

# Soderstrom Architects

DATE June 13, 2022

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TO City of Florence Planning Department

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FROM Marlene Gillis

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PROJECT / NO. 21009

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Andy Grzeskowiak, Siuslaw SD Superintendent

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COPIES TO Reed Lewis, Siuslaw SD Facilities Director

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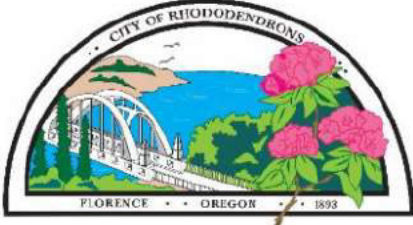
SUBJECT Project Narrative and Description: Modular Building Additions, Siuslaw High School

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A. APPLICATION FORM



*City of Florence*  
 Community Development Department  
 250 Highway 101  
 Florence, OR 97439  
 Phone: (541) 997 - 8237  
 Fax: (541) 997 - 4109  
[www.ci.florence.or.us](http://www.ci.florence.or.us)

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**Type of Request**

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**THIS SECTION FOR OFFICE USE ONLY**

Type I    Type II    Type III    Type IV

**Proposal:** \_\_\_\_\_

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**Applicant Information**

Name: Marlene Gillis Phone 1: [REDACTED]

E-mail Address: marleneg@sdra.com Phone 2: [REDACTED]

Address: 1331 NW Lovejoy Street, Portland, OR 97209

Signature: Marlene Gillis Digitally signed by Marlene Gillis  
DN: c=US, E=marleneg@sdra.com, O=Soderstrom Architects,  
CN=Marlene Gillis  
Date: 2022.06.11 19:43:06 -0700 Date: 6.12.22

Applicant's Representative (if any): \_\_\_\_\_

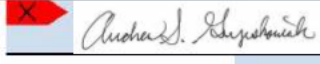
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**Property Owner Information**

Name: Siuslaw School District Phone 1: 541.997.2651

E-mail Address: agrzeskowiak@siuslaw.k12.or.us Phone 2: \_\_\_\_\_

Address: 2111 Oak Street, Florence, OR 97439

Signature:  Date: 6/14/2022

Applicant's Representative (if any): \_\_\_\_\_

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NOTE: If applicant and property owner are not the same individual, a signed letter of authorization from the property owner which allows the applicant to act as the agent for the property owner must be submitted to the City along with this application. The property owner agrees to allow the Planning Staff and the Planning Commission onto the property. Please inform Planning Staff if prior notification or special arrangements are necessary.

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**For Office Use Only:**

Received	Approved	Exhibit
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Form Revised 11/29/16

**A. APPLICATION FORM**

Property Description	
Site Address:	2975 Oak Street, Florence, OR 97439
General Description:	Addition of three (3) temporary modular buildings on the Siuslaw High School Site: Two are two-classroom buildings (four total classrooms), third is administrative.
Assessor's Map No.:	18 - 12 - 2200      Tax lot(s): 00300
Zoning District:	Residential / High Density, Open Space / Public
Conditions & land uses within 300 feet of the proposed site that is one-acre or larger and within 100 feet of the site that is less than an acre OR add this information to the off-site conditions map (FCC 10-1-1-4-B-3): Refer to the subsequent narrative for information on the adjacent site.	
Project Description	
Square feet of new:	5,800 Total      Square feet of existing: 122,000 SF
Hours of operation:	7:00 AM - 4:00 PM      Existing parking spaces: Yes
Is any project phasing anticipated? (Check One):    Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Timetable of proposed improvements: Summer 2022 installation	
Will there be impacts such as noise, dust, or outdoor storage?    Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
If yes, please describe: There could be some noise during earthwork prep and possibly during building installation.	
Proposal: (Describe the project in detail, what is being proposed, size, objectives, and what is desired by the project. Attach additional sheets as necessary)	
Addition of three (3) independent modular buildings, each approximately 1,800 square feet, at the Siuslaw High School site. Two (2) of the modular buildings are classrooms, with two (2) classrooms per building for a total of four (4) added classrooms. The third building will be used for main office administration and building entrance purposes. These buildings are considered 'temporary' to solve an urgent overcrowding issue at the campus, as well as increase safety and security by creating one controlled and supervised building entry point.	
Refer to following Project Narrative for additional information.	
For Office Use Only:	
Date Submitted: _____ Fee: _____	Paid
Received by: _____	

**B. APPLICATION CHECKLIST**

Proposed:

Are new streets planned or needed? (Please refer to the Transportation System Plan)  
 Yes  No If yes, please describe: \_\_\_\_\_

Are utility upgrades or extensions planned or needed?  
 Yes  No If yes, please describe: \_\_\_\_\_

If you answered yes to either question above, how will these improvements be funded?  
\_\_\_\_\_

Stormwater Plan:

Per FCC 9-5-2-4, a drainage plan is required for projects which add **500 SQUARE FEET OR GREATER** of impervious surface area or clearing vegetation from **10,000 SQUARE FEET OR GREATER** (single family homes are excluded). Please refer to FCC 9-5 and the Florence Stormwater Design Manual for requirements.

Traffic Impact Study:

Per FCC 10-1-1-4-E, larger projects may require a Traffic Impact Study. Please attach a TIS if needed.

Design & Architectural Drawings:

Per FCC 10-6-5, if applying for a design review, please attach or describe colors and materials being used as well as elevations of the proposed building.

\_\_\_\_\_

Landscaping Plan:

Per FCC 10-34-3-2, the location, size and species of newly proposed plant materials, location(s) of area where existing vegetation will be cleared and/or preserved, irrigation and anticipated planting schedule, and location of existing and proposed fences and walls including buffering and screening materials.

Erosion Control:

Projects of over 1 acre of land disturbance over a period of time (please see FCC 10-36-4) are required to obtain a National Pollution Discharge Elimination System permit from the Department of Environmental Quality prior to the issuance of a development permit or land use permit based on appropriate criteria.

Site Investigation Report:

Refer to FCC 10-7-3 for the list of hazard areas within the City Limits which will require a SIR.

Old Town District:

Survey: Properties within the Old Town District require a recent survey per FCC 10-17 for all new development, redevelopment, and additions which show property lines, easements, 2' contours, existing structures, floodplain, and highest observed tide.

Visual Aids: New construction or story additions require visual aids. Please refer to FCC 10-17.

B. APPLICATION CHECKLIST

Other Information Required	
<p>Below is a check list of the required information to determine if an application is complete. The Florence City Code is available at City Hall or online at <a href="http://www.ci.florence.or.us">www.ci.florence.or.us</a> (click on "City Code" which is located on the main page). You will also find the <i>Florence Transportation Plan</i>, <i>Downtown Architectural Guidelines</i>, <i>Highway 101 Access Management Plans</i>, <i>Stormwater Design Manual</i>, and <i>Stormwater Management Plan</i> available on the City's website or at the City Hall for review or purchase.</p>	
<p><input checked="" type="checkbox"/> <u>Site Plan existing and proposed drawn to scale, showing the following:</u></p>	<p>Existing and proposed site boundaries and proposed lot boundaries            Existing and proposed structures            Existing and proposed roads, streets, rights-of-way, pedestrian walks (widths and types), names, grades, radii            Existing and proposed utility services – location of water and sewer lines, drainage routes and facilities, manholes, meters, fire hydrants, etc...            Areas of scenic value, wildlife habitat, potential hazard areas (floodplains, geologic instability), wetlands, or other areas of special significance</p> <p><i>Note: Please submit an electronic copy of any plans submitted larger than 11" x 17"</i></p>
<p><input checked="" type="checkbox"/> <u>A title report from a title company showing:</u></p>	<p>Existing liens            Access and/or utility easements            Legal description</p>
<p><input checked="" type="checkbox"/> <u>Utility Plan:</u></p>	<p>List all utilities currently available to the site AND add this information to a utility plan map (See FCC 10-1-1-4-B-2).  <i>Note: For help identifying the location of utilities, please call Dig Safely Oregon at 1-800-332-2344 or dial 811. Call Public Works (541-997-4106) to determine the size of utility lines. Call the Fire Marshal (541-997-3212) to determine fire flows.</i></p> <p>Water Supply: _____ - inch line available from _____ (Street)            Sanitary Sewer: _____ - inch line available from _____ (Street)            Storm Sewer: _____ - inch line available from _____ (Street)            Check if available: <input type="checkbox"/> Telephone <input type="checkbox"/> Cable TV <input type="checkbox"/> Electrical <input type="checkbox"/> Other (Such as fiber optics)            Please provide a plan drawn to common scale showing the location of existing and proposed buildings, existing and proposed utility services, location and size of water and sewer lines, drainage routes, manholes, meters, fire hydrants, fire flows, and 2' contours.</p>
<p><input checked="" type="checkbox"/> <u>Lighting Plan:</u></p>	<p>Show location of each light fixture, diagram illustrating foot-candle distribution, and elevation drawing of each light fixture in conformance to FCC 10-37.</p>
<p><input checked="" type="checkbox"/> <u>Access Permits:</u></p>	<p>For properties along State or County roads (see FCC 10-35-2-4), a state or county access permit or application is required. For properties on Highway 101 located between Highway 126 and the Siuslaw River Bridge, please also refer to the <i>Highway 101 Access Management Plan</i>.</p>

### **C. INTRODUCTION**

The Siuslaw School District has two significant areas of concern at the Siuslaw High School (“SHS”) campus:

1. Overall safety and security.
2. Overcrowding and enrollment growth.

This proposed project attempts to solve both of these issues by adding three buildings:

1. Two (2) classroom buildings, each with two (2) classrooms, to alleviate that overcrowding.
2. One (1) administrative building, to house a relocated main office and create a single, controlled building access point.

All three buildings are nearly identical in size, one-story, wood framed, approximately 1,900 square feet each, for a total added area of approximately 5,700 square feet between the three buildings. These will connect to the existing building through covered walkways and also fenced to provide security and a way to control who enters the campus.

All three are factory-built, temporary structures that will be constructed off site and transported nearly complete to the site. This will allow for an expedited construction timeline and minimal disruption to the neighborhood relative to site impacts.

### **D. THE SITE AND PROPOSED USE**

The existing SHS campus is located North of 27<sup>th</sup> street and West of Oak Street. It is approximately 122,000 square feet, built in 1963 and has been added onto several times over the years. The buildings are on a corner site, set back significantly from the road on both sides and surrounded by high density residential zoning on all sides except the west, which abuts an industrial enterprise zone.

We are not proposing any revision to the use on the campus, nor are we proposing capacity increases beyond what the original building was designed for. These three proposed new buildings are intended to accommodate the original design enrollment of the campus when built, accommodating the larger class size arriving to ninth grade in September 2022.

**E. PROJECT DATA AND INFORMATION**

Address: 2975 Oak Street  
Florence, OR 97439

Map + Taxlot: 18122200 00300

Account: 0783900

Owner: Siuslaw School District 97J

Addresses: 2975 Oak Street / 2525 Oak Street / **2111 Oak Street\*** / 2151 Oak Street / 2221 Oak Street

\* Owner Mailing Address

Lot Size: 87.45 (map acres)  
87.30 (tax account acres)

Comprehensive Plan Map Designation: Open Space – Public.

Zone Map Classification: Residential – High Density.

Adjacent Zoning: Residential: High Density (North, East, South).  
Industrial: Pacific View Business Park (West):  
- Enterprise Zone.

Surrounding Land Use / Zoning - Site: High School / Open Space (Public):

North: Residential / High Density.

South: Residential / High Density.

East: Residential / High Density.

West: Industrial / Business / Industrial Park.

Streets / Classification:

East – Oak St. / Collector.

North – N/A.

West – N/A.

South – 27th St. / Collector.

**F. APPLICABLE STANDARDS**

**Temporary Buildings:**

All three (3) proposed buildings for the site are proposed to be temporary, factory-built, and easily relocated. With this, we feel the design review requirements are not all required to be met. However, we have indicated the general character and configuration of the buildings, to get a sense of the final built construction.

**Specific Development Standards:**

**Chapter 2 – General Zoning Provisions**

10-2-3: Building Setback Requirements

- A. Front Yard: Minimum 3-1/2 feet.
- B. Side Yards: Minimum 2 feet, or as required by the Planning Commission.

**Chapter 3 – Off-Street Parking and Loading**

10-3-4: Minimum Required Parking by Use (Table 10-3-1):

- A. Seven (7) per classroom, or as determined by the Planning Commission.
- B. Number of classrooms (existing and proposed new total):
- C. Number of parking spaces:
  - 1) Required: (26) existing classrooms + (4) new = (30) total classrooms / (210) total spaces required.
  - 2) Provided: (251) existing spaces currently.

**B. Institutions and Public Assembly Types:**

Elementary, middle school and other children's day schools Daycare, adult or child day care (does not include Family Daycare (12 or fewer children under ORS 657A.250))	1 space per classroom, or as determined by the Planning Commission  1 space per 500 sq. ft. of floor area
High schools Colleges and universities	7 per classroom, or as determined by the Planning Commission

10-3-11: Loading Areas

- A. Schools with more than (25) students shall have a driveway designed for continuous forward flow of passenger vehicles for the purpose of loading and unloading children.
- B. The existing site meets these conditions.
- C. The proposed new buildings do not impact this approach.

**Chapter 4 – Conditional Uses**

10-4-2: General Applicability

- A. Remodels or expansions of up to 25% of the floor area are allowed without a new conditional use permit as long as the remodel or expansion is consistent with the original approval.
- B. We feel the proposed added buildings align with the original intended function and use of the SHS campus, and a new application is not required for this scope.
- C. With the existing building at over 122,000 square feet, this proposed 5,700 square foot addition represents an increase of less than five percent (5%) overall to the campus.



**Chapter 6 – Design Review****10-6-3: General Applicability**

- A. Due to the temporary nature of these buildings, we have assumed a Type I review will be adequate for this project. We have still listed the design review requirements below and how they are met where applicable.

**10-6-6-4: Permitted Visible Building Materials**

- A. Exterior Building Walls: These are proposed to be painted wood siding, with a texture / panelized nature, to add visual interest.
- B. Roofs, Awnings, Gutters, and Visible Roofing Components: These are proposed to be composition shingles, with gutters and downspouts coated metal. The site canopies are proposed to be metal decking material on a structural metal frame support system.
- C. Chimney Enclosures: Not applicable.
- D. Windows, Entrances, and Accessories:
  - 1) Windows are to be an integrally colored vinyl 'fin' window, operable and of a consistent size and height with the others.
  - 2) Doors and door frames are to be factory-painted hollow metal (steel).
- E. Trellises, Decks, Stairs, Stoops, Porches, and Balconies: The building entry ramps and stairs will be provided by the building manufacturer and will be built from pressure-treated, stained wood, suitable for the harsh exterior environment of Florence.
- F. Landscape / Retaining Walls and Fences: per Chapter 34.
- G. Building and Site Material Colors: These shall be of a muted, coastal Pacific Northwest palette, one that matches the existing buildings on campus well and will blend in with the existing buildings.

