



City of Florence

250 Hwy 101, Florence, OR 97439

www.ci.florence.or.us

July 14, 2022

Soderstrom Architects
Marlene Gillis
1331 NW Lovejoy Street
Portland, Oregon 97209

Dear Marlene,

Enclosed are copies of the signed Resolution and Approved Findings of Fact for your review. An "Agreement of Acceptance" of the conditions of approval is also enclosed which needs to be signed and returned before the decision is considered final. **Please sign and return the Agreement of Acceptance to the City of Florence, Community Development Department, 250 Highway 101, Florence, OR 97439.**

Please be advised that the decision may be appealed by all who provided testimony to the Planning Commission pursuant to Florence City Code, Section 10-1-1-7. A notice of intent to appeal must be filed with the Community Development Department within twelve (12) calendar days after the notice of decision was rendered by Planning Staff, otherwise the decision shall be final. The decision is "rendered" with the mailing of this letter. In this case, the appeal period will end at 4pm on **July 27, 2022.**

You will be made aware of any issues or questions related to your application in a timely manner, so that they may be addressed prior to the public hearing. If you have any questions, please feel free to contact me at (541) 997-8237 or at wendy.farleycampbell@ci.florence.or.us

Best Regards,

Wendy FarleyCampbell
Planning Director

Enclosures: Signed Resolution, Findings of Fact, and Exhibits
Agreement of Acceptance

Cc: Land Use File PC 22 10 CUP 02
Andrew Grzeskowiak – Siuslaw School District

Public Works
2675 Kingwood St.
(541) 997-4106

**City Manager /
City Recorder**
250 Highway 101
(541) 997-3437

**Community Development:
Planning & Building**
250 Highway 101
(541) 997-8237

**Finance /
Utility Billing**
250 Highway 101
(541) 997-3436

Justice Center
900 Greenwood St.
(541) 997-3515

Florence Events Center
715 Quince St.
(541) 997-1994



**CITY OF FLORENCE
PLANNING COMMISSION**

RESOLUTION PC 22 10 CUP 02

A TEMPORARY CONDITIONAL USE PERMIT TO PLACE THREE MOBILE BUILDINGS AT THE HIGH SCHOOL CAMPUS FOR USE AS FOUR CLASSROOMS AND ADMINISTRATIVE SPACE IN THE HIGH DENSITY DISTRICT

WHEREAS, application was made by Marlene Gillis, of Soderstrom Architects, on behalf of Siuslaw 97 School District located at property shown on Assessor's Map #18-12-22-00, Tax Lot 00300, for a Conditional Use Permit as required by FCC 10-1-1-, 10-1-1-6-3 and FCC 10-4-4; and

WHEREAS, the Planning Commission met in a duly-advertised public hearing on July 12, 2022 as outlined in Florence City Code 10-1-1-6-3, to consider the application, evidence in the record, and testimony received; and

WHEREAS, the Planning Commission of the City of Florence, per FCC 10-4-10, finds, based on the Findings of Fact, application, staff recommendation, evidence and testimony presented to them, that the application meets the applicable criteria through compliance with certain Conditions of Approval.

NOW THEREFORE BE IT RESOLVED that the Planning Commission of the City of Florence finds, based on the Findings of Fact and the evidence in record that:

The request for a temporary conditional use to place three mobile buildings at the high school campus for use as four classrooms and administrative space in the High Density District meets the applicable criteria in Florence City Code and the Florence Realization 2020 Comprehensive Plan with the conditions of approval as listed below.

Conditions of Approval:

The application, as presented, meets or can meet applicable City codes and requirements, provided that the following conditions of approval are met.

1. Approval for shall be shown on:

"A" Findings of Fact
Attachment 1 –Applicant's Submittal

Findings of Fact attached as Exhibit "A" are incorporated by reference and adopted in support of this decision. Any modifications to the approved plans or changes of use, except those changes relating to Building Codes, will require approval by the Community Development Director or Planning Commission/Design Review Board.

2. Regardless of the content of material presented for this Planning Commission, including application text and exhibits, staff reports, testimony and/or discussions, the applicant agrees

to comply with all regulations and requirements of the Florence City Code which are current on this date, EXCEPT where variance or deviation from such regulations and requirements has been specifically approved by formal Planning Commission action as documented by the records of this decision and/or the associated Conditions of Approval. The applicant shall submit to the Community Development Department a signed "Agreement of Acceptance" of all conditions of approval prior to issuance of a building permit.

3. Upon encountering any cultural or historic resources during construction, the applicant shall immediately contact the State Historic Preservation Office and the Confederated Tribes of Coos, Lower Umpqua, and Siuslaw Indians. Construction shall cease immediately and shall not continue until permitted by either a SHPO or CTCLUSI representative.

4. Parking Requirements

4.1 The applicant shall convert 2 standard parking spaces to ADA spaces.

4.2 To accommodate the additional students on campus bicycle parking shall be provided in accordance with 10-3-10. If the modular buildings are made permanent bicycle spaces shall also be calculated on and provided for the additional office space provided in the third modular.

5. Conditional Use

5.1 The fences are permitted to exceed 4' in height along Oak St. and shall not exceed 8' in height.

5.2 If the buildings are not made permanent the two trees removed shall be replaced somewhere between Oak St. and the building. A landscape plan shall be provided that meets code proportionate to the expansion of use if the modulators are made permanent through design review.

5.3 The new driveway cut into Oak St. at the south end of the south eastern parking lot shall be paved a minimum of 50' in accordance with FCC 10-3-8. This shall be accomplished prior to issuance of the certificate of occupancies for the classrooms.

5.4 The area where the sod and two trees are removed shall be covered with bark, sod or seeded to ensure soil stability.

5.5 Prior to July 12, 2026 either a one-year extension shall be applied for and granted, or a design review application made and granted to make the buildings permanent. Otherwise, the modular classrooms and administrative buildings shall be removed from the property by July 12, 2026.

6. Lighting


6.1 Proposed new lighting shall meet the code at the time of issuance of the certificate of occupancy. Within nine months of the date of approval of a conditional use permit for this application, existing exterior lighting shall conform to the requirements of FCC 10-37.

6.2 Within six months of the date of approval of a conditional use permit for this application, the applicant shall submit a lighting plan demonstrating conformity to the lighting standards of Florence City Code.

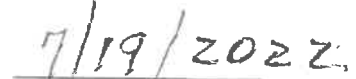
6.3 The applicant shall ensure that lighting fixtures do not project light skyward or onto adjacent or nearby property.

6.4 Main lights shall be extinguished at the end of work hours. A minimum amount of lighting may remain on if needed for security reasons. Motion sensors are recommended.

ADOPTED BY THE FLORENCE PLANNING COMMISSION the 12th day of July, 2022.



Sandra Young, Vice Chairperson
Florence Planning Commission



Date

ITEM TITLE: *Resolution PC 22 10 CUP 02 – Siuslaw School Dist. Modular Building*

OVERVIEW:

Application:

On June 14, 2022 Soderstrom Architects applied for a temporary conditional use permit to locate three temporary mobile buildings to be used for four classrooms and office space on the high school campus. Due to the short lead time for the arrival of the buildings the application was expedited. The application was deemed complete for processing purposes effective June 20, 2022 once the application fee was received.

Approval of the request would allow for the addition of three (3) temporary, factory-built, and easily relocated, independent modular buildings for a total of four added classrooms. The third building will be used for main office administration and building entrance purposes. These buildings are considered temporary to solve an urgent overcrowding issue at the campus, as well as increase of safety and security by creating one controlled and supervised building entry point. Applicant is not proposing any revision to the use on the campus, and are not proposing capacity increases beyond what the original building was designed for, the three proposed new buildings are intended to accommodate the original design enrollment of the campus when built, accommodating the larger class size arriving to ninth grade in September 2022.

The application includes some evaluation with regard to parking, architecture, fencing, and building placement and plans for existing utilities and lighting, but no improvements to landscaping, lighting, or stormwater. Title 10, Chapter 4 permits temporary mobile building structures for non-profits and governmental use. The applicant has not suggested a time limit after which the buildings would be removed.

Process and Review: This application type is a Type III land use application requiring a quasi-judicial public hearing. The Florence Planning Commission is the review body as set out in the [Florence City Code Title 10 Chapter 4](#). The resolution, findings of fact and application materials are attached to this AIS. Additionally, testimony and at times parts of the application are included as separate attachments and are not included as part of the resolution exhibits. The applicable criteria are listed in the "Applicable Criteria" section of the findings. Only the code sections, comprehensive plan policies and appendices, are the policy considerations that may be applied in the decision-making process. Application materials, public testimony and agency referrals that speak to the criteria may also be considered.

The findings include a review of the application against the applicable criteria. Where project changes were needed or it was found necessary to ensure the code is met, conditions of approval are included.

Testimony: No public testimony comments were received as of the publishing of the Findings of Facts.

ISSUES/DECISION POINTS: Planning Commission shall identify a expiration date for the temporary Condition Use.

ALTERNATIVES:

1. Approve the Conditional Use Permit with conditions of approval
2. Review and recommend changes to the proposed Conditional Use Permit findings and approve as amended,
3. Continue the Public Hearing to a date certain if more information is required, or
4. Do not approve the Conditional Use Permit by revising the findings and resolution stating how the application does not meet the criteria.

RECOMMENDATION: Planning Staff—Option 1, Approve with conditions of approval

AIS PREPARED BY: Wendy FarleyCampbell, Planning Director

ITEM'S ATTACHED:

Attachment 1 – Resolution PC 22 10 CUP 02

- “A” Findings of Fact
- Attachment 1

APPROVED
City of Florence
Community Development
Department
1
Exhibit PC 2210 CUP 02
File Number

DATE June 13, 2022

TO City of Florence Planning Department

FROM Marlene Gillis

PROJECT / NO. 21009

 Andy Grzeskowiak, Siuslaw SD Superintendent

COPIES TO Reed Lewis, Siuslaw SD Facilities Director

SUBJECT Project Narrative and Description: Modular Building Additions, Siuslaw High School

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A. APPLICATION FORM

| Property Description | |
|---|--|
| Site Address: <u>2975 Oak Street, Florence, OR 97439</u> | |
| General Description: <u>Addition of three (3) temporary modular buildings on the Siuslaw High School Site: Two are two-classroom buildings (four total classrooms), third is administrative.</u> | |
| Assessor's Map No.: <u>18 - 12 - 2200</u> Tax lot(s): <u>00300</u> | |
| Zoning District: <u>Residential / High Density, Open Space / Public</u> | |
| Conditions & land uses within 300 feet of the proposed site that is one-acre or larger and within 100 feet of the site that is less than an acre OR add this information to the off-site conditions map (FCC 10-1-1-4-B-3): <u>Refer to the subsequent narrative for information on the adjacent site.</u> | |
| | |
| | |
| Project Description | |
| Square feet of new: <u>5,800 Total</u> | Square feet of existing: <u>122,000 SF</u> |
| Hours of operation: <u>7:00 AM - 4:00 PM</u> | Existing parking spaces: <u>Yes</u> |
| Is any project phasing anticipated? (Check One): Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | |
| Timetable of proposed improvements: <u>Summer 2022 installation</u> | |
| Will there be impacts such as noise, dust, or outdoor storage? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> | |
| If yes, please describe: <u>There could be some noise during earthwork prep and possibly during building installation.</u> | |
| | |
| Proposal: (Describe the project in detail, what is being proposed, size, objectives, and what is desired by the project. Attach additional sheets as necessary) <u>Addition of three (3) independent modular buildings, each approximately 1,800 square feet, at the Siuslaw High School site. Two (2) of the modular buildings are classrooms, with two (2) classrooms per building for a total of four (4) added classrooms. The third building will be used for main office administration and building entrance purposes. These buildings are considered 'temporary' to solve an urgent overcrowding issue at the campus, as well as increase safety and security by creating one controlled and supervised building entry point.</u> <u>Refer to following Project Narrative for additional information.</u> | |
| | |
| For Office Use Only: | |
| Date Submitted: _____ Fee: _____ | Paid |
| Received by: _____ | |

B. APPLICATION CHECKLIST

Proposed:

Are new streets planned or needed? (Please refer to the Transportation System Plan)
 Yes No If yes, please describe: _____

Are utility upgrades or extensions planned or needed?
 Yes No If yes, please describe: _____

If you answered yes to either question above, how will these improvements be funded?

