	X	X		X	Y	N	12"	12"
<i>Lupinus micranthus</i> , Small Flowered Lupine	B	X		X			X	Y	N	18"	12"
<i>Lupinus albicaulis</i> , Sickle Keeled Lupine	A/B	X	X	X	X		X	Y	N	24"	12"
<i>Lysichiton americanus</i> , Western Skunkcabbage	A	X		X	X	X	X	Y	N	3'	24"
<i>Lysimachia terrestris</i> , Earth Loosestrife	A	X		X			X	Y	N	12"	12"
<i>Maianthemum dilatatum</i> , False Lily of the Valley	A	X	X	X			X	Y	Y	12"	6"
<i>Mimulus guttatus</i> , Yellow	A	X	X	X	X		X	Y	N	24"	12"

Facility Plant List											
Plant Name		Proposed Facility Type						Characteristics			
Botanical name, Common Name	Zone	Swale	Planter	Rain Garden (Private)	Dry Pond	Wet Pond	Public	NW Native	Evergreen	Potential Hgt.	O.C. Spacing
							Rain Garden				
<i>Carex lyngbyei</i> , Lyngby's Sedge	A	X		X		X	X	Y	Y	24"	12"
<i>Carex obnupta</i> , Slough Sedge	A	X	X	X	X	X	X	Y	Y	4'	12"
<i>Carex pansa</i> , Sanddune Sedge	B	X		X	X		X	Y	Y	24"	12"
<i>Carex stipata</i> , Sawbeak Sedge	A	X	X	X				Y	N	24"	12"
<i>Carex unilateralis</i> , One-sided Sedge	A	X		X		X	X	Y	Y	3'	12"
<i>Carex utriculata</i> , Large-headed Sedge	A	X		X		X	X	Y	Y	4'	12"
<i>Castilleja affinis</i> ssp. <i>litoralis</i> , Coast Indian Paintbrush	B	X	X	X			X	Y	N	12"	6"
<i>Clarkia amoena</i> ssp. <i>amoena</i> , Farewell to Spring	B	X	X	X			X	Y	N	12"	6"
<i>Comarum palustre</i> ( <i>Potentilla palustris</i> ), Purple Marshlocks	A	X	X	X	X		X	Y	N	12"	6"
<i>Danthonia californica</i> , California Oatgrass	B	X		X			X	Y	N	24"	6"
<i>Dicentra formosa</i> , Bleeding Heart	B	X	X	X			X	Y	N	12"	6"
<i>Deschampsia cespitosa</i> , Tufted Hair Grass	A/B	X	X	X	X		X	Y	N	3'	12"
<i>Drosera rotundifolia</i> , Roundleaf Sundew	A	X	X	X		X		Y	Y	1"	1"
<i>Eleocharis acicularis</i> , Needle Spike Rush	A	X	X	X		X	X	Y	Y	4"	12"
<i>Eleocharis obtusa</i> , Ovate Spike Rush	A	X	X	X		X	X	Y	Y	8"	12"
<i>Eleocharis palustris</i> , Creeping Spike Rush	A			X		X	X	Y	Y	18"	12"
<i>Elymus glaucus</i> , Blue Wild Rye	B	X		X			X	Y	Y	24"	12"
<i>Erigeron glaucus</i> , Seaside Fleabane	B	X	X	X			X	Y	N	12"	6"
<i>Eriophorum chamissonis</i> , Chamisso's Cottongrass	A	X		X		X	X	Y	N	24"	6"
<i>Eriophorum crinigerum</i> , Fringed Cottongrass	A	X		X		X	X	Y	N	24"	6"
<i>Erysimum capitatum</i> , Sanddune Wallflower	B	X	X	X			X	Y	N	4'	12"
<i>Festuca occidentalis</i> , Western Fescue Grass	A	X		X			X	Y	N	24"	12"
<i>Festuca roemerii</i> , Roemer's Fescue	B	X		X			X	Y	N	12"	6"
<i>Festuca rubra</i> , Red Fescue	B	X		X			X	Y	Y	24"	12"
<i>Geum macrophyllum</i> , Large-leaved Avens	B	X	X	X			X	Y	N	3'	12"