**10-6-6-5: Material Applications and Configurations:**

- A. Building Walls: We have proposed one single, clear dominant exterior wall material and finish, painted wood siding.
- B. Roofs, Awnings, Gutters, and Roofing Accessories:
  - 1) Roof to have minimum 5:12 pitch, maximum 12:12 pitch, and shall be symmetrical with a gable or hip configuration.
  - 2) Continuous eaves will be built.
  - 3) Roof to wall connection to occur with minimum 3:1 slope.
  - 4) No flat roofs, rooftop mounted equipment to be utilized (all inside attic, ground- or building-mounted).
  - 5) Gutters to be round or ogee profile, with round or square leaders.
  - 6) There will be no roof-mounted equipment, so visibility from the street is a non-issue.
  - 7) Sloped roof eaves will overhang wall planes a minimum of twelve inches and shall be visibly supported by exposed rafter ends or other compatible architectural detailing.
- C. Towers: Not Applicable.
- D. Visible Windows, Glazing and Entrances:
  - 1) Windows to be rectangular in shape with straight tops.
- E. Visible Decks and Balconies: Not Applicable.
- F. Visible Landscape / Retaining Walls and Fences:

- 1) Site materials will generally match the adjoining buildings.
- 2) Metal fencing elements will be configured in a predominantly vertical orientation.
- G. Mechanical Equipment: Every attempt will be made to locate the equipment in a concealed or non-prominent location.

**Chapter 7 – Special Development Standards**

10-7-2: General Applicability

- A. The proposed existing SHS site has not been identified to contain any wetlands, riparian areas, or potential problem areas.

**Chapter 10 – Residential Districts**

10-10-3: Non-Residential Uses

- A. Per Table 10-10-3-A, public schools are permitted via ‘Conditional Use’ in High Density Residential (HDR) zones:

**10-10-3: NON-RESIDENTIAL USES**

A. Table 10-10-3-A. The following table indicates which uses are permitted in each residential zone.

Uses	LDR	MDR	RMH	HDR
Public and semi-public buildings and uses (e.g. fire stations, pumping stations, reservoirs, etc.)	C	C	C	C
Public and private parks, playgrounds, community centers and recreation facilities	C	C	C	C
Religious institutions	C	C	C	C
Child care centers	C	C	C	C
Day nurseries (must retain residential character of building)	N	C	C	C
Recreation facilities for use of residents or guests as part of an approved PUD	P	P	P	P
Home occupations	P	P	P	P
Neighborhood Commercial	N	C	C	C
Bed and Breakfast Facility	N	C	N	N
Professional offices	N	N	N	C
Public parking areas	N	N	N	C
Agricultural uses	N	C	C	N
Gardens and greenhouses for the harvest of fruits, vegetables and flowers for noncommercial use	P	P	P	P
Hospitals	N	C	C	C
Public or private schools	N	C	C	C
Cemeteries	N	C	C	N

P=Permitted with Type I review, SR=Type II site review required, C=Type III conditional use review required and N=Not permitted

**10-10-4: Lot and Yard Provisions**

- A. Per Table 10-10-4-A, minimum lot dimensions of fifty feet wide by eighty feet deep are met.
- B. Per Table 10-10-4-B, minimum lot area of 5,000 square feet is met.
- C. Per Table 10-10-4-C, maximum lot coverage of 75% for building and 85% for impervious is met.
- D. Per Table 10-10-4-D, minimum setbacks of five feet for front, side, and rear, 10 feet for parking lot are met.

**10-10-5: Site Development Provisions**

- A. Per section A., maximum building height requirement of thirty feet for nonresidential structures is met.

**Chapter 34 – Landscaping**

**10-34-2-1: Applicability**

- A. As these proposed buildings are considered ‘temporary’ we are not applying the landscaping standards as written in the zoning code at this time.

**10-34-5: Fences and Walls**

- A. The site fencing being proposed will meet all planning requirements related to it, primarily a maximum 4-foot height along the front lot line, and six feet along the rear and side lot lines where it abuts residential, eight feet maximum where it abuts residential.

**G. CONCLUSION**

We hope to prove with this application that the District has met the requirements of the City of Florence planning requirements for the addition of these three (3) temporary buildings at the Siuslaw High School. This project is undertaken to respond to a very critical and time-sensitive need of the community to support the additional students anticipated for the school year 2022-23. Additionally, this project has another significant goal of creating a safer and more secure campus, with one controlled central entry point that would be monitored and remove the current condition which allows anyone complete access to the entire interior of the building. We appreciate your time in reviewing this application.

Please let me know if you have any questions or would like additional information.

Thank you,

Marlene Gillis, AIA, ALEP, LEED AP  
President, Soderstrom Architects, Ltd.

# Zoning Map

CITY OF FLORENCE, OREGON

## Zoning Districts

- |                               |                                   |
|-------------------------------|-----------------------------------|
| <b>Residential</b>            | <b>Mixed Use</b>                  |
| Low Density                   | Old Town Area A                   |
| Medium Density                | Old Town Area B                   |
| Mobile Home/Manufactured Home | Old Town Area C                   |
| High Density                  | Waterfront Marine                 |
| Coast Village                 | Professional Office/Institutional |
| <b>Commercial</b>             | <b>Industrial</b>                 |
| Neighborhood                  | Marine                            |
| Mainstreet Area A             | Pacific View Business Park        |
| Mainstreet Area B             | Limited Industrial                |
| North Commercial              | Service Industrial                |
| Commercial                    |                                   |
| Highway                       |                                   |
|                               | <b>Other</b>                      |
|                               | Open Space                        |
|                               | Public Use Airport                |
|                               | <b>Estuaries</b>                  |
|                               | Development Estuary               |
|                               | Conservation Estuary              |
|                               | Natural Estuary                   |
|                               | City Limits                       |
|                               | Urban Growth Boundary             |

**Other Overlays  
(See Separate Maps)**

- Coastal Overlay Zoning Map,
- Drinking Water Protection,
- Professional Office Sub-Areas
- Residential,
- Public Use Airport Safety & Compatibility

Siuslaw High School Site:  
2975 Oak Street  
Florence, OR 97439  
Zoning: Residential - High Density

Setbacks per Table 10-10-4  
High Density Residential (HDR)  
Front, Side, & Rear = 5'

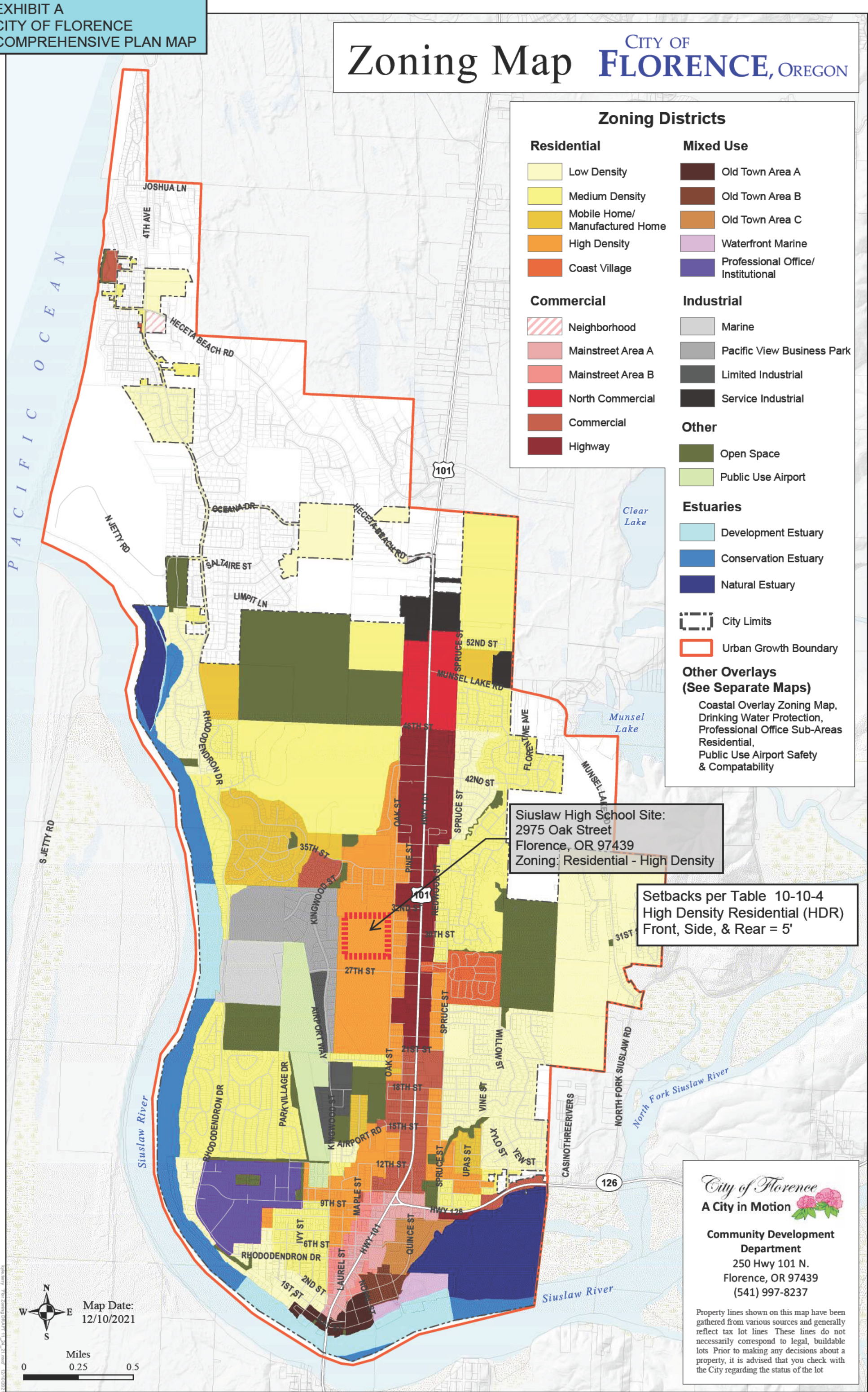
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12/10/2021

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0 0.25 0.5

*City of Florence*  
**A City in Motion**

**Community Development  
Department**  
250 Hwy 101 N.  
Florence, OR 97439  
(541) 997-8237

Property lines shown on this map have been gathered from various sources and generally reflect tax lot lines. These lines do not necessarily correspond to legal, buildable lots. Prior to making any decisions about a property, it is advised that you check with the City regarding the status of the lot.



# Zoning Map

CITY OF FLORENCE, OREGON

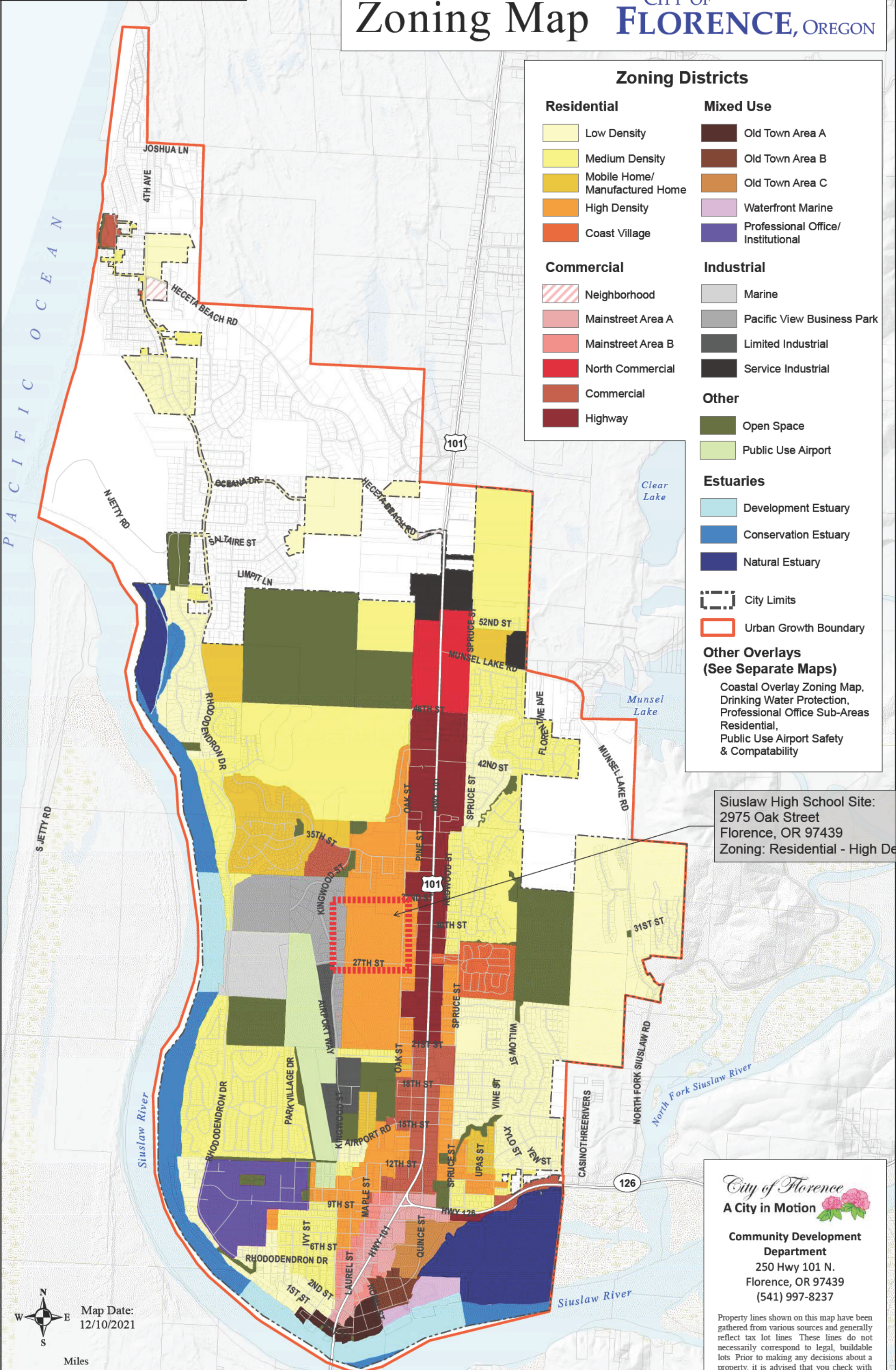
## Zoning Districts

- |                                |                                    |
|--------------------------------|------------------------------------|
| <b>Residential</b>             | <b>Mixed Use</b>                   |
| Low Density                    | Old Town Area A                    |
| Medium Density                 | Old Town Area B                    |
| Mobile Home/ Manufactured Home | Old Town Area C                    |
| High Density                   | Waterfront Marine                  |
| Coast Village                  | Professional Office/ Institutional |
| <b>Commercial</b>              | <b>Industrial</b>                  |
| Neighborhood                   | Marine                             |
| Mainstreet Area A              | Pacific View Business Park         |
| Mainstreet Area B              | Limited Industrial                 |
| North Commercial               | Service Industrial                 |
| Commercial                     |                                    |
| Highway                        |                                    |
|                                | <b>Other</b>                       |
|                                | Open Space                         |
|                                | Public Use Airport                 |
|                                | <b>Estuaries</b>                   |
|                                | Development Estuary                |
|                                | Conservation Estuary               |
|                                | Natural Estuary                    |
|                                | City Limits                        |
|                                | Urban Growth Boundary              |