Stormwater Plan:

Per FCC 9-5-2-4, a drainage plan is required for projects which add **500 SQUARE FEET OR GREATER** of impervious surface area or clearing vegetation from **10,000 SQUARE FEET OR GREATER** (single family homes are excluded). Please refer to FCC 9-5 and the Florence Stormwater Design Manual for requirements.

Traffic Impact Study:

Per FCC 10-1-1-4-E, larger projects may require a Traffic Impact Study. Please attach a TIS if needed.

Design & Architectural Drawings:

Per FCC 10-6-5, if applying for a design review, please attach or describe colors and materials being used as well as elevations of the proposed building.

Landscaping Plan:

Per FCC 10-34-3-2, the location, size and species of newly proposed plant materials, location(s) of area where existing vegetation will be cleared and/or preserved, irrigation and anticipated planting schedule, and location of existing and proposed fences and walls including buffering and screening materials.

Erosion Control:

Projects of over 1 acre of land disturbance over a period of time (please see FCC 10-36-4) are required to obtain a National Pollution Discharge Elimination System permit from the Department of Environmental Quality prior to the issuance of a development permit or land use permit based on appropriate criteria.

Site Investigation Report:

Refer to FCC 10-7-3 for the list of hazard areas within the City Limits which will require a SIR.

Old Town District:

Survey: Properties within the Old Town District require a recent survey per FCC 10-17 for all new development, redevelopment, and additions which show property lines, easements, 2' contours, existing structures, floodplain, and highest observed tide.

Visual Aids: New construction or story additions require visual aids. Please refer to FCC 10-17.

B. APPLICATION CHECKLIST

Other information Required

Below is a check list of the required information to determine if an application is complete. The Florence City Code is available at City Hall or online at www.ci.florence.or.us (click on "City Code" which is located on the main page). You will also find the *Florence Transportation Plan*, *Downtown Architectural Guidelines*, *Highway 101 Access Management Plans*, *Stormwater Design Manual*, and *Stormwater Management Plan* available on the City's website or at the City Hall for review or purchase.

Site Plan existing and proposed drawn to scale, showing the following:

- Existing and proposed site boundaries and proposed lot boundaries
- Existing and proposed structures
- Existing and proposed roads, streets, rights-of-way, pedestrian walks (widths and types), names, grades, radii
- Existing and proposed utility services – location of water and sewer lines, drainage routes and facilities, manholes, meters, fire hydrants, etc...
- Areas of scenic value, wildlife habitat, potential hazard areas (floodplains, geologic instability), wetlands, or other areas of special significance

Note: Please submit an electronic copy of any plans submitted larger than 11" x 17"

A title report from a title company showing:

- Existing liens
- Access and/or utility easements
- Legal description

Utility Plan:

List all utilities currently available to the site AND add this information to a utility plan map (See FCC 10-1-1-4-B-2).

Note: For help identifying the location of utilities, please call Dig Safely Oregon at 1-800-332-2344 or dial 811. Call Public Works (541-997-4106) to determine the size of utility lines. Call the Fire Marshal (541-997-3212) to determine fire flows.

Water Supply: _____ - inch line available from _____ (Street)
 Sanitary Sewer: _____ - inch line available from _____ (Street)
 Storm Sewer: _____ - inch line available from _____ (Street)

Check if available: Telephone Cable TV Electrical Other (Such as fiber optics)

Please provide a plan drawn to common scale showing the location of existing and proposed buildings, existing and proposed utility services, location and size of water and sewer lines, drainage routes, manholes, meters, fire hydrants, fire flows, and 2' contours.

Lighting Plan:

Show location of each light fixture, diagram illustrating foot-candle distribution, and elevation drawing of each light fixture in conformance to FCC 10-37.

Access Permits:

For properties along State or County roads (see FCC 10-35-2-4), a state or county access permit or application is required. For properties on Highway 101 located between Highway 126 and the Siuslaw River Bridge, please also refer to the *Highway 101 Access Management Plan*.

C. INTRODUCTION

The Siuslaw School District has two significant areas of concern at the Siuslaw High School (“SHS”) campus:

1. Overall safety and security.
2. Overcrowding and enrollment growth.

This proposed project attempts to solve both of these issues by adding three buildings:

1. Two (2) classroom buildings, each with two (2) classrooms, to alleviate that overcrowding.
2. One (1) administrative building, to house a relocated main office and create a single, controlled building access point.

All three buildings are nearly identical in size, one-story, wood framed, approximately 1,900 square feet each, for a total added area of approximately 5,700 square feet between the three buildings. These will connect to the existing building through covered walkways and also fenced to provide security and a way to control who enters the campus.

All three are factory-built, temporary structures that will be constructed off site and transported nearly complete to the site. This will allow for an expedited construction timeline and minimal disruption to the neighborhood relative to site impacts.

D. THE SITE AND PROPOSED USE

The existing SHS campus is located North of 27th street and West of Oak Street. It is approximately 122,000 square feet, built in 1963 and has been added onto several times over the years. The buildings are on a corner site, set back significantly from the road on both sides and surrounded by high density residential zoning on all sides except the west, which abuts an industrial enterprise zone.

We are not proposing any revision to the use on the campus, nor are we proposing capacity increases beyond what the original building was designed for. These three proposed new buildings are intended to accommodate the original design enrollment of the campus when built, accommodating the larger class size arriving to ninth grade in September 2022.

E. PROJECT DATA AND INFORMATION

Address: 2975 Oak Street
Florence, OR 97439

Map + Taxlot: 18122200 00300

Account: 0783900

Owner: Siuslaw School District 97J

Addresses: 2975 Oak Street / 2525 Oak Street / **2111 Oak Street*** / 2151 Oak Street / 2221 Oak Street

* Owner Mailing Address

Lot Size: 87.45 (map acres)
87.30 (tax account acres)

Comprehensive Plan Map Designation: Open Space – Public.

Zone Map Classification: Residential – High Density.

Adjacent Zoning: Residential: High Density (North, East, South).

Industrial: Pacific View Business Park (West):

- Enterprise Zone.

Surrounding Land Use / Zoning - Site: High School / Open Space (Public):

North: Residential / High Density.

South: Residential / High Density.

East: Residential / High Density.

West: Industrial / Business / Industrial Park.

Streets / Classification:

East – Oak St. / Collector.

North – N/A.

West – N/A.

South – 27th St. / Collector.

F. APPLICABLE STANDARDS

Temporary Buildings:

All three (3) proposed buildings for the site are proposed to be temporary, factory-built, and easily relocated. With this, we feel the design review requirements are not all required to be met. However, we have indicated the general character and configuration of the buildings, to get a sense of the final built construction.

Specific Development Standards:

Chapter 2 – General Zoning Provisions

10-2-3: Building Setback Requirements

- A. Front Yard: Minimum 3-1/2 feet.
- B. Side Yards: Minimum 2 feet, or as required by the Planning Commission.

Chapter 3 – Off-Street Parking and Loading

10-3-4: Minimum Required Parking by Use (Table 10-3-1):

- A. Seven (7) per classroom, or as determined by the Planning Commission.
- B. Number of classrooms (existing and proposed new total):
- C. Number of parking spaces:
 - 1) Required: (26) existing classrooms + (4) new = (30) total classrooms / (210) total spaces required.
 - 2) Provided: (251) existing spaces currently.

B. Institutions and Public Assembly Types:

| | |
|--|--|
| Elementary, middle school and other children's day schools | 1 space per classroom, or as determined by the Planning Commission |
| Daycare, adult or child day care (does not include Family Daycare (12 or fewer children under ORS 657A.250)) | 1 space per 500 sq. ft. of floor area |
| High schools Colleges and universities | 7 per classroom, or as determined by the Planning Commission |

10-3-11: Loading Areas

- A. Schools with more than (25) students shall have a driveway designed for continuous forward flow of passenger vehicles for the purpose of loading and unloading children.
- B. The existing site meets these conditions.
- C. The proposed new buildings do not impact this approach.

Chapter 4 – Conditional Uses

10-4-2: General Applicability

- A. Remodels or expansions of up to 25% of the floor area are allowed without a new conditional use permit as long as the remodel or expansion is consistent with the original approval.
- B. We feel the proposed added buildings align with the original intended function and use of the SHS campus, and a new application is not required for this scope.
- C. With the existing building at over 122,000 square feet, this proposed 5,700 square foot addition represents an increase of less than five percent (5%) overall to the campus.

Chapter 6 – Design Review

10-6-3: General Applicability

- A. Due to the temporary nature of these buildings, we have assumed a Type I review will be adequate for this project. We have still listed the design review requirements below and how they are met where applicable.

10-6-6-4: Permitted Visible Building Materials

- A. Exterior Building Walls: These are proposed to be painted wood siding, with a texture / panelized nature, to add visual interest.
- B. Roofs, Awnings, Gutters, and Visible Roofing Components: These are proposed to be composition shingles, with gutters and downspouts coated metal. The site canopies are proposed to be metal decking material on a structural metal frame support system.
- C. Chimney Enclosures: Not applicable.
- D. Windows, Entrances, and Accessories:
 - 1) Windows are to be an integrally colored vinyl ‘fin’ window, operable and of a consistent size and height with the others.
 - 2) Doors and door frames are to be factory-painted hollow metal (steel).
- E. Trellises, Decks, Stairs, Stoops, Porches, and Balconies: The building entry ramps and stairs will be provided by the building manufacturer and will be built from pressure-treated, stained wood, suitable for the harsh exterior environment of Florence.
- F. Landscape / Retaining Walls and Fences: per Chapter 34.
- G. Building and Site Material Colors: These shall be of a muted, coastal Pacific Northwest palette, one that matches the existing buildings on campus well and will blend in with the existing buildings.