Facility Plant List											
Plant Name		Proposed Facility Type						Characteristics			
Botanical name, Common Name	Zone	Swale	Planter	Rain Garden (Private)	Dry Pond	Wet Pond	Public	NW Native	Evergreen	Potential Hgt.	O.C. Spacing
							Rain Garden				
<b>Herbaceous Plants</b>											
<i>Aster subspicatus</i> , Douglas' Aster	B	X		X			X	Y	N	3'	12"
<i>Actaea rubra</i> , Wild Baneberry	B	X		X				Y	N	3'	12"
<i>Achillea millefolium</i> , Common Yarrow	B	X	X	X	X		X	Y	N	24"	12"
<i>Agrostis exarata</i> , Spike Bentgrass	A	X		X	X	X	X	Y	N	4'	12"
<i>Angelica hendersonii</i> , Henderson's Angelica	A/B	X	X	X				Y	N	3'	12"
<i>Angelica lucida</i> , Seacoast Angelica	A/B	X	X	X			X	Y	N	3'	12"
<i>Alisma triviale</i> , American Water Plantain	A	X		X		X	X	Y	N	3'	12"
<i>Aquilegia formosa</i> , Red Columbine	B	X	X	X			X	Y	N	24"	12"
<i>Armeria maritima</i> , Sea Thrift	B	X	X	X	X		X	Y	N	24"	6"
<i>Asclepias speciosa</i> , Showy Milkweed	B	X	X	X			X	Y	N	3'	12"
<i>Athyrium felix-femina</i> , Lady Fern	B	X		X			X	Y	N	3'	24"
<i>Beckmannia syzigachne</i> , American Slough Grass	A	X		X	X	X	X	Y	N	3'	6"
<i>Brodiaea coronaria</i> , Harvest Brodiaea	B	X	X	X			X	Y	N	10"	6"
<i>Blechnum spicant</i> , Deer Fern	B	X		X			X	Y	N	24"	24"
<i>Bromus carinatus</i> , California Brome Grass	A	X		X	X		X	Y	Y	18"	12"
<i>Bromus sitchensis</i> , Alaska Brome	A	X		X	X		X	Y	Y	18"	12"
<i>Bromus vulgaris</i> , Columbia Brome	A	X		X			X	Y	Y	18"	12"
<i>Calamagrostis nutkaensis</i> , Pacific Reed Grass	A	X		X	X		X	Y	Y	4'	12"
<i>Calamagrostis canadensis var. canadensis</i> , Canada Bluejoint Reedgrass	A	X		X	X		X	Y	Y	24"	6"
<i>Camassia leichlinii</i> , Camas Lily	A	X	X	X				Y	N	24"	12"
<i>Camassia quamash</i> , Common Camas	A/B	X	X	X			X	Y	N	24"	12"
<i>Carex densa</i> , Dense Sedge	A	X	X	X		X	X	Y	Y	24"	12"
<i>Carex lenticularis</i> , Lakeshore Sedge	A	X		X		X	X	Y	Y	3'	12"
<i>Carex leptopoda</i> , Taperfruit Shortscale Sedge	A	X		X		X	X	Y	Y	18"	12"