**Other Overlays  
(See Separate Maps)**

- Coastal Overlay Zoning Map,
- Drinking Water Protection,
- Professional Office Sub-Areas
- Residential,
- Public Use Airport Safety & Compatibility

Siuslaw High School Site:  
2975 Oak Street  
Florence, OR 97439  
Zoning: Residential - High Density



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# EXHIBIT C CITY OF FLORENCE STREET CLASSIFICATION MAP



Siuslaw High School Site:  
2975 Oak Street  
Florence, OR 97439  
Zoning: Public

### LEGEND

- Highway / Major Arterial
- Minor Arterial
- Collector
- Local
- Collector (Proposed)
- Local (Proposed)
- Public & Open Space
- Urban Growth Boundary
- City Limits

FUNCTIONAL CLASSIFICATION  
FLORENCE, OREGON

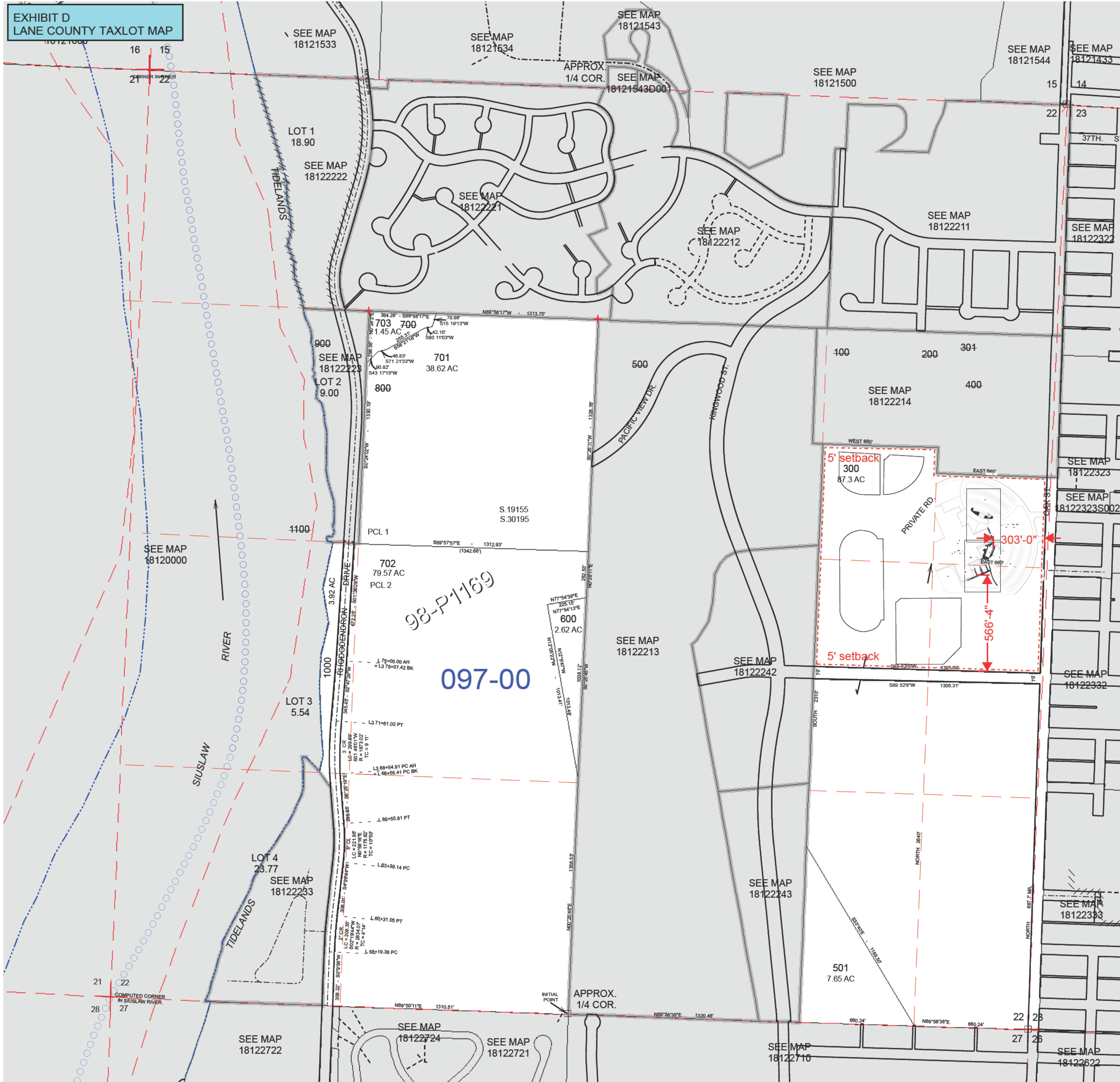
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SECTION 22 T.18S. R.12W. W.M.  
Lane County  
1" = 400'

EXHIBIT D  
LANE COUNTY TAXLOT MAP

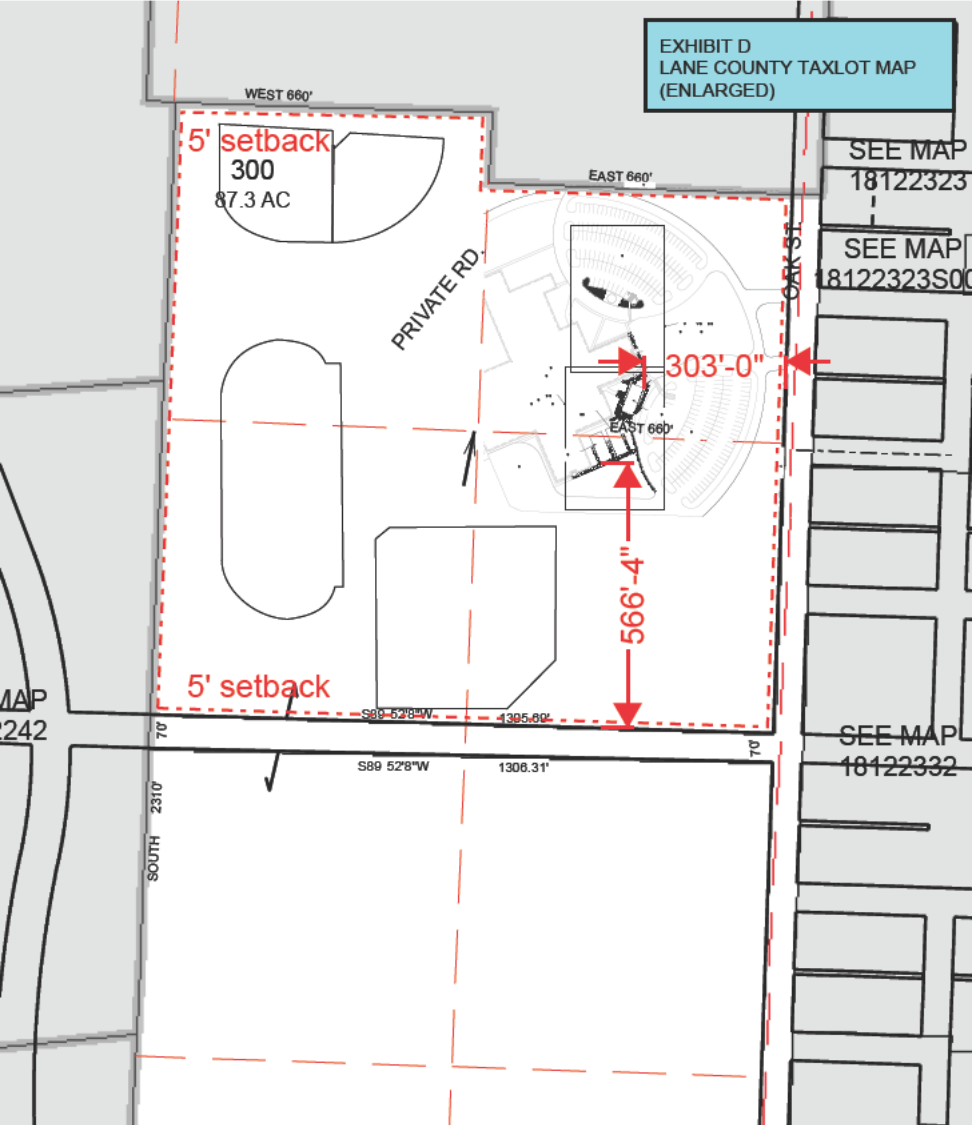
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CANCELLED:  
100  
1100  
200  
301  
400  
500  
700  
800  
900



REVISIONS:  
12/26/2008 - LCAT155 - CONVERT MAP TO GIS  
11/19/2008 - LCAT142 - MAP COR. #1682 FIXED TL 702

EXHIBIT D  
LANE COUNTY TAXLOT MAP  
(ENLARGED)



WEST 660'

5' setback  
300  
87.3 AC

EAST 660'

PRIVATE RD.

303'-0"

566'-4"

5' setback

S89 52'8"W

1395.80'

MAP  
242

SOUTH 2310'

S89 52'8"W

1306.31'