10-6-6-5: Material Applications and Configurations:

- A. Building Walls: We have proposed one single, clear dominant exterior wall material and finish, painted wood siding.
- B. Roofs, Awnings, Gutters, and Roofing Accessories:
 - 1) Roof to have minimum 5:12 pitch, maximum 12:12 pitch, and shall be symmetrical with a gable or hip configuration.
 - 2) Continuous eaves will be built.
 - 3) Roof to wall connection to occur with minimum 3:1 slope.
 - 4) No flat roofs, rooftop mounted equipment to be utilized (all inside attic, ground- or building-mounted).
 - 5) Gutters to be round or ogee profile, with round or square leaders.
 - 6) There will be no roof-mounted equipment, so visibility from the street is a non-issue.
 - 7) Sloped roof eaves will overhang wall planes a minimum of twelve inches and shall be visibly supported by exposed rafter ends or other compatible architectural detailing.
- C. Towers: Not Applicable.
- D. Visible Windows, Glazing and Entrances:
 - 1) Windows to be rectangular in shape with straight tops.
- E. Visible Decks and Balconies: Not Applicable.
- F. Visible Landscape / Retaining Walls and Fences:

- 1) Site materials will generally match the adjoining buildings.
- 2) Metal fencing elements will be configured in a predominantly vertical orientation.
- G. Mechanical Equipment: Every attempt will be made to locate the equipment in a concealed or non-prominent location.

Chapter 7 – Special Development Standards

10-7-2: General Applicability

- A. The proposed existing SHS site has not been identified to contain any wetlands, riparian areas, or potential problem areas.

Chapter 10 – Residential Districts

10-10-3: Non-Residential Uses

- A. Per Table 10-10-3-A, public schools are permitted via 'Conditional Use' in High Density Residential (HDR) zones:

10-10-3: NON-RESIDENTIAL USES

A. Table 10-10-3-A. The following table indicates which uses are permitted in each residential zone.

| Uses | LDR | MDR | RMH | HDR |
|--|-----|-----|-----|-----|
| Public and semi-public buildings and uses (e.g. fire stations, pumping stations, reservoirs, etc.) | C | C | C | C |
| Public and private parks, playgrounds, community centers and recreation facilities | C | C | C | C |
| Religious institutions | C | C | C | C |
| Child care centers | C | C | C | C |
| Day nurseries (must retain residential character of building) | N | C | C | C |
| Recreation facilities for use of residents or guests as part of an approved PUD | P | P | P | P |
| Home occupations | P | P | P | P |
| Neighborhood Commercial | N | C | C | C |
| Bed and Breakfast Facility | N | C | N | N |
| Professional offices | N | N | N | C |
| Public parking areas | N | N | N | C |
| Agricultural uses | N | C | C | N |
| Gardens and greenhouses for the harvest of fruits, vegetables and flowers for noncommercial use | P | P | P | P |
| Hospitals | N | C | C | C |
| Public or private schools | N | C | C | C |
| Cemeteries | N | C | C | N |

P=Permitted with Type I review, SR=Type II site review required, C=Type III conditional use review required and N=Not permitted

10-10-4: Lot and Yard Provisions

- A. Per Table 10-10-4-A, minimum lot dimensions of fifty feet wide by eighty feet deep are met.
- B. Per Table 10-10-4-B, minimum lot area of 5,000 square feet is met.
- C. Per Table 10-10-4-C, maximum lot coverage of 75% for building and 85% for impervious is met.
- D. Per Table 10-10-4-D, minimum setbacks of five feet for front, side, and rear, 10 feet for parking lot are met.

10-10-5: Site Development Provisions

- A. Per section A., maximum building height requirement of thirty feet for nonresidential structures is met.

Chapter 34 – Landscaping

10-34-2-1: Applicability

- A. As these proposed buildings are considered ‘temporary’ we are not applying the landscaping standards as written in the zoning code at this time.

10-34-5: Fences and Walls

- A. The site fencing being proposed will meet all planning requirements related to it, primarily a maximum 4-foot height along the front lot line, and six feet along the rear and side lot lines where it abuts residential, eight feet maximum where it abuts residential.

G. CONCLUSION

We hope to prove with this application that the District has met the requirements of the City of Florence planning requirements for the addition of these three (3) temporary buildings at the Siuslaw High School. This project is undertaken to respond to a very critical and time-sensitive need of the community to support the additional students anticipated for the school year 2022-23. Additionally, this project has another significant goal of creating a safer and more secure campus, with one controlled central entry point that would be monitored and remove the current condition which allows anyone complete access to the entire interior of the building. We appreciate your time in reviewing this application.

Please let me know if you have any questions or would like additional information.

Thank you,

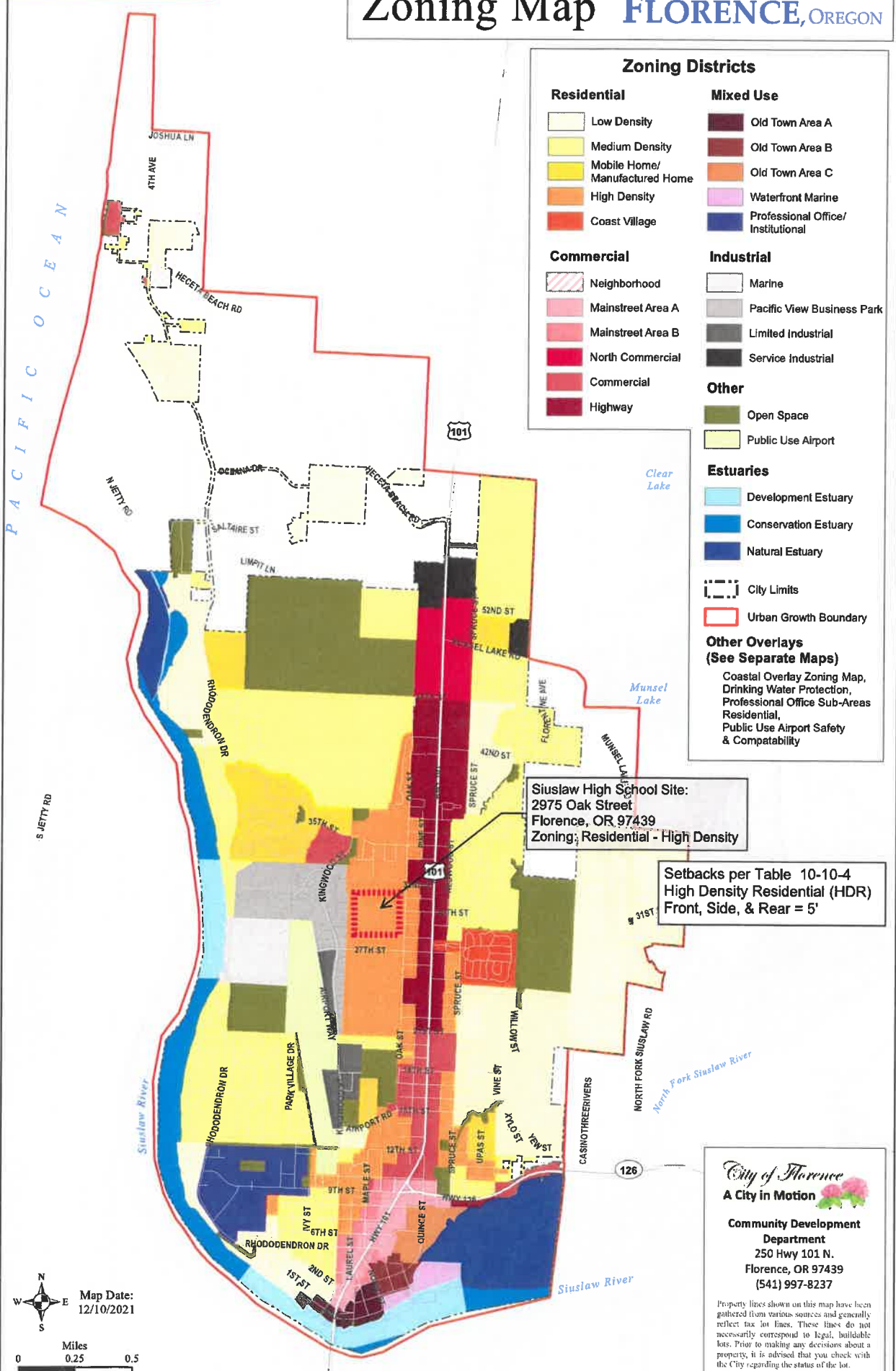
Marlene Gillis, AIA, ALEP, LEED AP
President, Soderstrom Architects, Ltd.

Zoning Map CITY OF FLORENCE, OREGON

PACIFIC OCEAN

Zoning Districts

| | |
|-------------------------------|--|
| Residential | Mixed Use |
| Low Density | Old Town Area A |
| Medium Density | Old Town Area B |
| Mobile Home/Manufactured Home | Old Town Area C |
| High Density | Waterfront Marine |
| Coast Village | Professional Office/Institutional |
| Commercial | Industrial |
| Neighborhood | Marine |
| Mainstreet Area A | Pacific View Business Park |
| Mainstreet Area B | Limited Industrial |
| North Commercial | Service Industrial |
| Commercial | Other |
| Highway | Open Space |
| | Public Use Airport |
| | Estuaries |
| | Development Estuary |
| | Conservation Estuary |
| | Natural Estuary |
| | City Limits |
| | Urban Growth Boundary |
| | Other Overlays (See Separate Maps) |
| | Coastal Overlay Zoning Map, Drinking Water Protection, Professional Office Sub-Areas Residential, Public Use Airport Safety & Compatibility |



Siuslaw High School Site:
2975 Oak Street
Florence, OR 97439
Zoning: Residential - High Density