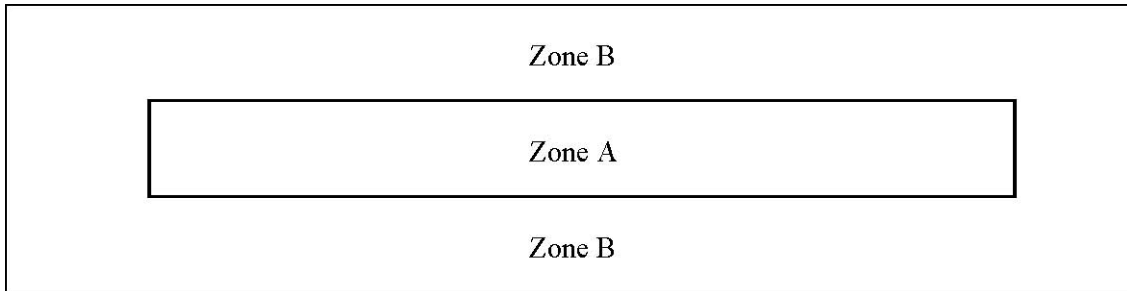
Grassy Swale Native Seed Mix	
<u>Species</u>	<u>% by Weight</u>
<i>Hordeum brachyantherum</i> Meadow Barley	= 25%
<i>Danthonia californica</i> California Oat-grass	= 15%
<i>Elymus glaucus</i> Blue Wild Rye	= 10%
<i>Bromus carinatus</i> California Brome	= 10%
<i>Festuca romerii</i> Roemer's fescue	= 10%
<i>Deschampsia cespitosa</i> Tufted hairgrass	= 10%
<i>Agrostis exarata</i> Spike bentgrass	= 10%
<i>Poa secunda</i>	= 5%
<i>Prunella vulgaris var lanceolata</i> , Self Heal	= 4%
<i>Achillea millefolium</i> , Common Yarrow	= 1%

## APPENDIX G: CITY OF FLORENCE PLANTING TEMPLATES AND PLANT LIST

**Zone A:** Area of the facility defined as the bottom of the facility to the designed high water mark. This area has moist to wet soils and plants located here should be tolerant of mild inundation.

**Zone B:** Area of the facility defined as the side slopes from the designed high water line up to the edge of the facility. This area typically has dryer to moist soils, with the moist soils being located further down the side slopes. Plants here should be drought tolerant and help stabilize the slopes.