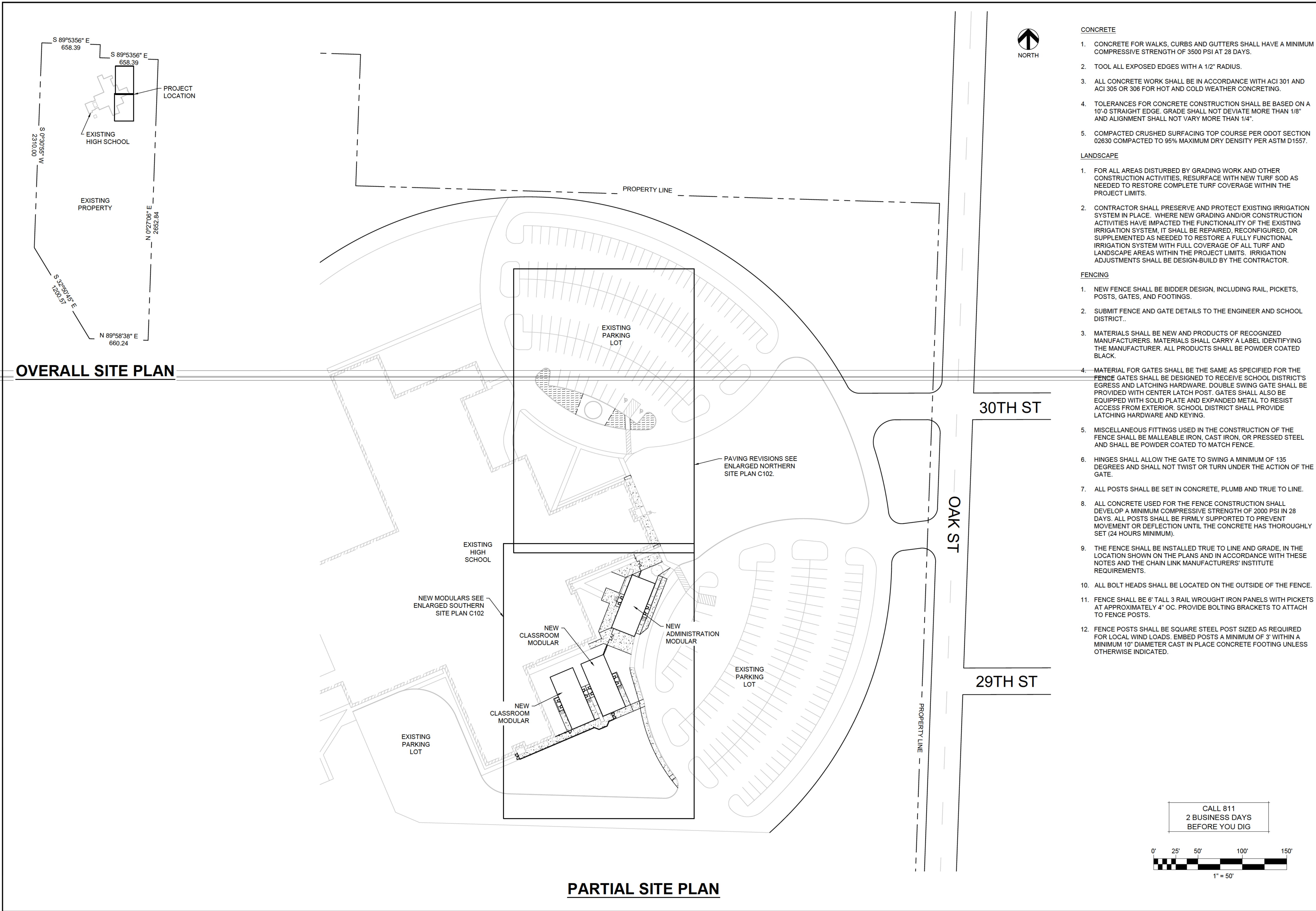
SEE MAP  
18122323

SEE MAP  
18122323S00

SEE MAP  
18122332



# EXHIBIT E CIVIL SITE PLANS



- CONCRETE**
1. CONCRETE FOR WALKS, CURBS AND GUTTERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI AT 28 DAYS.
  2. TOOL ALL EXPOSED EDGES WITH A 1/2" RADIUS.
  3. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 301 AND ACI 305 OR 306 FOR HOT AND COLD WEATHER CONCRETING.
  4. TOLERANCES FOR CONCRETE CONSTRUCTION SHALL BE BASED ON A 10'-0" STRAIGHT EDGE. GRADE SHALL NOT DEVIATE MORE THAN 1/8" AND ALIGNMENT SHALL NOT VARY MORE THAN 1/4".
  5. COMPACTED CRUSHED SURFACING TOP COURSE PER ODOT SECTION 02630 COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557.
- LANDSCAPE**
1. FOR ALL AREAS DISTURBED BY GRADING WORK AND OTHER CONSTRUCTION ACTIVITIES, RESURFACE WITH NEW TURF SOD AS NEEDED TO RESTORE COMPLETE TURF COVERAGE WITHIN THE PROJECT LIMITS.
  2. CONTRACTOR SHALL PRESERVE AND PROTECT EXISTING IRRIGATION SYSTEM IN PLACE. WHERE NEW GRADING AND/OR CONSTRUCTION ACTIVITIES HAVE IMPACTED THE FUNCTIONALITY OF THE EXISTING IRRIGATION SYSTEM, IT SHALL BE REPAIRED, RECONFIGURED, OR SUPPLEMENTED AS NEEDED TO RESTORE A FULLY FUNCTIONAL IRRIGATION SYSTEM WITH FULL COVERAGE OF ALL TURF AND LANDSCAPE AREAS WITHIN THE PROJECT LIMITS. IRRIGATION ADJUSTMENTS SHALL BE DESIGN-BUILD BY THE CONTRACTOR.
- FENCING**
1. NEW FENCE SHALL BE BIDDER DESIGN, INCLUDING RAIL, PICKETS, POSTS, GATES, AND FOOTINGS.
  2. SUBMIT FENCE AND GATE DETAILS TO THE ENGINEER AND SCHOOL DISTRICT.
  3. MATERIALS SHALL BE NEW AND PRODUCTS OF RECOGNIZED MANUFACTURERS. MATERIALS SHALL CARRY A LABEL IDENTIFYING THE MANUFACTURER. ALL PRODUCTS SHALL BE POWDER COATED BLACK.
  4. MATERIAL FOR GATES SHALL BE THE SAME AS SPECIFIED FOR THE FENCE. GATES SHALL BE DESIGNED TO RECEIVE SCHOOL DISTRICT'S EGRESS AND LATCHING HARDWARE. DOUBLE SWING GATE SHALL BE PROVIDED WITH CENTER LATCH POST. GATES SHALL ALSO BE EQUIPPED WITH SOLID PLATE AND EXPANDED METAL TO RESIST ACCESS FROM EXTERIOR. SCHOOL DISTRICT SHALL PROVIDE LATCHING HARDWARE AND KEYING.
  5. MISCELLANEOUS FITTINGS USED IN THE CONSTRUCTION OF THE FENCE SHALL BE MALLEABLE IRON, CAST IRON, OR PRESSED STEEL AND SHALL BE POWDER COATED TO MATCH FENCE.
  6. HINGES SHALL ALLOW THE GATE TO SWING A MINIMUM OF 135 DEGREES AND SHALL NOT TWIST OR TURN UNDER THE ACTION OF THE GATE.
  7. ALL POSTS SHALL BE SET IN CONCRETE, PLUMB AND TRUE TO LINE.
  8. ALL CONCRETE USED FOR THE FENCE CONSTRUCTION SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI IN 28 DAYS. ALL POSTS SHALL BE FIRMLY SUPPORTED TO PREVENT MOVEMENT OR DEFLECTION UNTIL THE CONCRETE HAS THOROUGHLY SET (24 HOURS MINIMUM).
  9. THE FENCE SHALL BE INSTALLED TRUE TO LINE AND GRADE, IN THE LOCATION SHOWN ON THE PLANS AND IN ACCORDANCE WITH THESE NOTES AND THE CHAIN LINK MANUFACTURERS' INSTITUTE REQUIREMENTS.
  10. ALL BOLT HEADS SHALL BE LOCATED ON THE OUTSIDE OF THE FENCE.
  11. FENCE SHALL BE 6' TALL 3 RAIL WROUGHT IRON PANELS WITH PICKETS AT APPROXIMATELY 4" OC. PROVIDE BOLTING BRACKETS TO ATTACH TO FENCE POSTS.
  12. FENCE POSTS SHALL BE SQUARE STEEL POST SIZED AS REQUIRED FOR LOCAL WIND LOADS. EMBED POSTS A MINIMUM OF 3' WITHIN A MINIMUM 10" DIAMETER CAST IN PLACE CONCRETE FOOTING UNLESS OTHERWISE INDICATED.

**Meier**  
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12 W. Kennebec Ave.  
Kennebec, WA 98336  
P: 509.735.1589  
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www.meierinc.com

NO.	DATE	DRWN	CHKD	DESIGN	APPD

REVISIONS

NO. 1  
DATE 06/08/2022

REGISTERED PROFESSIONAL ENGINEER  
94257PE  
OREGON  
JOHN WALKER  
EXPIRATION DATE: 06/30/22

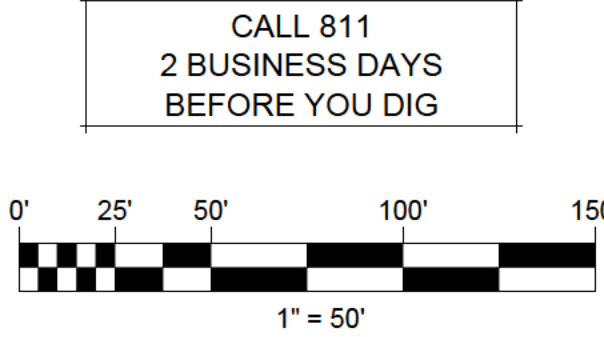
APPROVAL

DRAWN	EAR	06/08/2022
DESIGN	EAR	06/08/2022
CHECKED	JMW	06/08/2022
APPROVED	JMW	06/08/2022

PACIFIC MOBILE BUILDINGS  
SIUSLAW HS MODULAR BUILDINGS  
SIUSLAW HIGH SCHOOL  
SITE PLAN

DWG. NO.  
**C101**

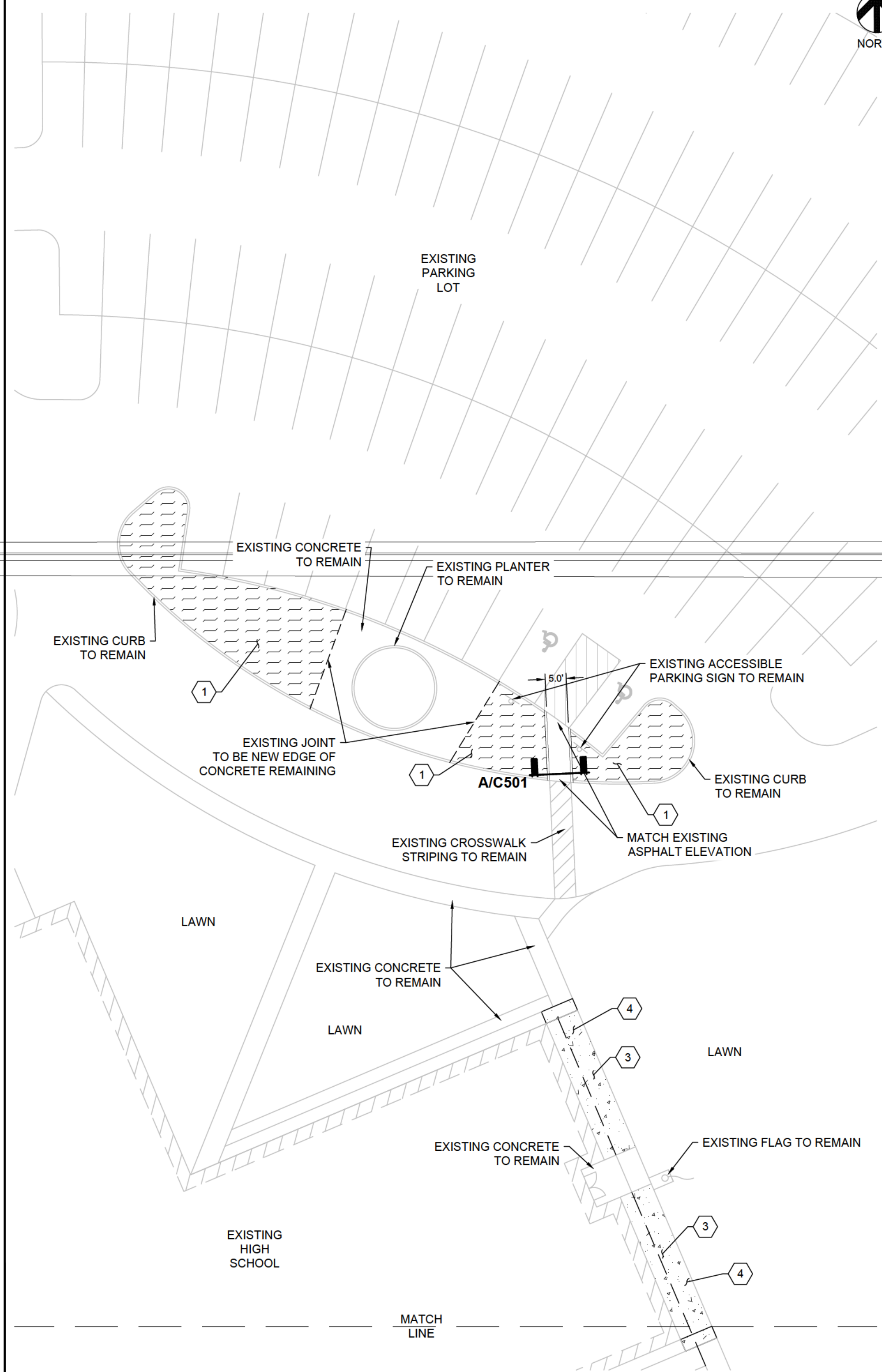
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ISSUE DATE: 06/08/2022  
JOB No. 8981  
REV. 0



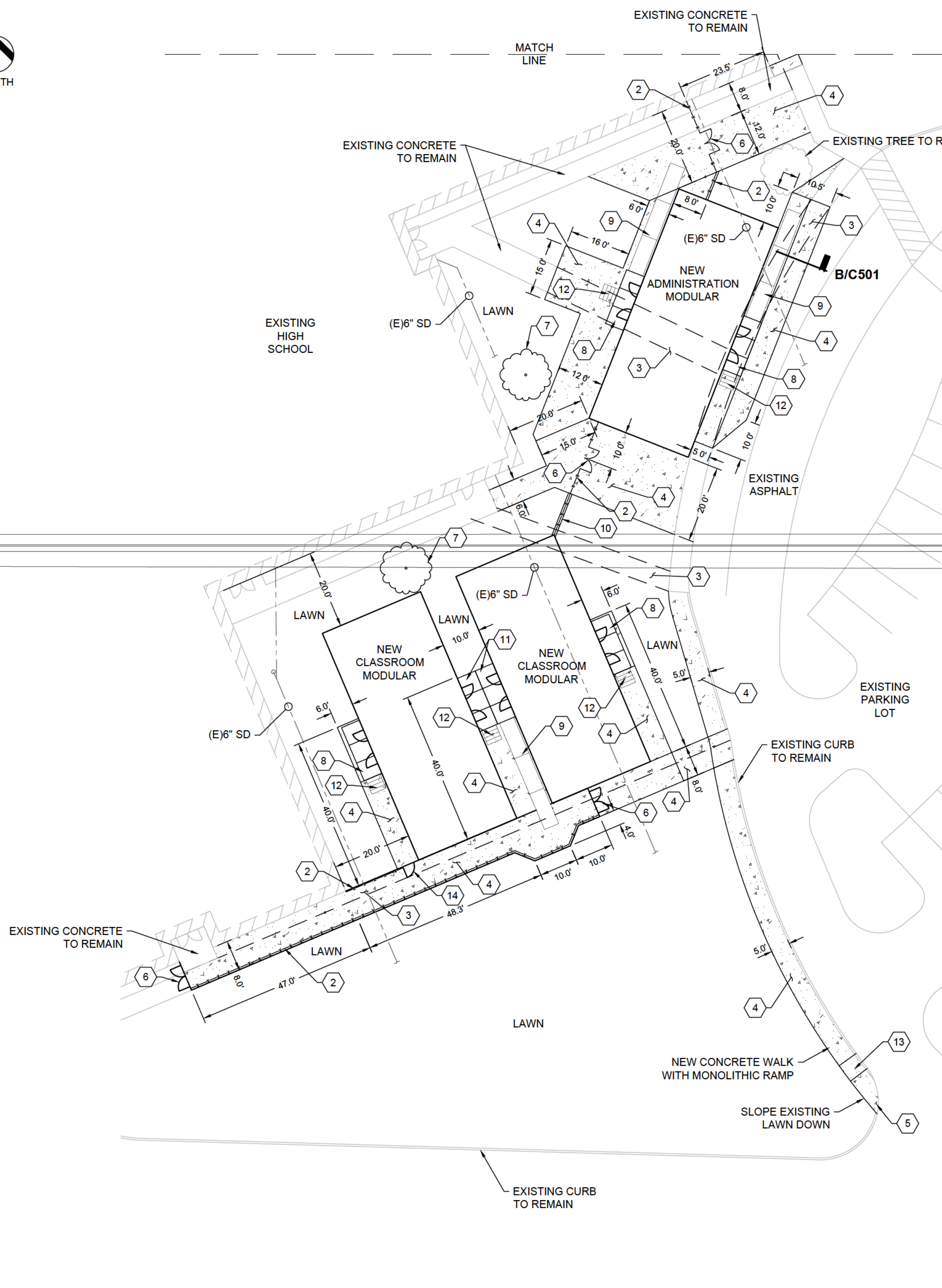
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# EXHIBIT E CIVIL SITE PLANS

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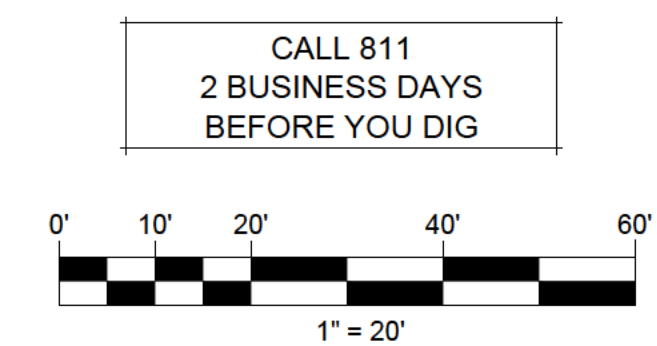
**ENLARGED NORTHERN SITE PLAN**



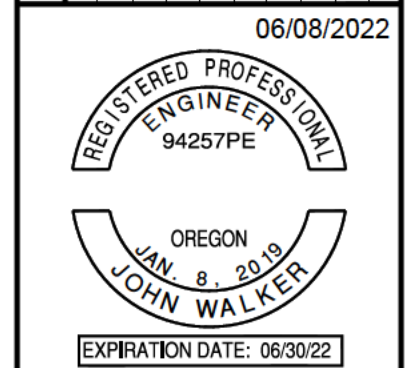
**ENLARGED SOUTHERN SITE PLAN**

- KEY NOTES**
- 1 EXISTING CONCRETE TO BE REMOVED AND REPLACED WITH LANDSCAPING TO MATCH EXISTING ADJACENT PARKING LOT ISLANDS.
  - 2 NEW RAIL WROUGHT IRON FENCE.
  - 3 EXISTING CONCRETE WALKWAY TO BE REMOVED.
  - 4 NEW CONCRETE WALKWAY, 4" CONCRETE OVER 4" CRUSHED AGGREGATE PER ODOT SS 02630.10. TROWEL CONTROL JOINTS AT 5' O.C. AND INSTALL EXPANSION JOINTS AT 20' O.C.
  - 5 CURB CUT FOR ADA ACCESS.
  - 6 6' WIDE DOUBLE SWING GATE.
  - 7 REMOVE EXISTING TREE.
  - 8 5' X 15' ALUMINUM LANDING.
  - 9 4' X 30' RAMP.
  - 10 1' WIDE X 4" THICK CONCRETE MOW STRIP.
  - 11 10' X 15' ALUMINUM LANDING.
  - 12 4' WIDE STAIRS.
  - 13 NEW CONCRETE RAMP PER DETAIL 1/C501.
  - 14 3' WIDE SINGULAR SWING GATE.

- NOTES**
1. CONCRETE WALKS TO SLOPE AWAY FROM ADJACENT BUILDINGS AT 1% FOR MINIMUM DRAINAGE. MAXIMUM SLOPES TO BE 1.5% CROSS SLOPE AND 4.5% IN DIRECTION OF TRAVEL.
  2. SEE C101 FOR GENERAL NOTES.
  3. FOR NEW MODULAR ROOF GUTTER DOWNSPOUTS, PIPE TO EXISTING STORM DRAIN LINES FROM SCHOOL.
  4. ELECTRICAL TO PROVIDE POWER AND COMMUNICATION SERVICES TO MODULARS AND GATE AND MODULAR ACCESS CONTROLS.