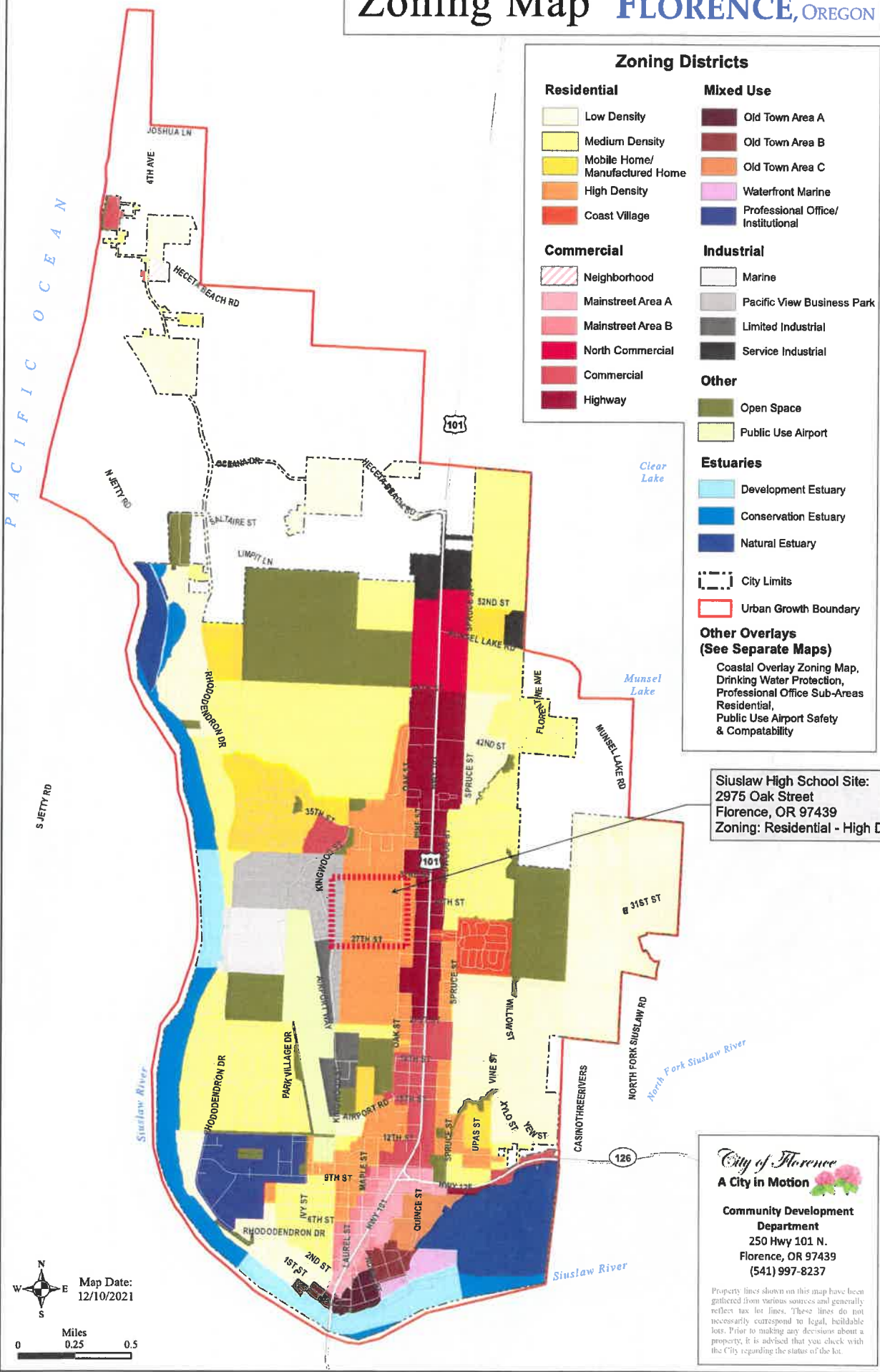
Setbacks per Table 10-10-4
High Density Residential (HDR)
Front, Side, & Rear = 5'

City of Florence
A City in Motion

Community Development
Department
250 Hwy 101 N.
Florence, OR 97439
(541) 997-8237

Property lines shown on this map have been gathered from various sources and generally reflect tax lot lines. These lines do not necessarily correspond to legal, buildable lots. Prior to making any decisions about a property, it is advised that you check with the City regarding the status of the lot.

Zoning Map CITY OF FLORENCE, OREGON



Zoning Districts

| | |
|-------------------------------|--|
| Residential | Mixed Use |
| Low Density | Old Town Area A |
| Medium Density | Old Town Area B |
| Mobile Home/Manufactured Home | Old Town Area C |
| High Density | Waterfront Marine |
| Coast Village | Professional Office/Institutional |
| Commercial | Industrial |
| Neighborhood | Marine |
| Mainstreet Area A | Pacific View Business Park |
| Mainstreet Area B | Limited Industrial |
| North Commercial | Service Industrial |
| Commercial | Other |
| Highway | Open Space |
| | Public Use Airport |
| | Estuaries |
| | Development Estuary |
| | Conservation Estuary |
| | Natural Estuary |
| | City Limits |
| | Urban Growth Boundary |
| | Other Overlays (See Separate Maps) |
| | Coastal Overlay Zoning Map, Drinking Water Protection, Professional Office Sub-Areas Residential, Public Use Airport Safety & Compatibility |

Siuslaw High School Site:
2975 Oak Street
Florence, OR 97439
Zoning: Residential - High Density

Map Date:
12/10/2021

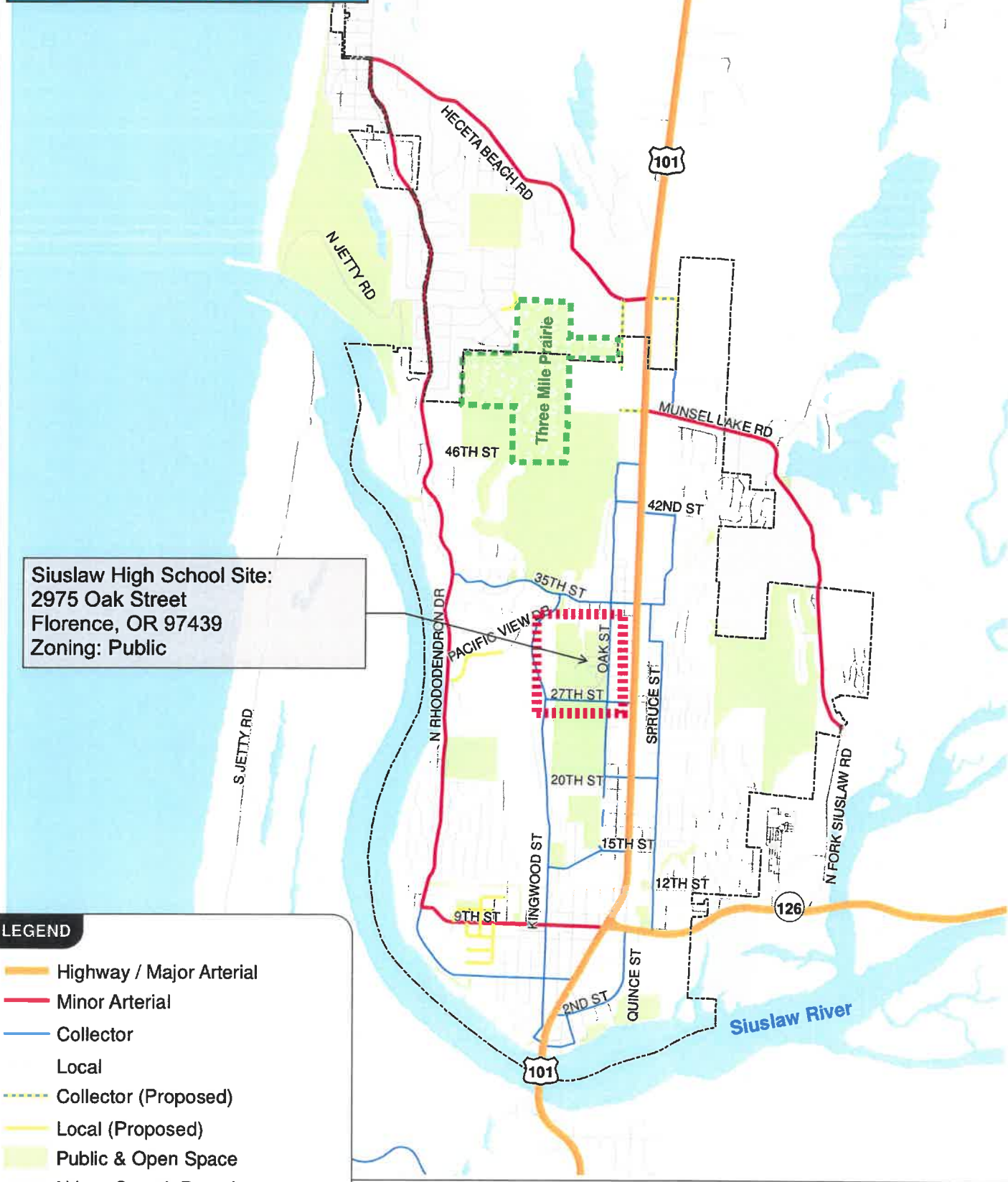
Miles
0 0.25 0.5

City of Florence
A City in Motion

**Community Development
Department**
250 Hwy 101 N.
Florence, OR 97439
(541) 997-8237

Property lines shown on this map have been gathered from various sources and generally reflect tax lot lines. These lines do not necessarily correspond to legal, buildable lots. Prior to making any decisions about a property, it is advised that you check with the City regarding the status of the lot.

**EXHIBIT C
CITY OF FLORENCE STREET
CLASSIFICATION MAP**



Siuslaw High School Site:
2975 Oak Street
Florence, OR 97439
Zoning: Public

LEGEND

- Highway / Major Arterial
- Minor Arterial
- Collector
- Local
- Collector (Proposed)
- Local (Proposed)
- Public & Open Space
- Urban Growth Boundary
- City Limits

**FUNCTIONAL CLASSIFICATION
FLORENCE, OREGON**

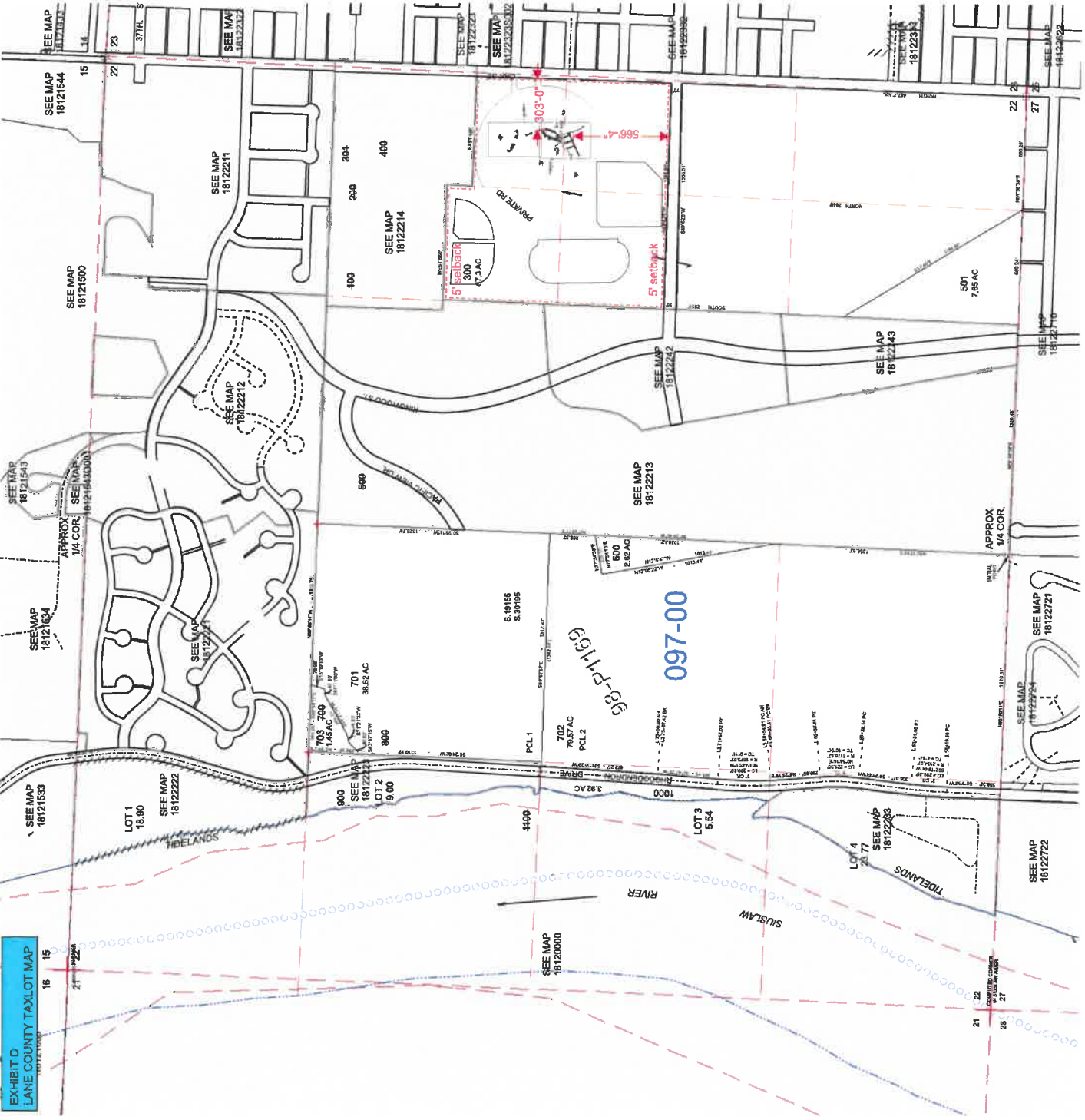
FIGURE
9-2

H:\profile\10103 - Florence TGM Grant Application\dwg\figs\TSP figures\10103_fig_TSP_Chapter 4 Fig4-3.mxd