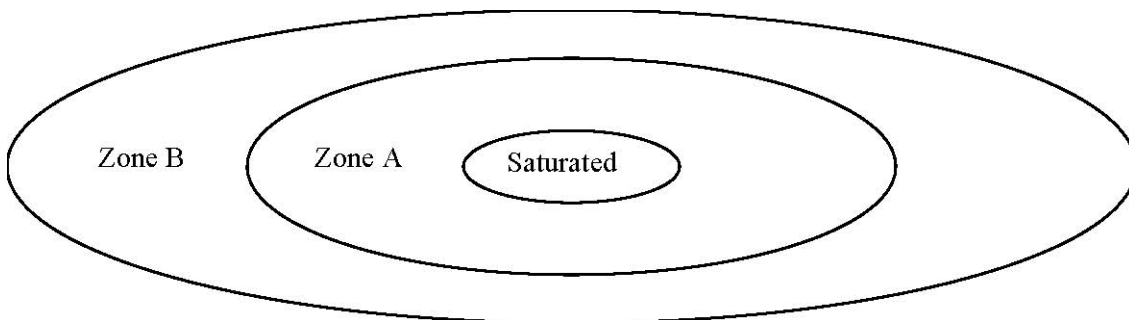
### Swale Planting Zones



### Planter Planting Zones

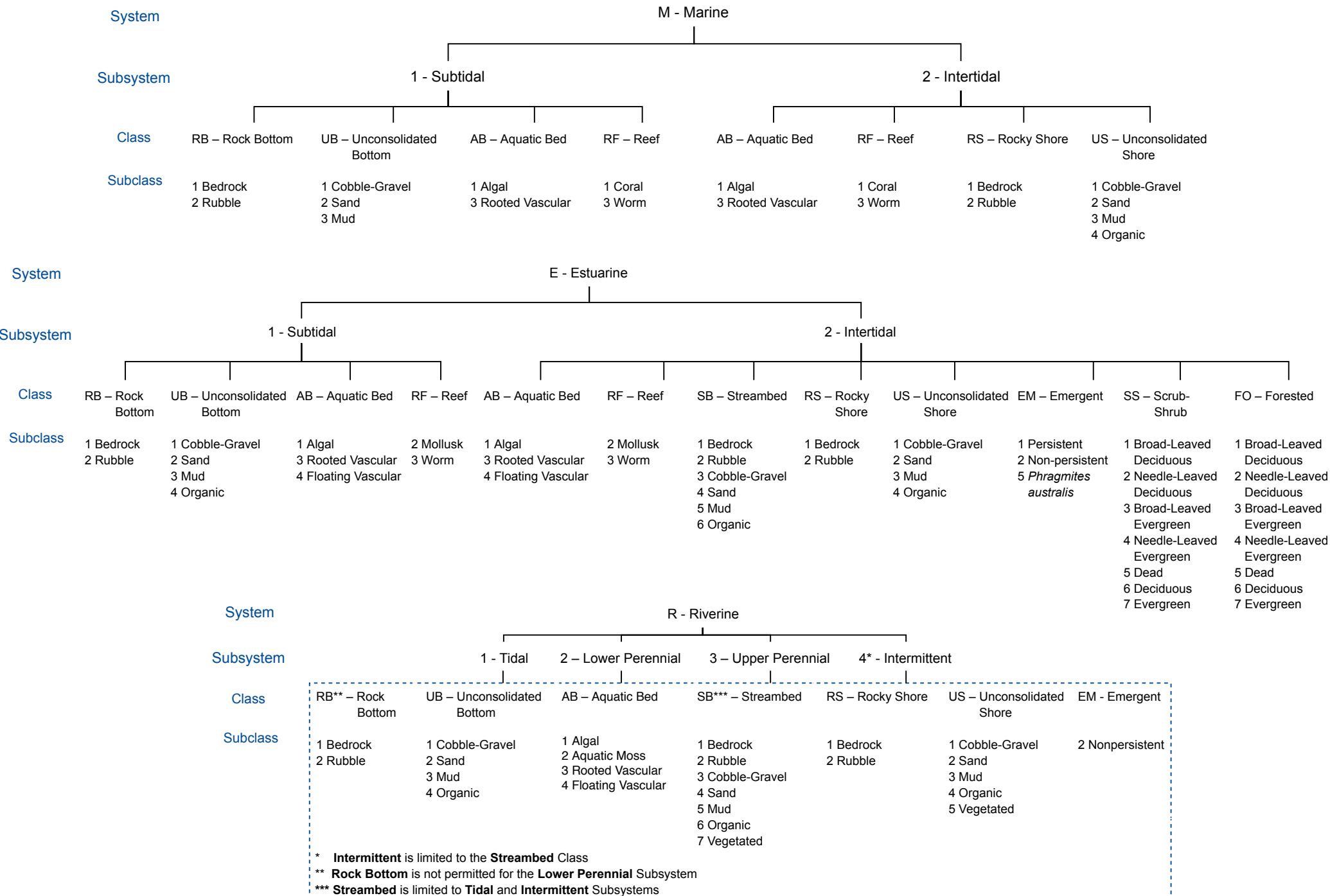


### Rain Garden/Pond Planting Zones

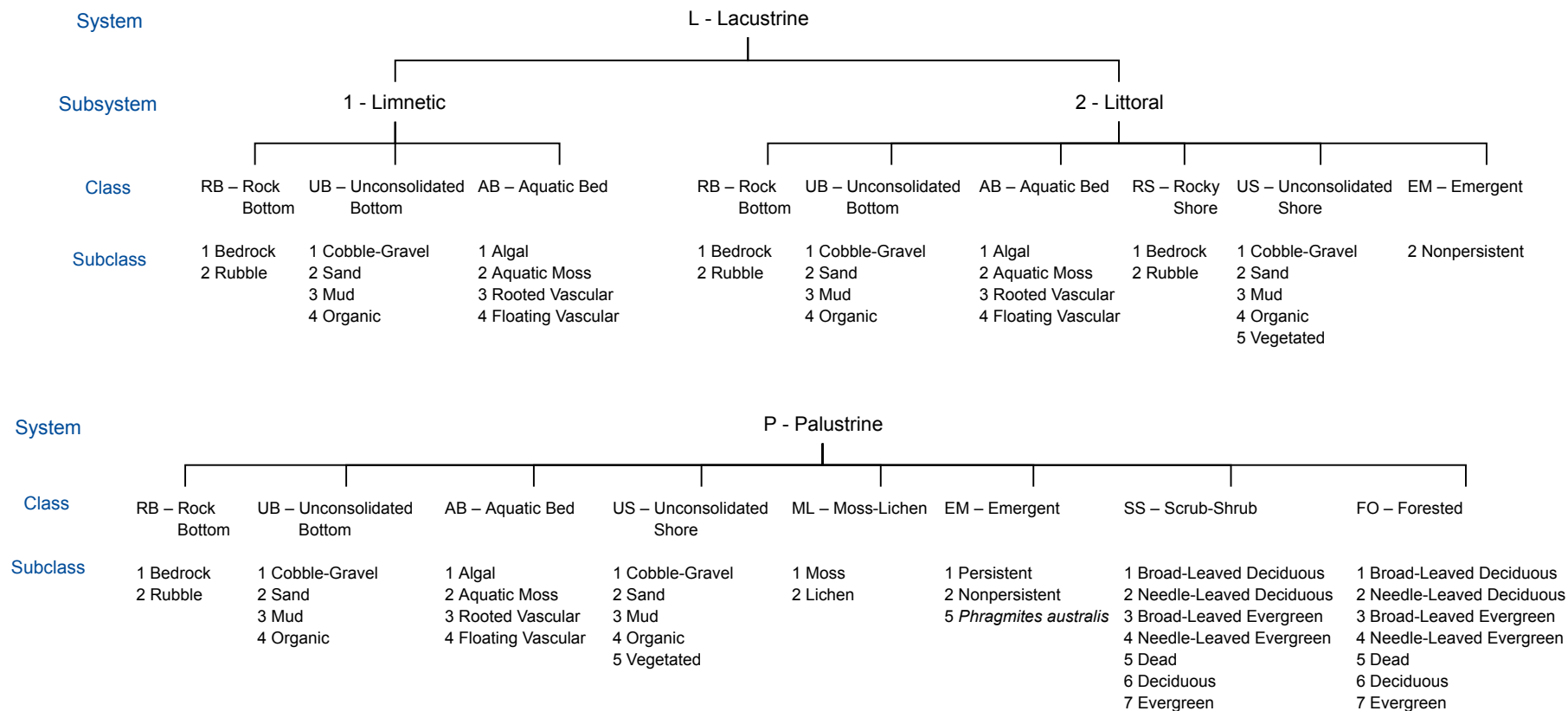




# WETLANDS AND DEEPWATER HABITATS CLASSIFICATION



# WETLANDS AND DEEPWATER HABITATS CLASSIFICATION



MODIFIERS						
In order to more adequately describe the wetland and deepwater habitats, one each of the water regime, water chemistry, soil, or special modifiers may be applied at the class or lower level in the hierarchy.						
Water Regime			Special Modifiers	Water Chemistry	Soil	
Nontidal	Saltwater Tidal	Freshwater Tidal		Halinity/Salinity	pH Modifiers for Fresh Water	
A Temporarily Flooded	L Subtidal	Q Regularly Flooded-Fresh Tidal	b Beaver	1 Hyperhaline / Hypersaline	a Acid	g Organic n Mineral
B Seasonally Saturated	M Irregularly Exposed	R Seasonally Flooded-Fresh Tidal	d Partly Drained/Ditched	2 Euhaline / Eusaline	t Circumneutral	
C Seasonally Flooded	N Regularly Flooded	S Temporarily Flooded- Fresh Tidal	f Farmed	3 Mixohaline / M ixosaline (Brackish)	i Alkaline	
D Continuously Saturated	P Irregularly Flooded	T Semipermanently Flooded-Fresh Tidal	m Managed	4 Polyhaline		
E Seasonally Flooded / Saturated		V Permanently Flooded-Fresh Tidal	h Diked/Impounded	5 Mesohaline		
F Semipermanently Flooded			r Artificial Substrate	6 Oligohaline		
G Intermittently Exposed			s Spoil	0 Fresh		
H Permanently Flooded			x Excavated			
J Intermittently Flooded						
K Artificially Flooded						