NO.	DATE	DRWN	CHKD	DESIGN	APPD



APPROVAL		
DRAWN	EAR	06/08/2022
DESIGN	EAR	06/08/2022
CHECKED	JMW	06/08/2022
APPROVED	JMW	06/08/2022

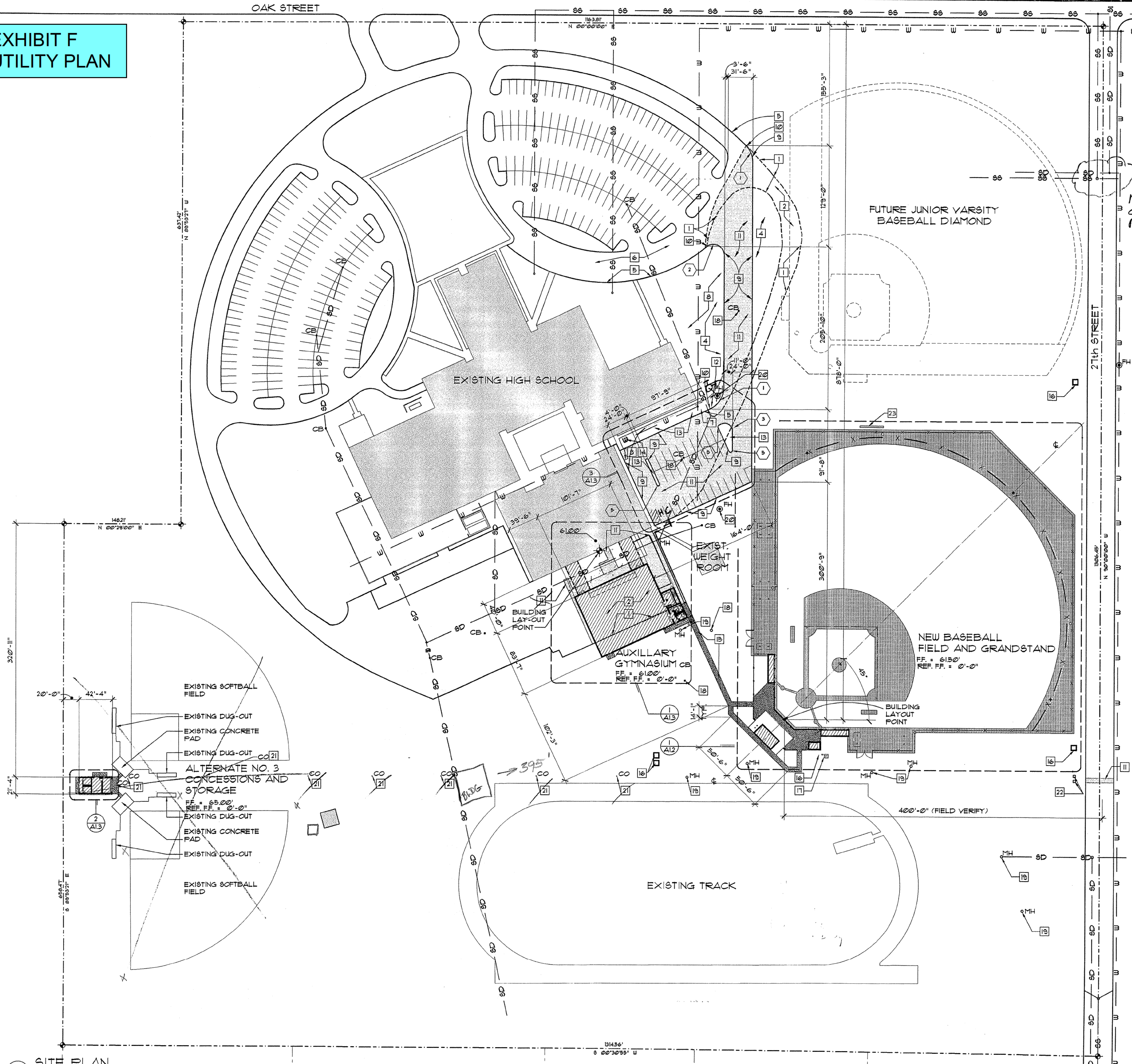
PACIFIC MOBILE BUILDINGS  
**SIU SLAW HS MODULAR BUILDINGS**  
SIU SLAW HIGH SCHOOL  
**ENLARGED SITE PLAN**

DWG. NO.  
**C102**  
SCALE: AS INDICATED  
ISSUE DATE: 06/08/2022  
JOB No.  
**8981**

I:\PROJECTS\8981 Siu Slaw HS Portable Buildings\DWG\898100-CIVIL.dwg - Jun 08, 2022 1:26 pm - Emmanuel A. Rendon Aguilera

**EXHIBIT F  
UTILITY PLAN**

OAK STREET



**GENERAL NOTES:**

1. CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE LOCATIONS OF EXISTING UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY, AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE.
2. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION WHICH IS NOT REFLECTED ON ARCHITECTURAL DRAWINGS.
3. REFER TO SITE PLAN AND CIVIL SHEETS FOR ADDITIONAL INFORMATION WHICH IS NOT REFLECTED ON THIS SHEET.
4. CONTRACTOR TO VERIFY STAGING AREA WITH OWNER AND ARCHITECT. CONTRACTOR TO PROVIDE STAGING AND BUILDING AREA SECURITY.
5. LIMITS OF WORK TO CONCLUDE WITH NEW BUILDINGS AND SITE IMPROVEMENTS AS INDICATED.

**SYMBOL LEGEND:**

- PROPERTY LINE
- SS --- EXISTING SANITARY SEWER LINE TO REMAIN
- SD --- EXISTING STORM SEWER LINE TO REMAIN
- W --- EXISTING WATER LINE TO REMAIN
- E --- EXISTING ELECTRICAL LINE TO REMAIN
- TEL --- EXISTING TELEPHONE LINE TO REMAIN
- NEW 8'-0" HIGH CHAIN-LINK FENCING WITH PRIVACY SLATS
- X --- OWNER PROVIDED OUTFIELD FENCE - N.I.C.
- ⊙ FH --- EXISTING FIRE HYDRANT TO REMAIN, U.O.N.
- ▒ --- EXISTING BUILDING TO REMAIN
- ▨ --- NEW BUILDING, PROVIDE EXCAVATION AND CONSTRUCTION AS PER PLAN SHEETS
- --- NEW ASPHALT PAVEMENT

**REFERENCE NOTES:**

- 1 EXISTING CURB TO BE REMOVED
- 2 EXISTING ASPHALT PAVEMENT TO BE REMOVED
- 3 EXISTING CONCRETE SIDEWALK TO BE REMOVED
- 4 EXISTING LANDSCAPED AREA TO BE REMOVED, CAP, PATCH, AND REPAIR ALL IRRIGATION LINES WHICH FALL WITHIN CONSTRUCTION AREA, REFER TO LANDSCAPE DRAWINGS
- 5 EXISTING CONCRETE CURB TO REMAIN
- 6 EXISTING ASPHALT PAVEMENT TO REMAIN
- 7 EXISTING CONCRETE SIDEWALK TO REMAIN
- 8 EXISTING LAWN OR LANDSCAPED AREA TO REMAIN, RESTORE AS REQUIRED BY NEW CONSTRUCTION
- 9 NEW CONCRETE CURB (3) (A14)
- 10 END NEW CONCRETE CURB, BLEND AND MATCH PROFILE INTO EXISTING CONCRETE CURB TO REMAIN
- 11 NEW ASPHALT PAVEMENT
- 12 PATCH AND REPAIR EXISTING CONCRETE SIDEWALK TO REMAIN, ABUT SIDEWALK INTO BACK OF NEW CONCRETE CURB
- 13 NEW LANDSCAPE AREA PAINTED ASPHALT
- 14 EXISTING WATER METER AND VAULT TO REMAIN
- 15 NEW 4" THICK CONCRETE SIDEWALK
- 16 NEW CONCRETE VAULT - REFER TO ELECTRICAL DRAWINGS
- 17 NEW CONCRETE PAD AND TRANSFORMER - REFER TO ELECTRICAL DRAWINGS
- 18 NEW CATCH BASIN, REFER TO CIVIL DRAWINGS
- 19 NEW MANHOLE, REFER TO CIVIL DRAWINGS
- 20 NEW LOCATION FOR RELOCATED FIRE HYDRANT, REFER TO CIVIL DRAWINGS
- 21 NEW CLEAN-OUT, REFER TO CIVIL DRAWINGS
- 22 NEW WATER METERS, REFER TO CIVIL DRAWINGS
- 23 BASEBALL SCOREBOARD, REFER TO SPECIFICATIONS AND ELECTRICAL DRAWINGS

**CURVE DATA:**

- 1 RADIUS = 30'-0"
- 2 RADIUS = 13'-8"
- 3 RADIUS = 10'-0"
- 4 RADIUS = 5'-0"
- 5 RADIUS = 2'-0"

SEE ADD #2  
ITEM 9.a  
REVISED  
C.O.# 3  
P.O.# 29

1 SITE PLAN  
SCALE: 1"=60'-0"



JOB NO. 9932  
DATE 5 JULY 00  
DRAWN M-HG  
REVISIONS

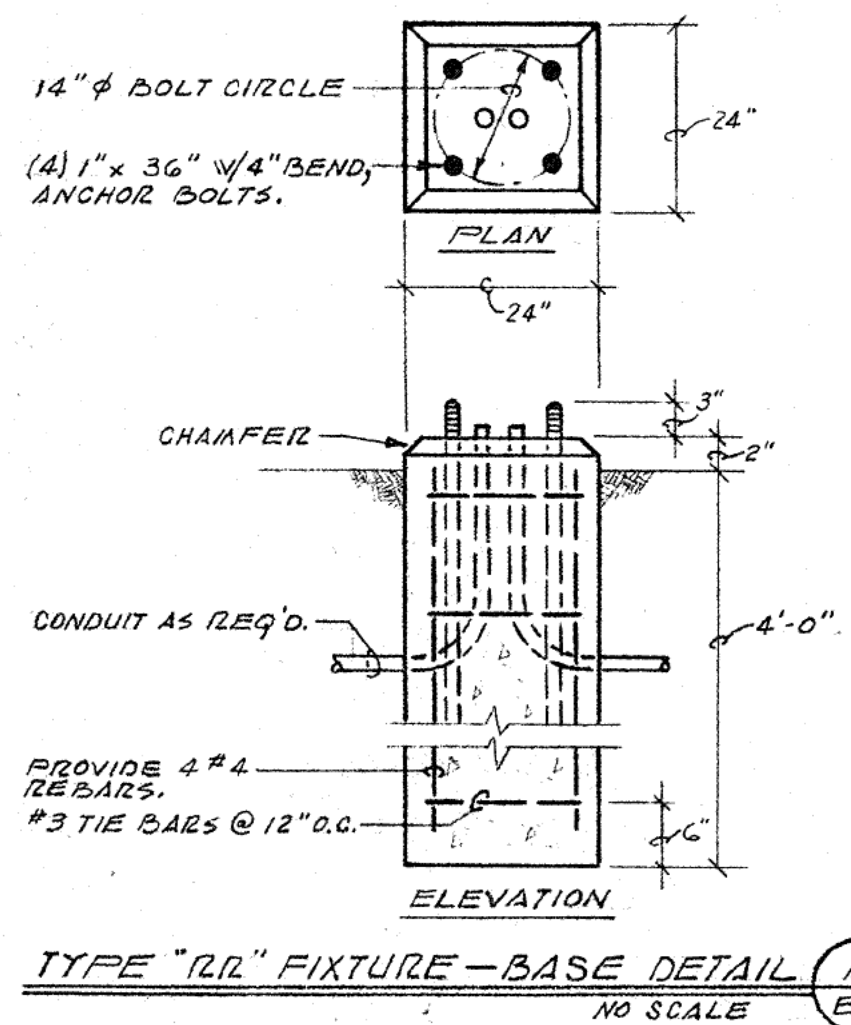
**ARBuckle COSTIC**  
ARCHITECTS, Inc.  
363 State Street  
Salem, OR 97301-3533  
503/581-4114  
503/581-3655/fax

**SIUSLAW HS  
GYMNASIUM &  
BASEBALL  
FIELD**  
SIUSLAW HIGH SCHOOL  
DISTRICT 91-3  
FLORENCE, OREGON

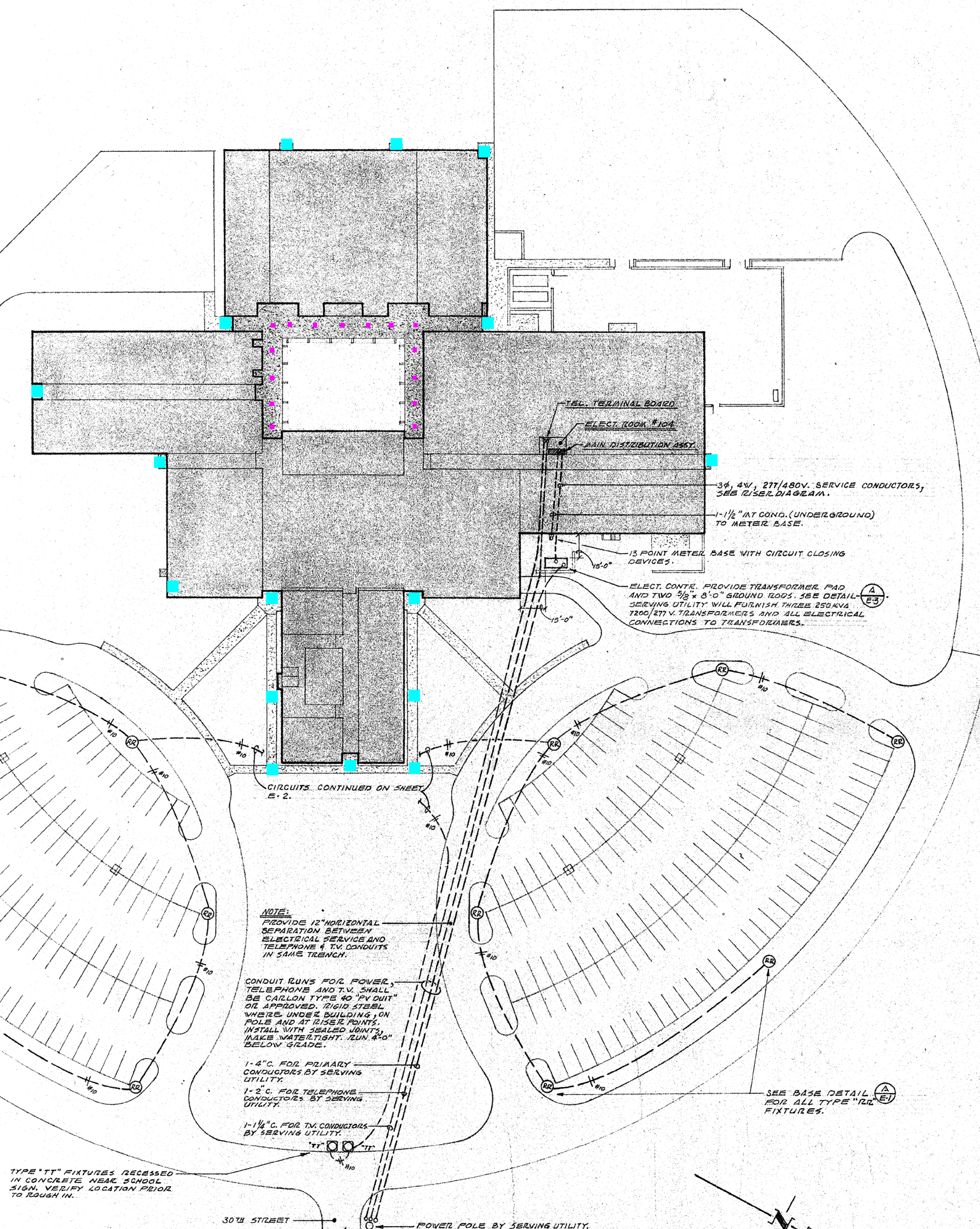
SHEET

A1.1

# EXHIBIT G LIGHTING PLAN



- LOCATION OF EXISTING LIGHT POLE, PER RECORD DRAWINGS
- LOCATION OF EXISTING SOFFIT LIGHTING, PER RECORD DRAWINGS
- LOCATION OF EXISTING COURTYARD LIGHTING, PER RECORD DRAWINGS