SECTION 22 T.18S. R.12W. W.M.
Lane County
1" = 400'

FOR ASSESSMENT AND
TAXATION ONLY

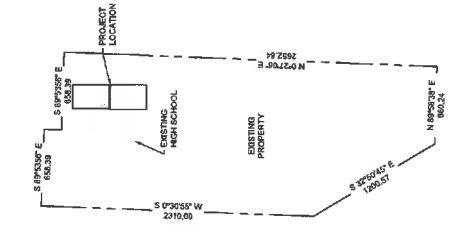
EXHIBIT D
LANE COUNTY TAXLOT MAP



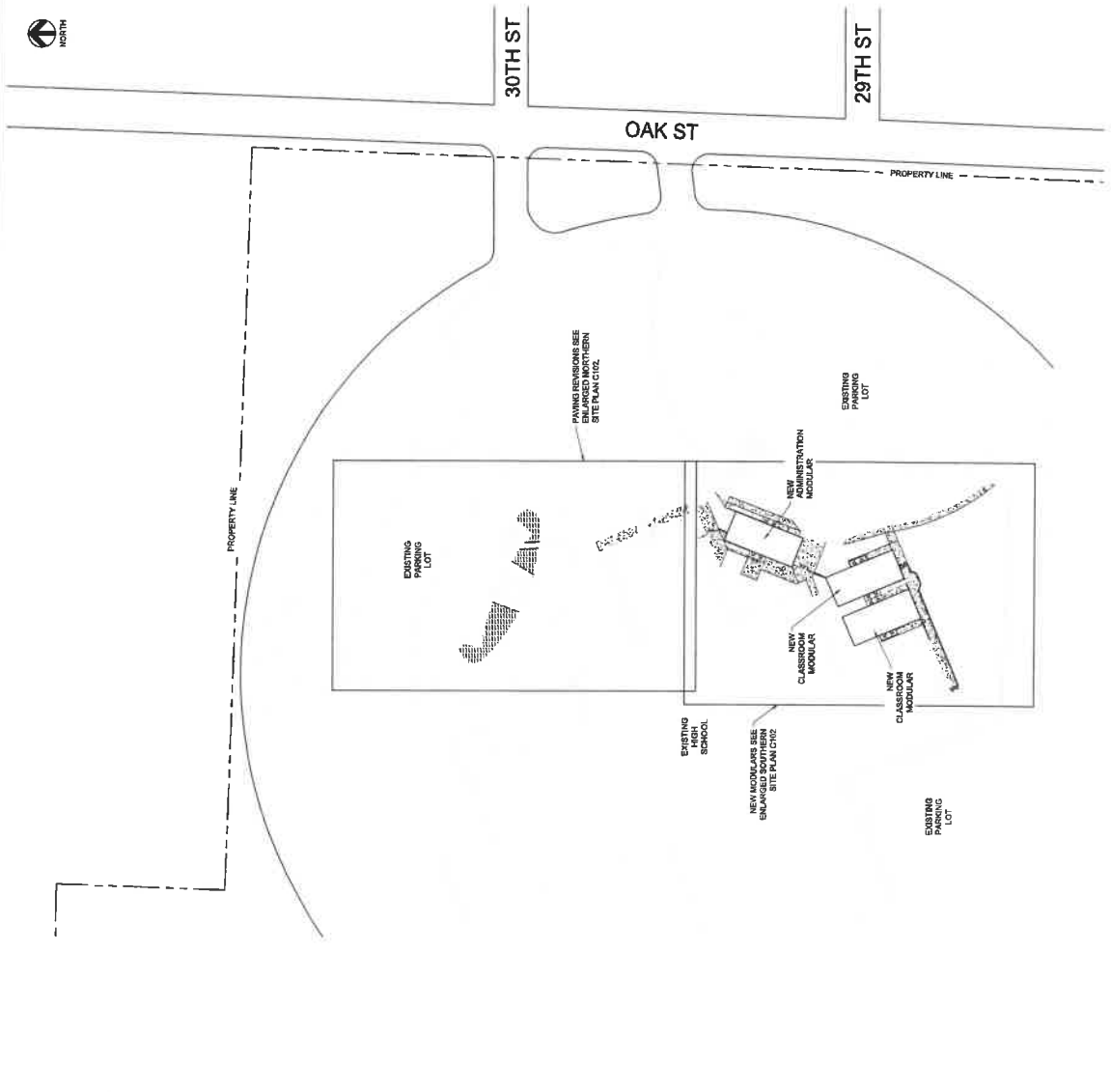
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REVISIONS
11/19/2008 - LCA 152 - CONVERT MAP TO GIS
11/19/2008 - LCA 152 - MAP COR. AREA FIELD TL 702

**EXHIBIT E
CIVIL SITE PLANS**



OVERALL SITE PLAN



PARTIAL SITE PLAN

- CONCRETE**
1. CONCRETE FOR WALLS, CURBS AND GUTTERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI AT 28 DAYS.
 2. TOOL ALL EXPOSED EDGES WITH A 1/2" RADIUS.
 3. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH AS 11 AND ACT 305 OR 306 FOR HOT AND COLD WEATHER CONCRETING.
 4. TOE FRAMES FOR CONCRETE CONSTRUCTION SHALL BE BASED ON A 19.4 STAMPER EDGE GRADE SHALL NOT DEVIATE MORE THAN 1/4" AND ALIGNMENT SHALL NOT VARY MORE THAN 1/4".
 5. COMPACTED CURBED SURFACING TOP COURSE PER DOOT SECTION USED COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D1557.
- LANDSCAPE**
1. FOR ALL AREAS DISTURBED BY GRADING WORK AND OTHER ACTIVITIES, THE CONTRACTOR SHALL RESTORE THE AREA TO ORIGINAL OR BETTER CONDITION AS NEARLY AS POSSIBLE WITHIN THE PROJECT LIMITS.
 2. CONTRACTOR SHALL PRESERVE AND PROTECT EXISTING IRRIGATION SYSTEMS AND TREES AND SHALL REPAIR OR REPLACE ANY IRRIGATION SYSTEMS THAT ARE DAMAGED OR DESTROYED BY CONSTRUCTION ACTIVITIES. IRRIGATION SYSTEMS SHALL BE REPAIRED, RECONFIGURED, OR REPLACED AS NECESSARY TO MAINTAIN THE EXISTING IRRIGATION SYSTEM WITH FULL COVERAGE OF ALL TURF AND LANDSCAPE AREAS WITHIN THE PROJECT LIMITS. IRRIGATION MANUFACTURERS SHALL BE RESPONSIBLE BY THE CONTRACTOR.
- FENCING**
1. NEW FENCE SHALL BE UNDER DESIGN, INCLUDING PAUL PICKETS, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF OAK CREST DISTRICT.
 2. EXISTING FENCE AND GATE DETAILS TO THE ENGINEER AND SCHOOL DISTRICT.
 3. MATERIALS SHALL BE NEW AND PRODUCTS OF RECOGNIZED MANUFACTURERS. MATERIALS SHALL CARRY A LABEL IDENTIFYING THE MANUFACTURER. ALL PRODUCTS SHALL BE POWDER COATED BLACK.
 4. MATERIAL FOR GATES SHALL BE THE SAME AS SPECIFIED FOR THE FENCE. GATES SHALL BE DESIGNED TO RECEIVE SCHOOL DISTRICTS' POSTS AND SHALL BE FRAMING SUPPORTED TO PREVENT MOVEMENT OF 1/2" IN ANY DIRECTION. GATES SHALL BE EQUIPPED WITH LOCKS, LATCHES, DOORS, AND SHALL BE LATCHED TO THE INSIDE OF THE DISTRICT. GATES SHALL BE LATCHED HARDWARE AND KEYING.
 5. MISCELLANEOUS FITTINGS USED IN THE CONSTRUCTION OF THE FENCE SHALL BE VALUABLE IRON, CAST IRON, OR PRESSED STEEL AND SHALL BE POWDER COATED TO MATCH FENCE.
 6. HEDGES SHALL ALLOW THE GATE TO SWING A MINIMUM OF 135 DEGREES AND SHALL NOT TRIP OR TURN UNDER THE ACTION OF THE GATE.
 7. ALL POSTS SHALL BE SET IN CONCRETE PLUMB AND TRUE TO LINE.
 8. ALL CONCRETE USED FOR THE FENCE CONSTRUCTION SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI IN 28 DAYS. ALL CONCRETE SHALL BE FRAMING SUPPORTED TO PREVENT MOVEMENT OF 1/2" IN ANY DIRECTION. CONCRETE SHALL BE SET (24 HOURS MINIMUM).
 9. THE FENCE SHALL BE INSTALLED TRUE TO LINE AND GRADE IN THE LOCATION SHOWN ON THE PLANS AND IN ACCORDANCE WITH THESE REQUIREMENTS. ALL BOLT HEADS SHALL BE LOCATED ON THE OUTSIDE OF THE FENCE.
 10. ALL BOLT HEADS SHALL BE LOCATED ON THE OUTSIDE OF THE FENCE.
 11. FENCE SHALL BE 4" TALL 3 RAIL WROUGHT IRON PANELS WITH PICKETS AT APPROXIMATELY 4' OC. PROVIDE BOLTING BRACKETS TO ATTACH TO FENCE POSTS.
 12. FENCE PICKETS SHALL BE SQUARE STEEL POST BAZED AS REQUIRED AND SHALL BE 1/2" DIA. PICKETS SHALL BE 1/2" DIA. PICKETS WITH AN MINIMUM 1/2" DIAMETER CAST IN PLACE CONCRETE FOOTING UNLESS OTHERWISE INDICATED.