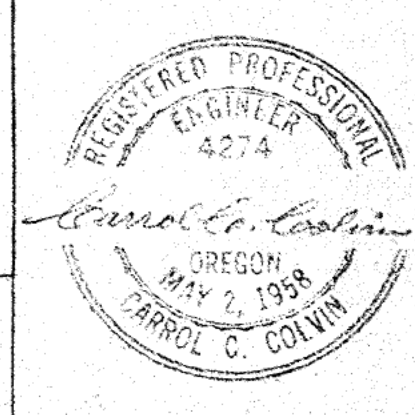
SITE PLAN  
SCALE: 1" = 40'-0"

## SYMBOL LIST

- |  |   |
|--|---|
| <ul style="list-style-type: none"> <li>Ⓜ FLUORESCENT FIXTURE, CODE LETTER SHOWN.</li> <li>Ⓜ FLUORESCENT STRIPLIGHT, CODE LETTER SHOWN.</li> <li>Ⓞ LIGHT OUTLET, CEILING, CODE LETTER SHOWN.</li> <li>Ⓞ LIGHT OUTLET, RECESSED, CODE LETTER SHOWN.</li> <li>Ⓞ LIGHT OUTLET, BRACKET, CODE LETTER SHOWN.</li> <li>Ⓞ LIGHT OUTLET, CONNECTED ON EMERGENCY CIRCUIT.</li> <li>Ⓞ SWITCH, SINGLE POLE, LOCAL LIGHTING CIRCUIT.</li> <li>Ⓞ SWITCH, THREE WAY.</li> <li>Ⓞ SWITCH, SINGLE POLE, KEY OPERATED. SIERRA #50716.</li> <li>Ⓞ CLASSROOM FLUSH WALL MTD. PROGRAM PANEL W/INTG. LIGHT SWITCHES, PROGRAM LOCK, INTERCOM SPEAK. AND THERMOSTAT. SEE SPECS. MOUNT TOP OF PANEL AT + 6'-3".</li> <li>Ⓞ DUPLEX RECEPTACLE, GROUNDING TYPE.</li> <li>Ⓞ DUPLEX RECEPTACLE, GROUNDING TYPE MTD. HORIZON.</li> <li>Ⓞ DUPLEX RECEPTACLE, GROUNDING TYPE WEATHERPROOF.</li> <li>Ⓞ PLUG/ROD, WIRE/ROD # 20013V W/OUTLETS ATD 180C.</li> <li>Ⓞ TELEPHONE OUTLET, WALL MTD. UP 1/2' UNLESS NOTED OTHERWISE.</li> <li>Ⓞ INTERCOM SYSTEM SPEAKER, TRIUMPET TYPE.</li> <li>Ⓞ INTERCOM SYSTEM SPEAKER, FLUSH WALL MTD. UP 1/2'-0". WITH BUILT IN CALL SWITCH, UNLESS OTHERWISE NOTED.</li> <li>Ⓞ FIRE ALARM BREAKGLASS STATION MTD. UP + 4'-6".</li> <li>Ⓞ FIRE ALARM BELL.</li> <li>Ⓞ AUTOMATIC FIRE DETECTOR STATION.</li> <li>Ⓞ DIMMER.</li> <li>Ⓞ TIME SWITCH.</li> <li>Ⓞ TRANSFORMER.</li> <li>Ⓞ SPECIAL OUTLET TYPE AS NOTED.</li> <li>Ⓞ INTERCOM SYSTEM SPEAKER, FLUSH CEILING MOUNTED.</li> <li>Ⓞ RANGE RECEPTACLE. HUBBELL # 7914 W/ 798755 PLATE.</li> <li>Ⓞ TWO DUPLEX RECEPTACLES, GROUNDING TYPE, MTD. IN 2-GANG BOX.</li> <li>Ⓞ DUPLEX RECEPTACLE, GROUNDING TYPE, WITH TOP HALF OF RECEPTACLE CONTROLLED BY SWITCH AS SHOWN ON PLANS.</li> <li>Ⓞ PUBLIC ADDRESS SYSTEM SPEAKER, SURFACE MTD.</li> <li>Ⓞ PUBLIC ADDRESS SYSTEM COLUMN SPEAKER.</li> <li>Ⓞ MICROPHONE OUTLET.</li> <li>Ⓞ DUPLEX RECEPTACLE MOUNTED IN BOX WITH LIGHT SWITCH AND CONNECTED TO SAME CIRCUIT.</li> <li>Ⓞ ELECTRIC SPACE HEATER. SEE SPECS.</li> <li>Ⓞ LIGHT OUTLET, RECESSED STEP LIGHT</li> <li>Ⓞ INTERCOM SYSTEM SPEAKER, TRIUMPET TYPE, TWO DIRECTIONAL. RAULAND # 3632-T.</li> </ul> | <ul style="list-style-type: none"> <li>Ⓞ JUNCTION BOX.</li> <li>Ⓞ JUNCTION BOX W/FLEX CONNECTION TO EQUIPMENT.</li> <li>Ⓞ FLUSH FLOOR COUPLING.</li> <li>Ⓞ MAGNETIC STARTER.</li> <li>Ⓞ DISCONNECT SWITCH.</li> <li>Ⓞ MOTOR OUTLET.</li> <li>Ⓞ BRANCH PANEL (120/208V).</li> <li>Ⓞ BRANCH PANEL (277/480V).</li> <li>Ⓞ UNDERFLOOR DUCT WITH CONDUIT ADAPTER.</li> <li>Ⓞ EMPTY CONDUIT, SIZE AS NOTED.</li> <li>Ⓞ CONDUIT RUN IN CEILING OR WALLS.</li> <li>Ⓞ CONDUIT RUN IN OR UNDER FLOOR.</li> <li>Ⓞ NUMBER OF CONDUCTORS IN CONDUIT, TAKEN SHOWN, #2 UNLESS OTHERWISE NOTED.</li> <li>Ⓞ ROPE RUN TO PANEL.</li> <li>Ⓞ PROGRAM CLOCK SYSTEM WIRING.</li> <li>Ⓞ FIRE ALARM SYSTEM WIRING.</li> <li>Ⓞ INTERCOM SYSTEM WIRING.</li> <li>Ⓞ PUBLIC ADDRESS SYSTEM WIRING.</li> <li>Ⓞ TELEPHONE SYSTEM WIRING - 1/2" AT C. UNLESS OTHERWISE NOTED.</li> <li>Ⓞ LOW VOLTAGE SYSTEM WIRING.</li> <li>Ⓞ CONDUIT DOWN.</li> <li>Ⓞ CONDUIT UP.</li> <li>Ⓞ W.P. WEATHER PROOF DEVICE.</li> <li>Ⓞ FLOOR RECEPTACLE, GROUNDING TYPE - FLUSH, 12 # 3 # FBC332 BOX AND # 3074 COVER.</li> <li>Ⓞ UNDERFLOOR DUCT SERVICE FITTING. DUPLEX RECEPTACLE, GROUNDING TYPE.</li> <li>Ⓞ MASTER LOW VOLTAGE SELECTOR SWITCH.</li> <li>Ⓞ SWITCH, SINGLE POLE WITH PILOT LIGHT.</li> <li>Ⓞ CLOCK. SEE SPECS.</li> <li>Ⓞ PROGRAM CLOCK BUZZER.</li> <li>Ⓞ PROGRAM CLOCK HORN.</li> <li>Ⓞ TELEVISION OUTLET. MOUNT UP + 12". SEE SPECS.</li> <li>Ⓞ MOTOR OPERATED CURTAIN SWITCH. FURNISHED BY CURTAIN SUPPLIER, ELECT. CONTR. INSTALL.</li> <li>Ⓞ MANUAL MOTOR STARTER W/PILOT LIGHT. FURNISHED BY MECH. CONTRACTOR. ELECT. CONTR. INSTALL.</li> <li>Ⓞ THERMOSTAT. SEE SPECS.</li> <li>Ⓞ FLOOR MOUNTED TELEPHONE OUTLET, 12 # 3 # FBC332 BOX AND 3067 COVER.</li> <li>Ⓞ PHOTO-ELECTRIC CELL. PRECISION # T-15.</li> <li>Ⓞ FLOOD LIGHT.</li> </ul> |
|--|---|

### GENERAL NOTES:

1. CONDUIT AND FIXTURE LAYOUT SHALL BE ALTERED AS REQUIRED TO SUIT ACTUAL EQUIPMENT LAYOUT IN ALL MECHANICAL EQUIPMENT AREAS.
2. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROPER VOLTAGE FOR ELECT. CONTROL DEVICES SUCH AS MAG'S, TIME SWITCHES, RELAYS, PILOT LIGHTS, ETC.
3. LOCATION OF MECHANICAL EQUIPMENT AS SHOWN ON ELECTRICAL DRAWINGS ARE APPROXIMATELY CORRECT, HOWEVER ELECT. CONTRACTOR SHALL VERIFY EXACT LOCATIONS PRIOR TO ROUGH-IN.
4. VERIFY ALL DOOR SWINGS WITH GENERAL CONTRACTOR PRIOR TO ROUGH-IN OF LIGHT SWITCH OUTLET BOXES.
5. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL DISCONNECTS. SEE SPECS.



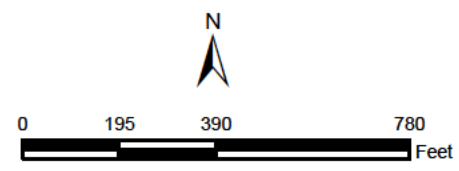
BALCHNER & COLVIN ENGINEERING  
860 MCKINLEY ST. P. O. BOX 2687  
EUGENE, OREGON 97403  
345-9478  
68-AM-323

**EXHIBIT H  
STORMWATER PLAN**

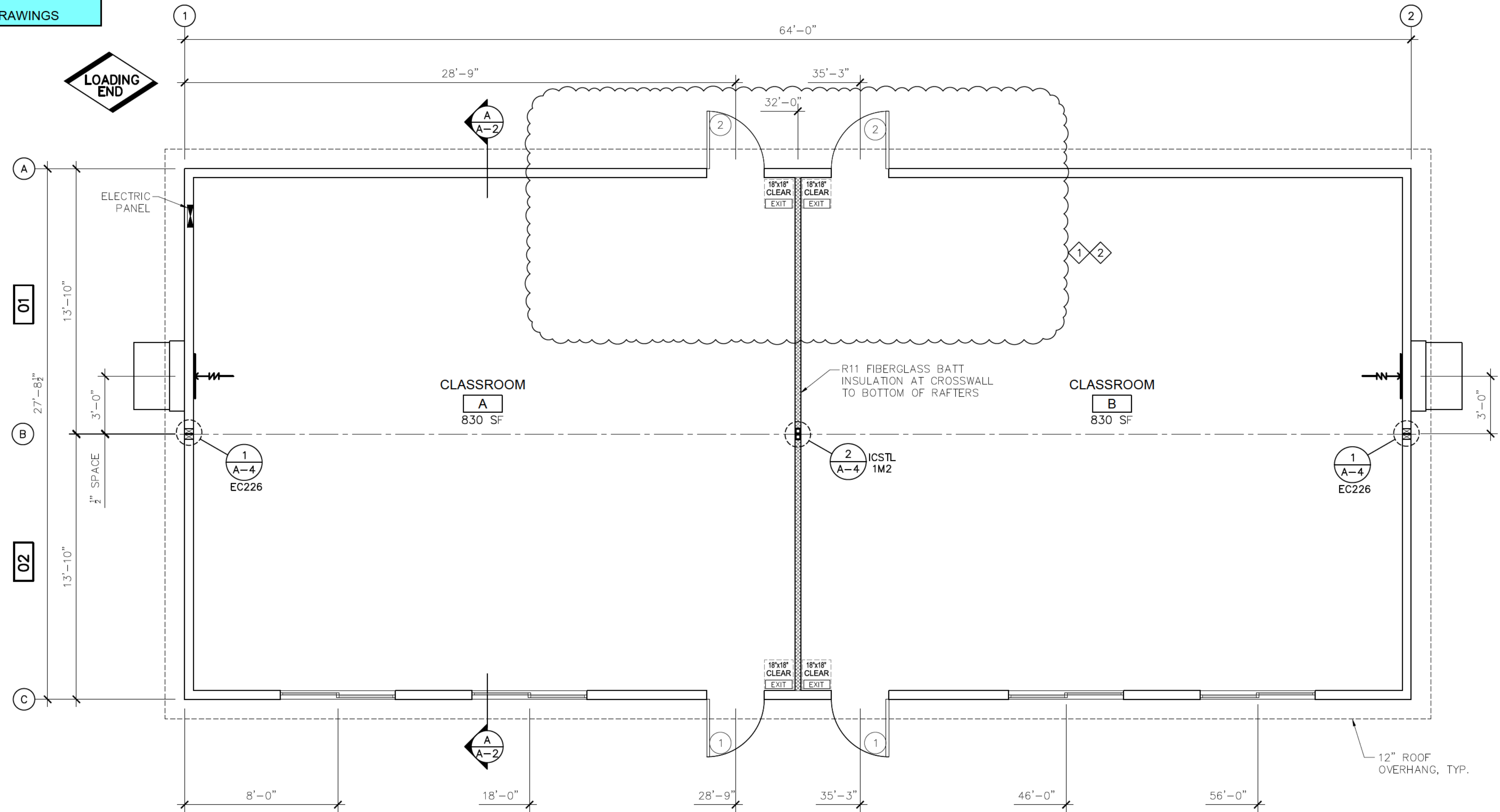


Oregon Statewide Imagery Program (OSIP) - Oregon Imagery Framework Implementation Team, Lane County GIS, Bureau of Land Management, State of Oregon, State of Oregon DOT, State of Oregon GEO, Esri, Canada, Esri, HERE, Garmin, USGS, EPA, USDA