Meyer
12 W. Kinnelock Ave.
Kenosha, WI 53108
P: 909.735.1009
F: 909.733.9379
www.meyerinc.com

| NO. | DATE | BY | REVISIONS |
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| | | | |
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APPROVAL

DESIGN: [Signature] DATE: 06/02/2022
 PERM: [Signature] DATE: 06/02/2022
 CHECKED: [Signature] DATE: 06/02/2022
 APPROVED: [Signature] DATE: 06/02/2022

SITE PLAN

SUSLAW HS MODULAR BUILDINGS
 PACIFIC MOBILE BUILDINGS

SUSLAW HIGH SCHOOL

DWG. NO. **C101**

SCALE: AS INDICATED
 ISSUE DATE: 06/02/2022
 PROJECT NO. **8981**
 SHEET NO. **1** OF **2**



**EXHIBIT E
CIVIL SITE PLANS**

Price
12 W. Kemmick Ave.
Kennewick, WA 98533
P: 800.735.1508
F: 360.735.1500
www.priceinc.com

| NO. | REVISIONS | DATE | BY | CHKD | DESIGN | APP'D |
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| | | | | | | |

04/24/2022

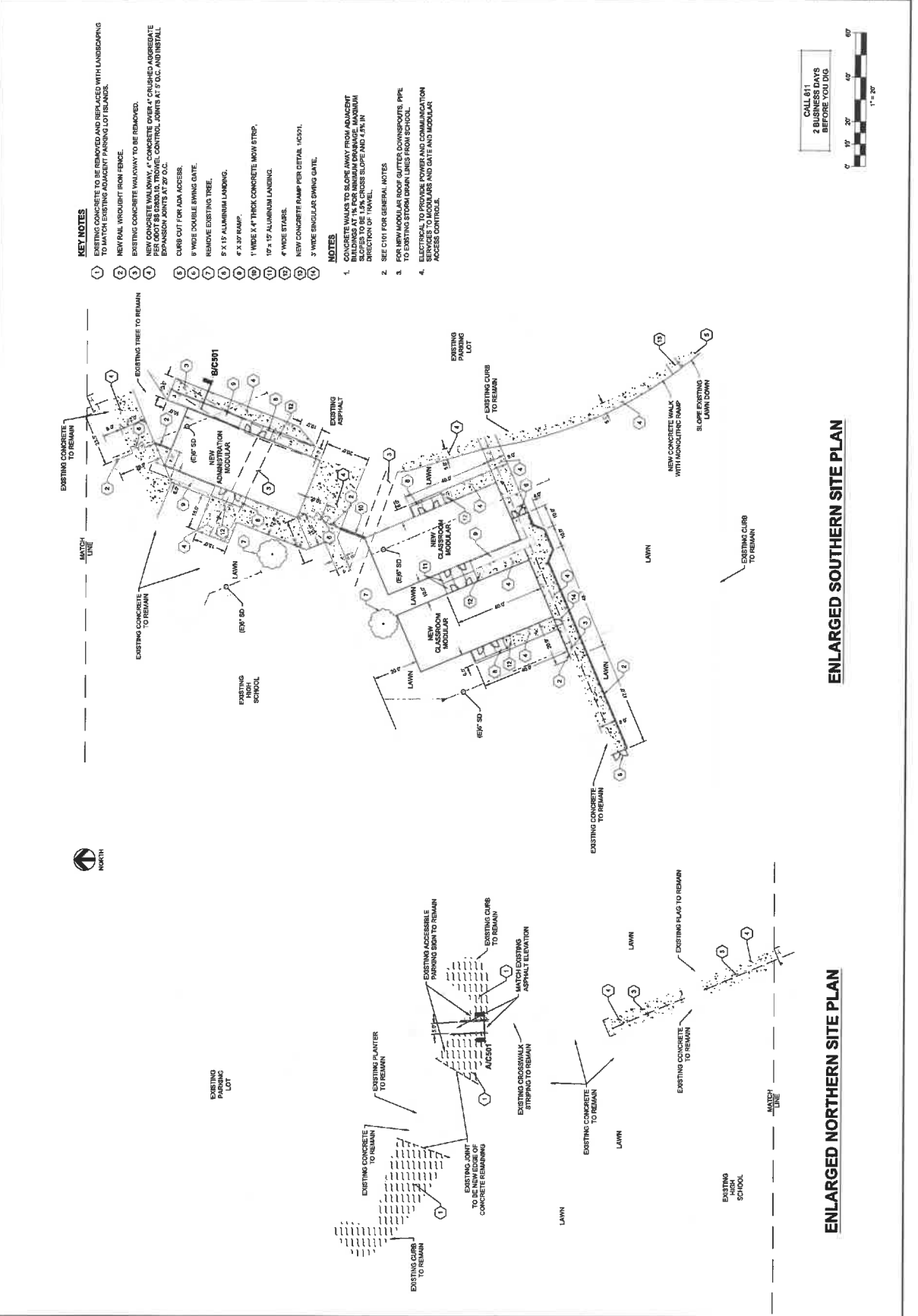
APPROVAL

DESIGN: EAR 06/26/2022
CHECKED: JMM 06/26/2022
APPROVED: JMM 06/26/2022

**PACIFIC MOBILE BUILDINGS
SUSLAW HS MODULAR BUILDINGS
SUSLAW HIGH SCHOOL
ENLARGED SITE PLAN**

DWG NO. **C102**

SCALE: AS INDICATED
SHEET NO. 08/09/22
8981



- KEY NOTES**
- EXISTING CONCRETE TO BE REMOVED AND REPLACED WITH LANDSCAPING TO MATCH EXISTING ADJUTING PARKING LOT ISLANDS.
 - NEW PAUL WROUGHT IRON FENCE.
 - EXISTING CONCRETE WALKWAY TO BE REMOVED.
 - NEW CONCRETE WALKWAY, 4" CONCRETE OVER 4" CRUSHES AND GRATE PER DOT 38 GRADA, 1/8" TRAVEL CONTROL JOINTS AT 3' O.C. AND INSTAL EXPANSION JOINTS AT 30' O.C.
 - CURB CUT FOR ADA ACCESS.
 - 8" WIDE DOUBLE SWING GATE.
 - REMOVE EXISTING TREE.
 - 5' X 15' ALUMINUM LANDING.
 - 6' X 30' RAMP.
 - 1" WIDE X 4" THICK CONCRETE MOW STRIP.
 - 10' X 10' ALUMINUM LANDING.
 - 4" WIDE STAIRS.
 - NEW CONCRETE PAMP PER DETAIL 10331.
 - 3" WIDE SINGULAR SWING GATE.

- NOTES**
- CONCRETE WALKS TO SLOPE AWAY FROM ADJUTING PARKING LOT. CONCRETE TO BE 4 IN. CROSS SLOPE AND 4 IN. IN DIRECTION OF TRAVEL.
 - SEE CITY FOR GENERAL NOTES.
 - FOR NEW MODULAR ROOF GUTTER DOWNSPOUTS, PIPE TO EXISTING STORM DRAIN LINES FROM SCHOOL.
 - ELECTRICAL TO PROVIDE POWER AND COMMUNICATION TO ALL MODULARS AND LATE AND MODULAR ACCESS CONTROL.



ENLARGED SOUTHERN SITE PLAN

ENLARGED NORTHERN SITE PLAN



JOB NO. 9333
 DATE 9 JULY 00
 DRAWN MHG
 REVISIONS

4
 ANNECOTE CORP.
 10000 W. 14th Street
 Farmington Hills, MI 48334
 248/781-1111
 248/781-3888 Fax

SIU SLAW HS
 GYMNASIUM &
 BASEBALL
 FIELD

SIU SLAW HIGH SCHOOL
 FARMINGTON HILLS, MI 48334
 SHEET

A1.1

GENERAL NOTES:

- CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND ALL CHANGES SHALL BE OCCURRED BEFORE ANY CONSTRUCTION BEGINS. THE LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE OWNER OR ITS REPRESENTATIVE.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION WHICH IS NOT REFLECTED ON ARCHITECTURAL DRAWINGS.
- REFER TO SITE PLAN AND CIVIL SHEETS FOR ADDITIONAL INFORMATION WHICH IS NOT REFLECTED ON THIS SHEET.
- CONTRACTOR TO VERIFY BEARING AREA WITH OWNER AND ADJACENT PROPERTY TO PREVENT EROSION AND SLOTTING AND SECURITY.
- CONTRACTOR TO VERIFY ALL UTILITIES WITH NEIGHBORING AND SITE ADJACENT PROPERTY AND RECORD.

SYMBOL LEGEND:

| | | |
|---|---|---|
| PROPERTY LINE | EXISTING WATER MAIN LINE TO REMAIN | EXISTING WATER MAIN LINE TO REMAIN |
| EXISTING WATER MAIN LINE TO REMAIN | EXISTING ELECTRICAL LINE TO REMAIN | EXISTING ELECTRICAL LINE TO REMAIN |
| EXISTING ELECTRICAL LINE TO REMAIN | EXISTING TELEPHONE LINE TO REMAIN | EXISTING TELEPHONE LINE TO REMAIN |
| EXISTING TELEPHONE LINE TO REMAIN | NEW 8"-Ø HIGH CHAIN-LINK FENCE WITH PRIVACY SLATS | NEW 8"-Ø HIGH CHAIN-LINK FENCE WITH PRIVACY SLATS |
| NEW 8"-Ø HIGH CHAIN-LINK FENCE WITH PRIVACY SLATS | EXISTING FIRE HYDRANT TO REMAIN, UON | EXISTING FIRE HYDRANT TO REMAIN, UON |
| EXISTING FIRE HYDRANT TO REMAIN, UON | EXISTING BUILDING TO REMAIN | EXISTING BUILDING TO REMAIN |
| EXISTING BUILDING TO REMAIN | REBUILDING, PROVIDE EXCAVATION AND CONSTRUCTION OF FOOT-PATH DECK | REBUILDING, PROVIDE EXCAVATION AND CONSTRUCTION OF FOOT-PATH DECK |
| REBUILDING, PROVIDE EXCAVATION AND CONSTRUCTION OF FOOT-PATH DECK | NEW ASPHALT PAVEMENT | NEW ASPHALT PAVEMENT |

- REFERENCE NOTES:**
- EXISTING CURBS TO BE REMOVED
 - EXISTING ASPHALT PAVEMENT TO BE REMOVED
 - EXISTING CONCRETE ASPHALT TO BE REMOVED
 - EXISTING LANDSCAPED AREA TO BE REMOVED, CAP, AND RECONSTRUCTED WITH NEW CONSTRUCTION AREA REFER TO LANDSCAPE DRAWINGS
 - EXISTING CONCRETE CURBS TO REMAIN
 - EXISTING ASPHALT PAVEMENT TO REMAIN
 - EXISTING CONCRETE ASPHALT TO REMAIN
 - EXISTING LAND ON UNDEVELOPED AREA TO REMAIN, RESTORE AS REQUIRED BY NEW CONSTRUCTION
 - NEW CONCRETE CURBS
 - NEW CONCRETE CURBS, BLEND AND MATCH PEOPLE INTO EXISTING CONCRETE CURBS TO REMAIN
 - NEW ASPHALT PAVEMENT
 - PATCH AND REPAIR EXISTING CONCRETE ASPHALT TO CURBS, ASBT ASPHALT INTO BACK OF NEW CONCRETE CURBS
 - NEW-PAVEMENT-AREA PAINTED ASPHALT
 - EXISTING WATER MAIN AND VALVE TO REMAIN
 - NEW 4" THICK CONCRETE CURBS
 - NEW CONCRETE PAD AND TRANSFORMER - REFER TO ELECTRICAL DRAWINGS
 - NEW CATCH BASIN, REFER TO CIVIL DRAWINGS
 - NEW MANHOLE REFER TO CIVIL DRAWINGS
 - NEW LOCATION FOR RELOCATED FIRE HYDRANT, REFER TO CIVIL DRAWINGS
 - NEW CLEAN-OUT, REFER TO CIVIL DRAWINGS
 - NEW WATER SYSTEM, REFER TO CIVIL DRAWINGS
 - ADDITIONAL REFER TO SPECIFICATIONS AND ELECTRICAL DRAWINGS