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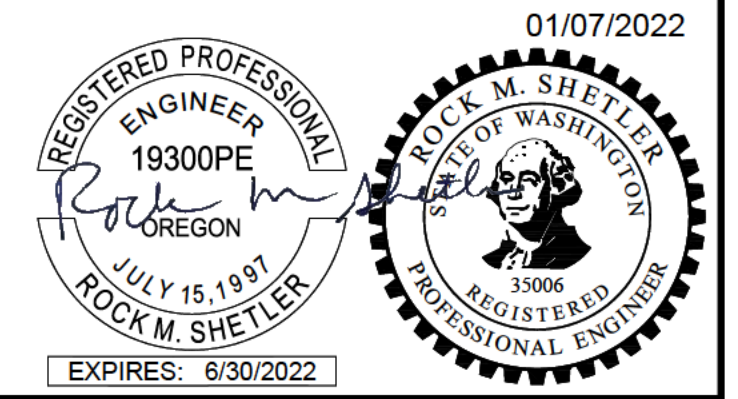
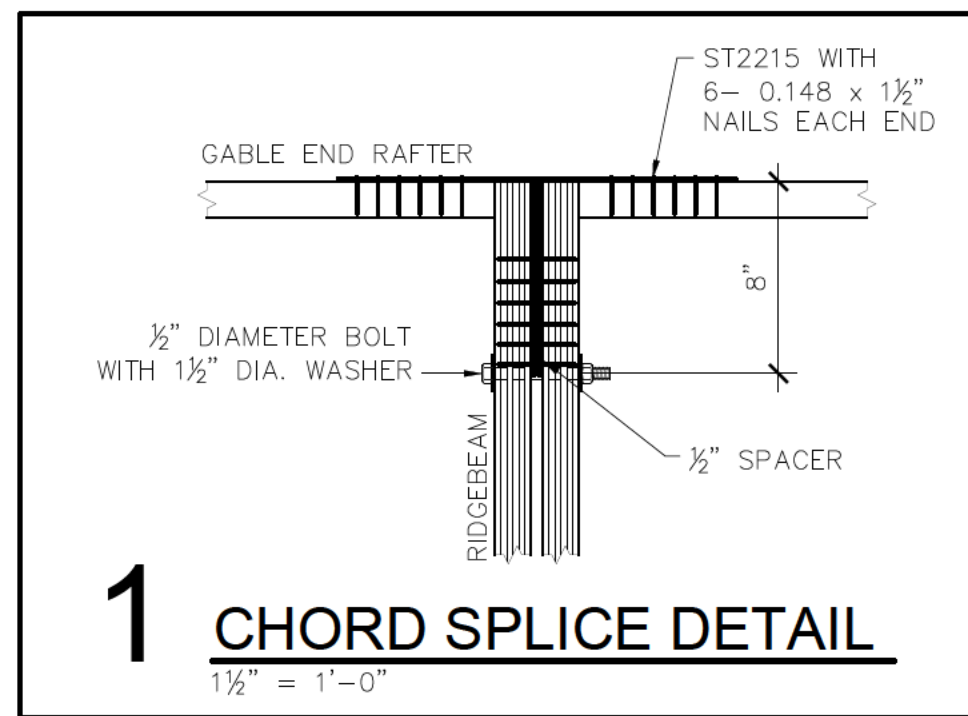
ArcGIS Web Map



**FLOOR PLAN**

SCALE: 1/4" = 1'-0"

NOTES:  
-THE TOP PLATES OF THE INTERIOR WALLS CAN SPAN A MAXIMUM OF 10'-0" BEFORE REQUIRING BRACING TO THE ROOF STRUCTURE OR AN INTERSECTING WALL.



11-23-21	PLAN REVIEW - JH	TOM
12-01-21	STR. ENGINEERING	TOM
DATE	REVISION	BY

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MODULAR  
28x64  
OR, WA

CLASSROOM for:  
**STOCK**  
Pacific Mobile 21 BLMP-01 A4

Approved for Const:	Job No: 20097-20102
File Copy:	
Drawn By: TOM	
Issue Date: 12-01-21	

**A-1**

**EXHIBIT J  
ARCHITECTURAL DRAWINGS**

**FASTENING SCHEDULE**

**MATERIAL LIST**

**WALLS:**

PLATE-TO-STUD	0.131 x 3" NAILS (3 PER 2x6, 2 PER 2x4)
SHEETROCK-TO-STUD @ INTERIOR	0.091 x 2 1/4" SHEETROCK NAILS @ 16"oc EDGE AND CONSTRUCTION ADHESIVE IN FIELD
VW TACKBOARD-TO-STUD @ INTERIOR	16 ga. x 2" WIDECROWN STAPLES (SENCO P21) @ 6"oc TOP & BOTTOM AND GLUE IN FIELD
BOTTOM PLATE-TO-FLOOR	0.131 x 3" NAILS @ 8"oc (SENCO KC27 OR EQUAL)
EXT. GYPSUM SHEATHING-TO-STUD @ EXTERIOR	6d COATED NAILS @ 7"oc EDGE AND 7"oc FIELD
PANEL SIDING OVER 5/8" EXT. GYPSUM-TO-STUD AT SIDEWALL	0.113x2 3/8" NAILS @ 6" EDGE, 12" IN FIELD (EXCEPT USE 4"oc @ TOP & BOTTOM). ALL EDGES SUPPORTED BY FRAMING OR BLOCKING.
PANEL SIDING OVER 5/8" EXT. GYPSUM-TO-STUD AT ENDWALL	SEE ENDWALL FASTENING NOTES ON ELEVATIONS
THREE STUD CORNER CONNECTION	0.131 x 3" NAILS @ 12" (SENCO KC27 OR EQUAL)

**FLOOR:**

2 x 8 FLOOR JOIST-TO-RIM	MIN. OF 4 - 0.131 x 3" NAILS (SENCO KC27 OR EQUAL)
CLASS "A" BOTTOM BOARD-TO-JOIST	16 ga. x 3/8" WIDE CROWN @ 12" MAX. EDGES ONLY
FLOOR DECKING-TO-2x JOIST	0.113" x 2 3/8" RING SHANK @ 6" EDGE, 12" IN FIELD (SENCO GE-24). USE CONSTRUCTION ADHESIVE (AFG01) ON JOISTS

**ROOF:**

RIM-TO-RAFTERS	MIN. OF 4 - 0.131 x 3" NAILS (SENCO KC27 OR EQUAL)
FURRING-TO-RAFTERS	MIN. 4- M20 2 x 3 (MIN.) PLATES EACH SIDE
ROOF RIM-TO-TOP PLATE	0.131 x 3" NAILS @ 8" oc. (SENCO KC27 OR EQUAL)
LEDGER-TO-RIDGEBEAM	0.131 x 3" NAILS @ 3" oc & 3 @ BUTT JOINTS (SENCO KC27 OR EQUAL)
RAFTER-TO-RIDGEBEAM	4 - 0.131 x 3" NAILS (SENCO KC27 OR EQUAL)
SHEATHING-TO-ROOF MEMBERS	16 ga. x 1 1/2" STAPLES @ 6" EDGE, 12" IN FIELD (SENCO N-19) NOTE: SHEATHING TO BE INSTALLED PERPENDICULAR TO RAFTERS. OFFSET SHEATHING 4 ft. BLOCK EDGES OF ANY PIECES LESS THAN 24".

**MARRIAGE LINE CONNECTION:**

NOTE: ALL MARRIAGE LINES (DEFINED AS THE SPACE BETWEEN ADJOINING MODULES) MUST BE INSULATED AT THE ROOF, FLOOR AND WALLS ON SITE.

RIDGEBEAMS	1/2" BOLTS w/ 1 1/2" DIA. WASHERS @ 6'-0" oc AND 8" FROM EACH END (MINIMUM 2" EDGE DISTANCE)
RIM JOISTS	1/2" BOLTS w/ 1 1/2" DIA. WASHERS @ 4'-0" oc AND 8" FROM EACH END (MINIMUM 2" EDGE DISTANCE)

**ROOF:**

ROOFING.....ARCHITECTURAL SHINGLES OVER 2 LAYERS NON-PERF. 15# FELT APPLIED SHINGLE STYLE -HIGH WIND APPLICATION-  
**NOTE:** "HIGH TEMP" SELF-ADHERED ROOFING UNDERLAYMENT UNDER SHINGLES FOR 2'-0" FROM EACH EAVE TOWARD RIDGE, TYPICAL @ BOTH EAVES -DRIP EDGE SHALL BE PROVIDED AT EAVES AND RAKE EDGES OF SHINGLE ROOFS (IBC 1507.2.9.3).

SHEATHING.....3/8" APA RATED (24/16)

FRAMING.....2 x 10 DF #2 RAFTERS @ 24"oc WITH 2x INSULATION FURRING BELOW

RIDGEBEAM.....1 1/2" x 24" LVL 2.0E (CONTINUOUS)

LEDGERS.....2 x 4 TAPER CUT

RIMS.....2 x 6 CONTINUOUS LVL 2.0E WITH 2 x 10 VENT BLOCKING

INSULATION.....R38 CELLULOSE BLOW-IN OVER CLASS 'A' MATERIAL (AIR BARRIER COMPONENT)  
**NOTE:** MIN. 1" AIR SPACE REQUIRED AT ROOF SHEATHING. USE BAFFLES IF REQUIRED FOR VENT CLEARANCE.

CEILING.....SUSPENDED T-BAR (PER IBC 808.1)

VENTING.....SOFFIT AND RIDGE

DRAINAGE.....GUTTERS & DOWNSPOUTS PROVIDED & INSTALLED ONSITE BY OTHERS

**AIR BARRIER NOTES:**

THESE KEY AREAS SHALL BE SEALED BY CAULKING, GASKETS, TAPE OR WEATHER-STRIPPING:  
 -JOINTS AROUND FENESTRATION (WINDOWS AND DOOR FRAMES): USE APPROPRIATELY SIZED BACKER ROD WITH MINIMUM 2" LAP AT ENDS.  
 -JUNCTIONS BETWEEN WALLS AT:  
 -BUILDING CORNERS: USE CAULKING  
 -STRUCTURAL FLOORS: USE SILL SEAL OR CAULKING  
 -ROOFS (AT RIM): USE SILL SEAL OR CAULKING  
 -PENETRATIONS OF UTILITY SERVICES THRU THE AIR BARRIER @ ROOFS, WALLS, AND FLOORS: USE CAULKING, SPRAY FOAM, OR AIR BARRIER TAPE.  
 -BUILDING ASSEMBLIES USED AS DUCTS OR PLENUMS: USE BACKER ROD, CAULK, SPRAY FOAM OR AIR BARRIER TAPE.  
 -JOINTS, SEAMS, AND PENETRATIONS OF VAPOR RETARDANTS: USE CAULK OR APPROVED TAPE.  
 -RECESSED LIGHTING FIXTURES: USE CAULK OR SPRAY FOAM

**WALLS:**

SIDING.....190 SERIES LP SMARTSIDE PANEL WITH GROOVES @ 8"oc, USE 4'x9' SHEETS  
**NOTE:** NO HORIZONTAL BREAKS IN SIDING EXCEPT AT ENDWALLS

MOISTURE.....WRAP LOWER 12" OF BUILDING AND CORNERS WITH PROTECTION  
MOISTSTOP - WRAP BUILDING w/BUILDING WRAP

SHEATHING.....5/8" EXTERIOR GYPSUM WITH TREATED CORE

FASCIA.....1 x 6

TRIM.....1 x 4 AT CORNERS, WINDOWS, DOORS AND MODLINE  
**NOTE:** 2"x2" GALV. FLASHING INSTALLED OVER SIDING AND UNDER CORNER TRIM

FRAMING.....EXT: 2 x 6 DF#3 OR BETTER @ 16"oc  
INT: 2 x 4 DF @ 16"oc

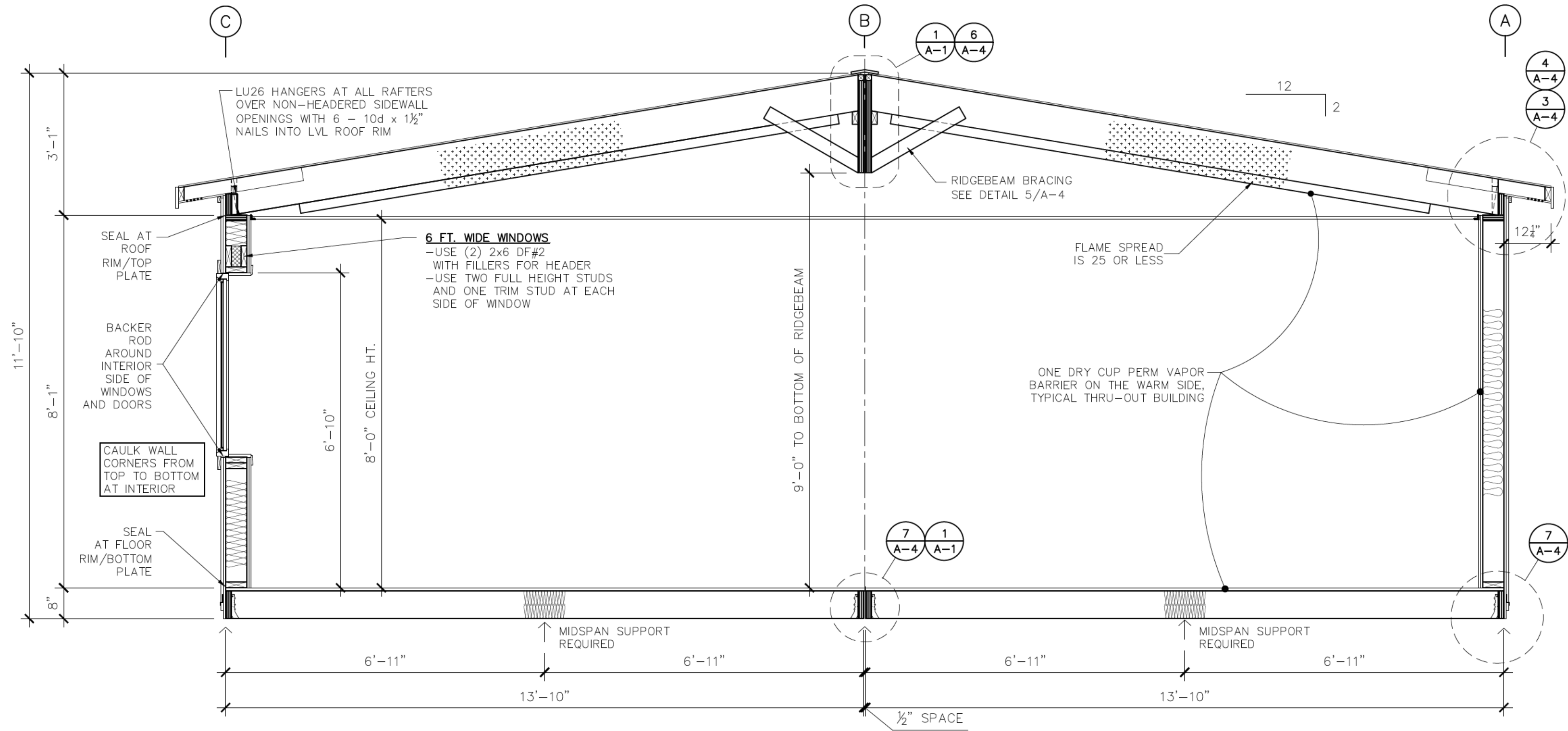
TOP PLATE.....2x CONTINUOUS (DF#2 OR LVL 2.0E)