CURVE DATA:

| | |
|---|-----------------|
| 1 | RADIUS • 50'-0" |
| 2 | RADIUS • 50'-0" |
| 3 | RADIUS • 50'-0" |
| 4 | RADIUS • 50'-0" |
| 5 | RADIUS • 50'-0" |
| 6 | RADIUS • 50'-0" |

SEE APP #2
 I-TELL 9, a
 REVISION
 PD #3
 PD #19

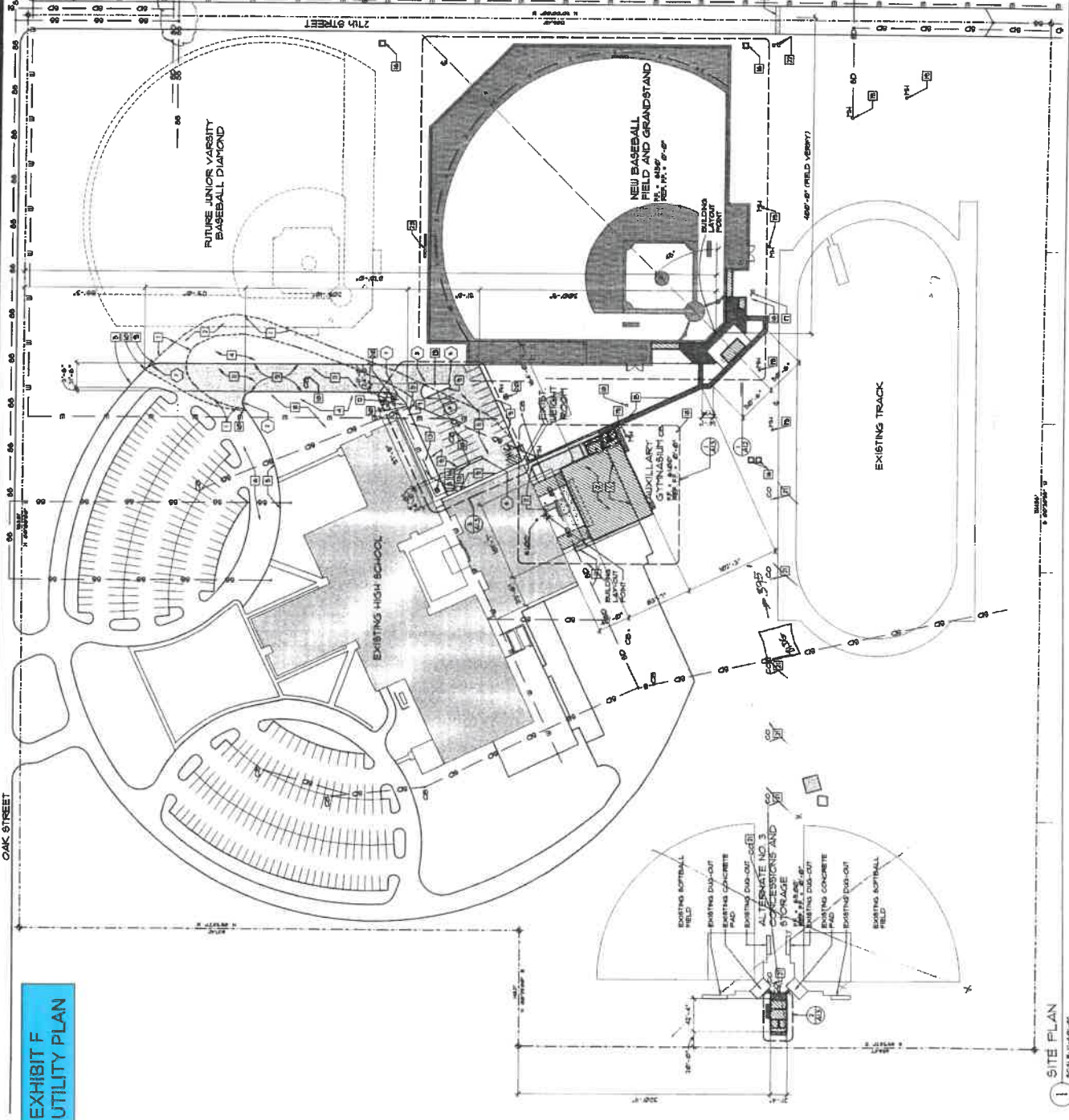
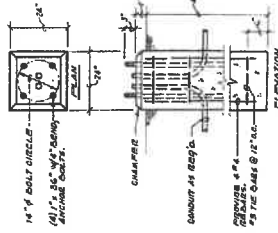


EXHIBIT F
 UTILITY PLAN

1 SITE PLAN
 SCALE: 1"=40'-0"

EXHIBIT G LIGHTING PLAN

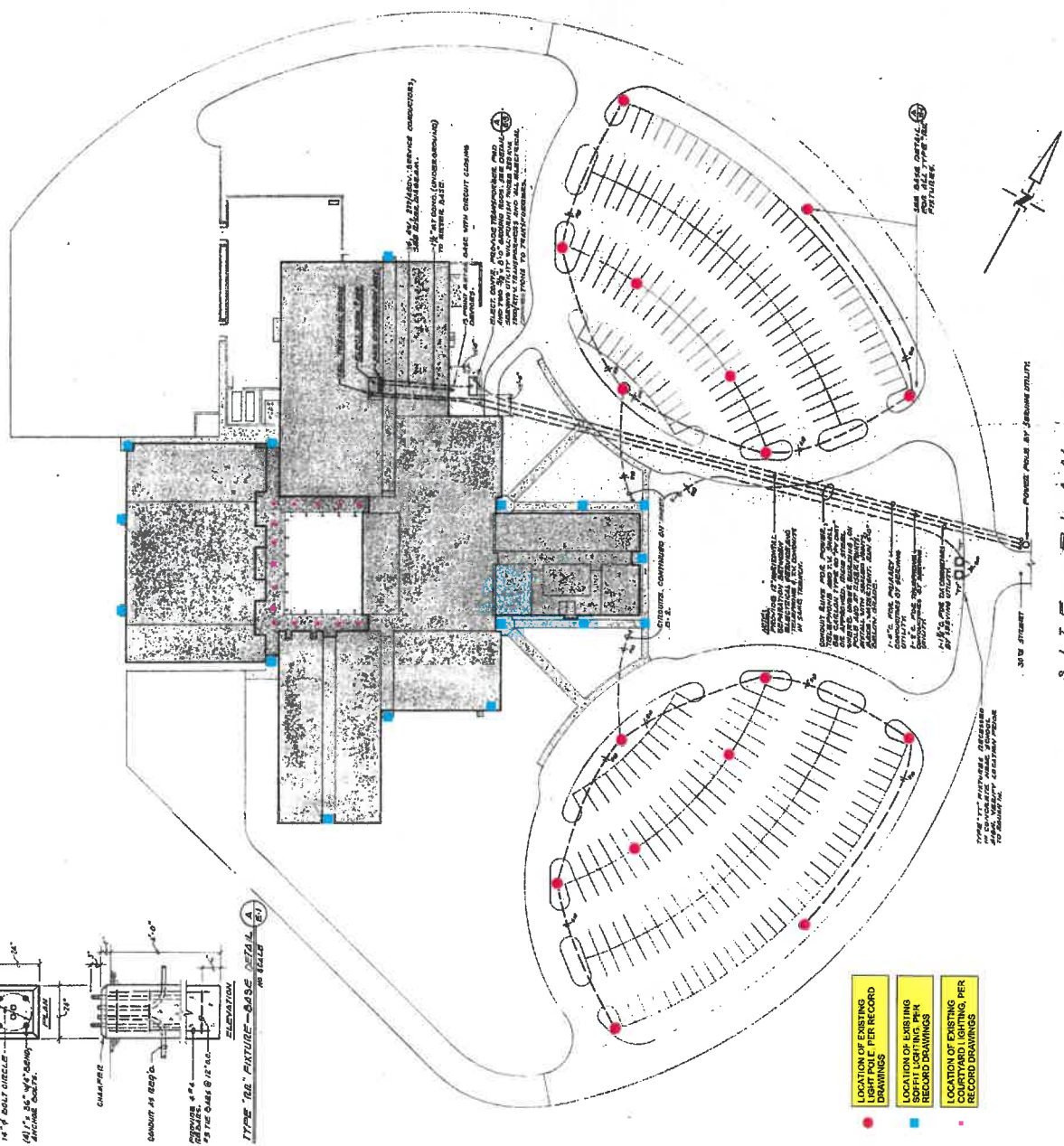


TYPE "B" FIXTURE - BASE DATA (R)

SYMBOL LIST

- 1. UNBROKEN LINES, CODE LETTER SHOWN.
- 2. UNBROKEN LINES, CODE LETTER SHOWN.
- 3. LIGHT OUTLET, BULB, CODE LETTER SHOWN.
- 4. LIGHT OUTLET, RECESSED, CODE LETTER SHOWN.
- 5. LIGHT OUTLET, RECESSED, CODE LETTER SHOWN.
- 6. SWITCH, SINGLE POLE, LOCAL LIGHTING CIRCUIT.
- 7. SWITCH, TRIPLEX.
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- ### GENERAL NOTES:
1. CONDUIT AND FITTINGS LAYOUT SHALL BE ALTERED AS REQUIRED TO FIT EXISTING EQUIPMENT LAYOUT IN ALL RECOMMENDATION EQUIPMENT AREAS.
 2. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROPER VOLTAGE FOR ALL ELECTRICAL DEVICES SUCH AS PUMPS, TIRE AIRCOMPS, DELAYS, PULSED LIGHTS, ETC.
 3. CONTRACTOR SHALL VERIFY ALL ELECTRICAL DEVICES ARE PROPERLY WIRING AND OPERATING.
 4. VERIFY ALL CODES WITH GENERAL CONTRACTOR PRIOR TO BEGINNING OF LIGHT OUTLET OUTLET WORK.
 5. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL DISCONNECTS, SEE SPECS.