BOTTOM PLATE.....2x DF

INSULATION.....EXT: R-21 UNFACED FIBERGLASS BATTS  
INT: R-11 INSULATION BATTS @ CROSSWALL

INTERIOR FINISH.....MATERIAL INSTALLED FROM STUDS OUT  
LAYER 1: 5/8" TYPE 'X' SHEETROCK (AIR BARRIER)  
LAYER 2: 1/2" VINYLWRAP TACKBOARD (FINISH)  
**NOTE:** INSTALL GYPSUM ON GABLE ENDS ABOVE WALL COVER

SKIRTING.....SHIP LOOSE



**SECTION - A-A**  
SCALE: 1/2" = 1'-0"

01/07/2022

REGISTERED PROFESSIONAL ENGINEER 19300PE OREGON JULY 15, 1997 ROCK M. SHETLER

ROCK M. SHETLER REGISTERED ENGINEER 35006

EXPIRES: 6/30/2022

12-01-21	STR. ENGINEERING	TOM
DATE	REVISION	BY

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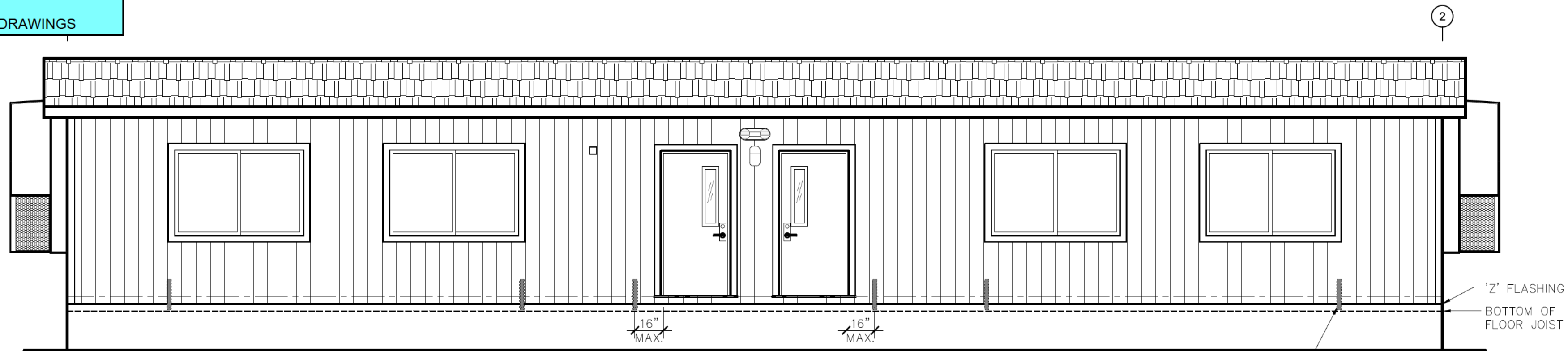
MODULAR  
28x64  
OR, WA

CLASSROOM for:  
**STOCK**  
Pacific Mobile 21 BLMP-01 A4

Approved for Const:	Job No: 20097-20102
File Copy:	
Drawn By: TOM	
Issue Date: 12-01-21	

**A-2**

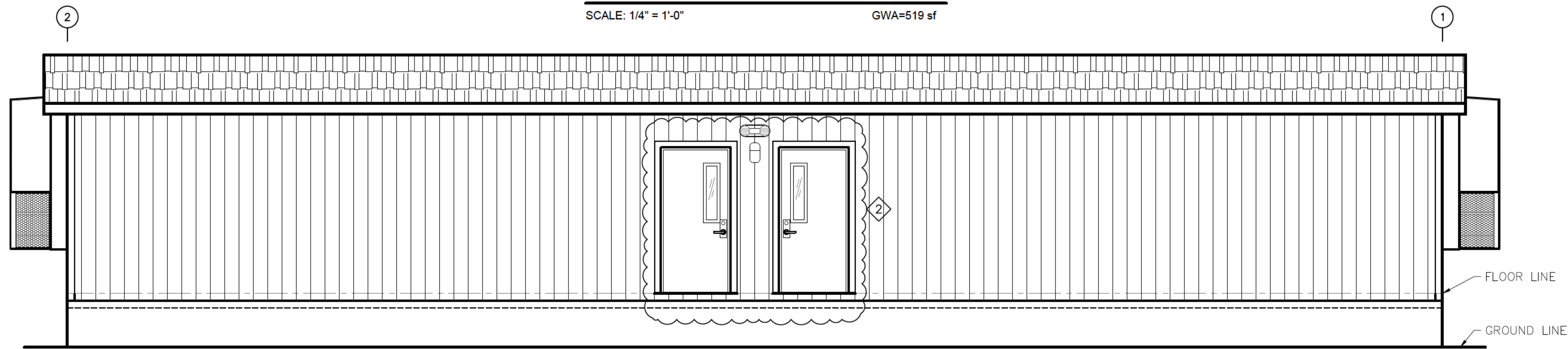
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### WALL C ELEVATION

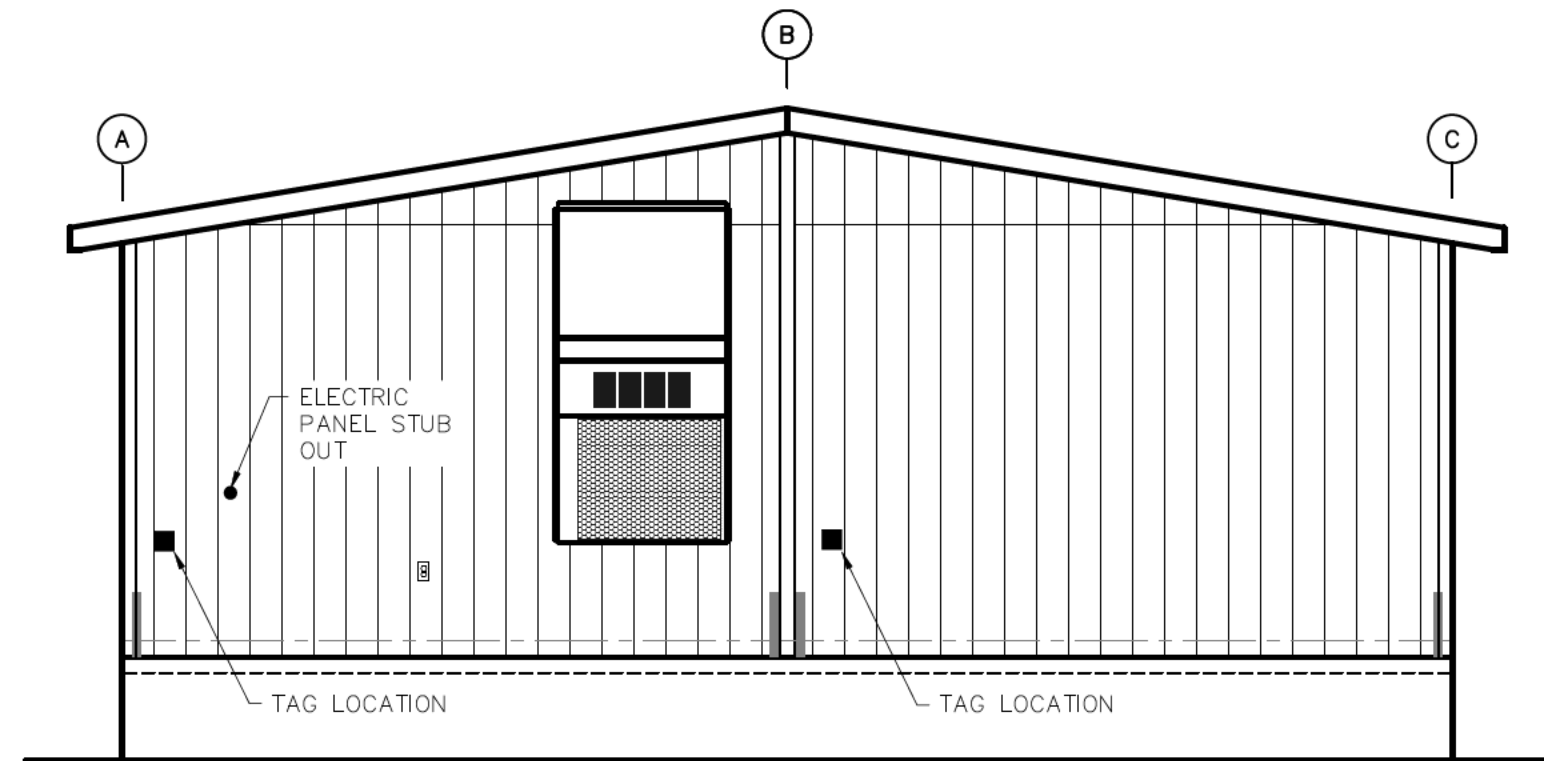
SCALE: 1/4" = 1'-0" GWA=519 sf

"Z" FLASHING  
BOTTOM OF FLOOR JOIST  
ST2215 STRAP WHERE SHOWN  
w/7- 10d x 1 1/2" NAILS AT EACH END



### WALL A ELEVATION

SCALE: 1/4" = 1'-0" GWA=519 sf

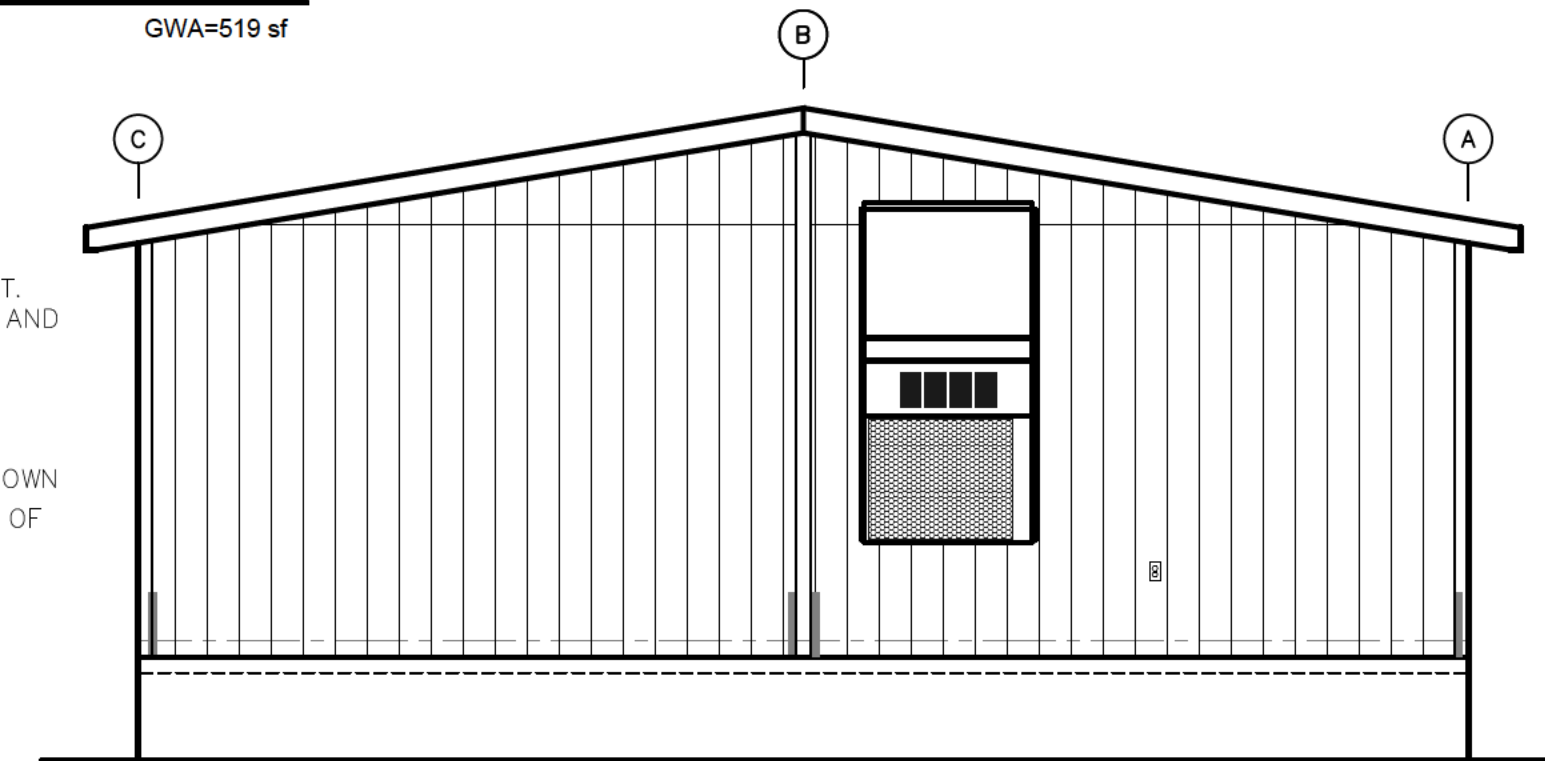


### WALL 1 ELEVATION

SCALE: 1/4" = 1'-0" GWA=250 sf

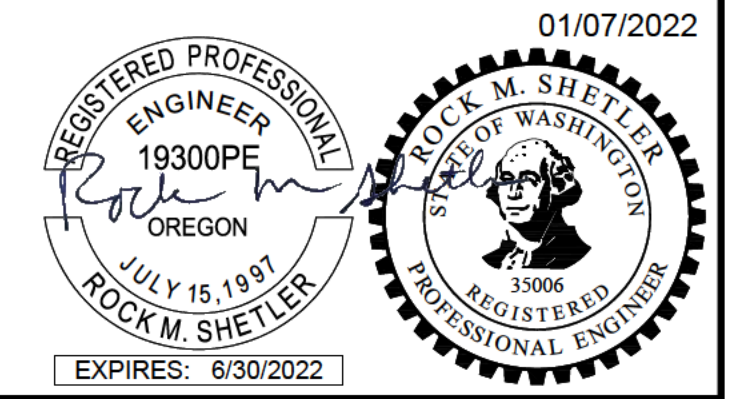
#### ENDWALL FASTENING:

1. INSTALL PANEL SIDING OVER 3/8" EXT. GYPSUM WITH ALL EDGES SUPPORTED AND FASTENED WITH 0.113 x 2 3/8" NAILS @ 6"oc EDGE, 12"oc FIELD, 4"oc TOP & BOTTOM
2. INSTALL ST2215 STRAPS WHERE SHOWN WITH 8- 10d x 1 1/2" NAILS EACH END OF EACH STRAP



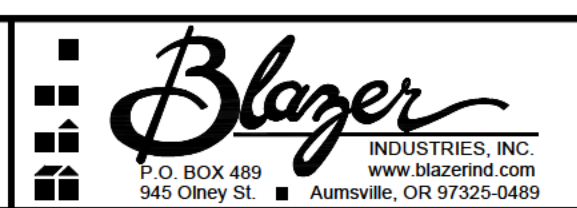
### WALL 2 ELEVATION

SCALE: 1/4" = 1'-0" GWA=250 sf



11-23-21	PLAN REVIEW - JH	TOM
12-01-21	STR. ENGINEERING	TOM
DATE	REVISION	BY

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# A-3