SITE PLAN SCALE: 1" = 40'-0"

DATE: 11/15/18
DRAWN BY: J. G. 11/15/18
CHECKED BY: J. G. 11/15/18
PROJECT NO. 18-000000



**EXHIBIT H
STORMWATER PLAN**



The information on this map was derived from digital databases on the Lane County website. Lane County cannot accept any responsibility for errors, omissions or positional accuracy in the digital data or the underlying information. Lane County is not responsible for any errors, omissions or positional inaccuracies that may occur in the digital data or the underlying information. Lane County is not responsible for any errors, omissions or positional inaccuracies that may occur in the digital data or the underlying information. Lane County is not responsible for any errors, omissions or positional inaccuracies that may occur in the digital data or the underlying information.



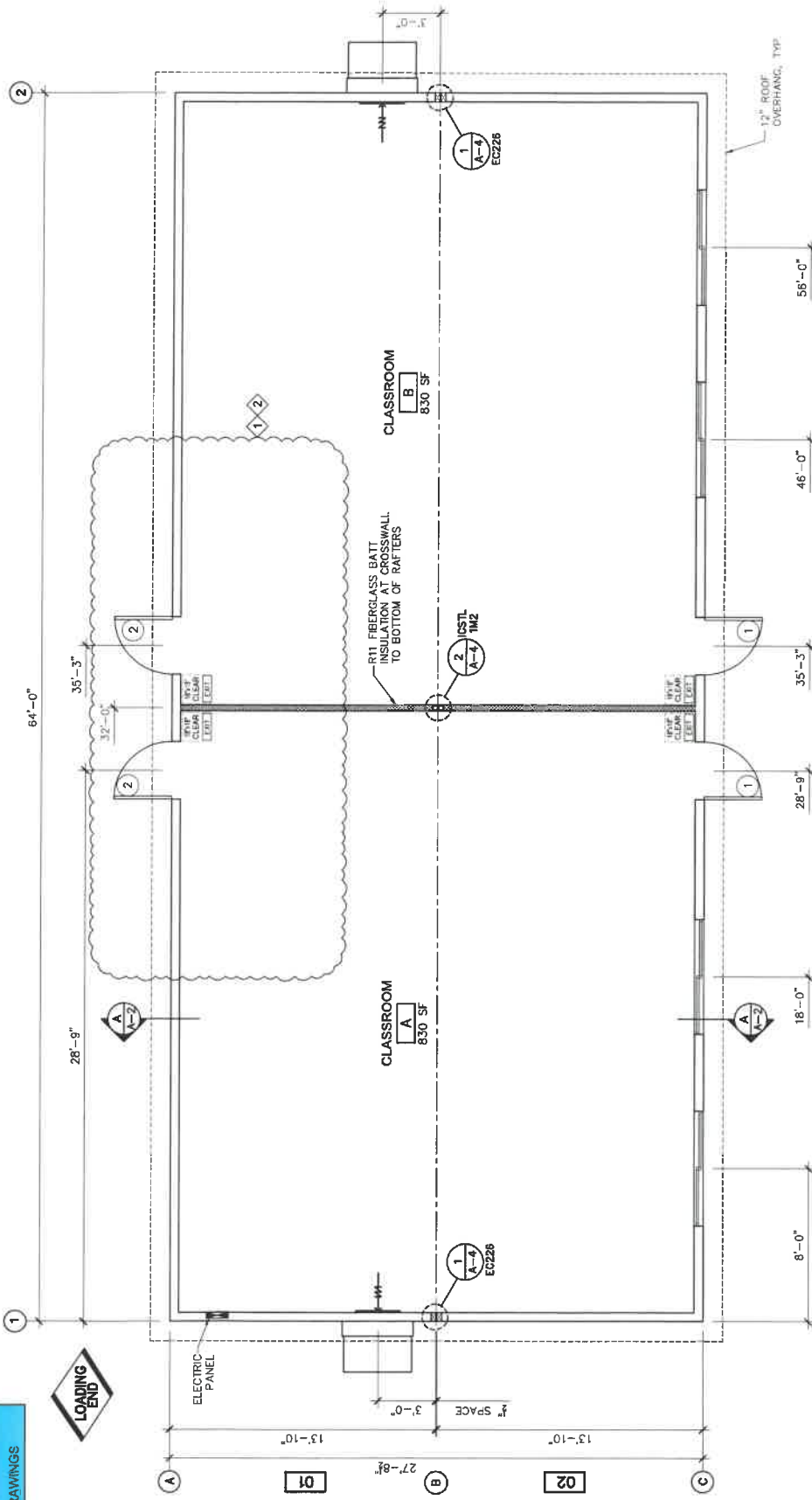
ArcGIS Web Map

Lane County, Oregon

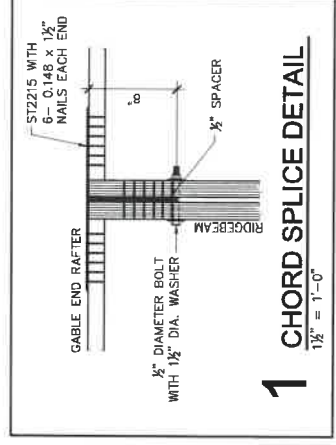


Bureau of Land Management, State of Oregon
HERE, GERMING USGS, LEIGH, USA

Oregon Agricultural Experiment Station
of Oregon State University, 1000 S. Oregon Street, Corvallis, OR 97331



FLOOR PLAN
SCALE: 1/4" = 1'-0"



NOTES:
-THE TOP PLATES OF THE INTERIOR WALLS CAN SPAN A MAXIMUM OF 10'-0" BEFORE REQUIRING BRACING TO THE ROOF STRUCTURE OR AN INTERSECTING WALL.

01/07/2022

REGISTERED PROFESSIONAL ENGINEER 19900PE
ROCKY M. SHELTER
VULNERABILITY
EXPIRES: 6/30/2022

Approved for Const. _____
File Copy: _____
Drawn By: TOM
Issue Date: 12-01-21

Job No.: 20097-20102

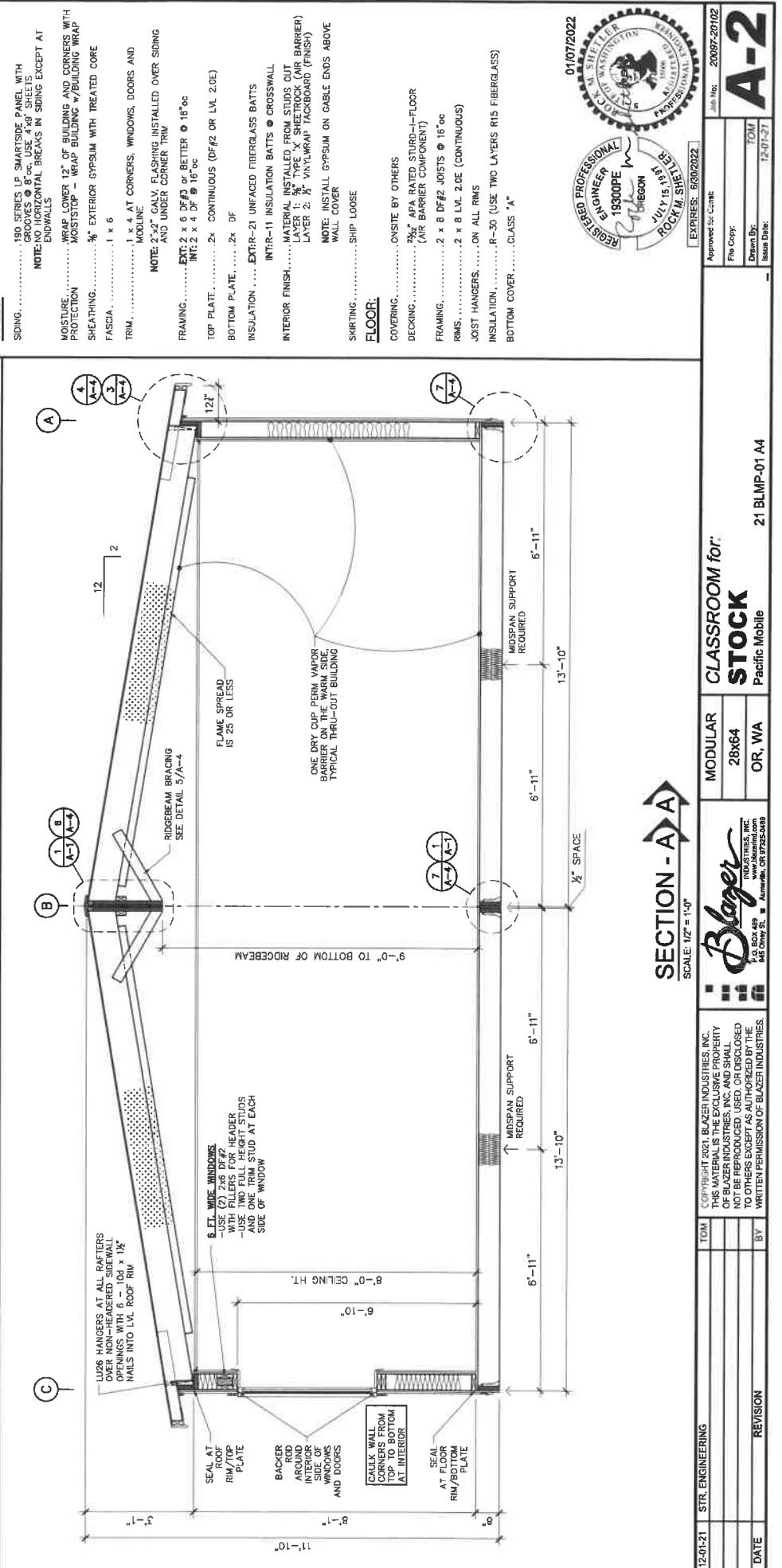
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| 11-23-21 | PLAN REVIEW - JH | TOM | BLAZER INDUSTRIES, INC. | CLASSROOM for: | 21 BLMP-01 A4 |
| 12-01-21 | STR. ENGINEERING | TOM | BLAZER INDUSTRIES, INC. AND PROPERTY OF BLAZER INDUSTRIES, INC. AND SHOULD NOT BE REPRODUCED, USED, OR DISCLOSED TO OTHERS EXCEPT AS AUTHORIZED BY THE WRITTEN PERMISSION OF BLAZER INDUSTRIES, INC. | MODULAR STOCK | |
| DATE | REVISION | BY | | OR, WA | |
| | | | Blazer INDUSTRIES, INC. 1000 S. W. 10th St. Astoria, OR 97103-0489 | | |

FASTENING SCHEDULE

MATERIAL LIST

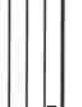
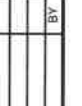
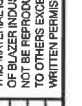
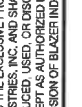
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|---|---|--|--|--|---|--|
| <p>WALLS:</p> <p>PLATE--TO-STUD</p> <p>SHEETROCK--TO-STUD @ INTERIOR</p> <p>VW TACKBOARD--TO-STUD @ INTERIOR</p> <p>BOTTOM PLATE--TO-FLOOR</p> <p>EXT. GYPSUM SHEATHING--TO-STUD @ EXTERIOR</p> <p>PANEL SIDING OVER 3/8" EXT.</p> <p>GYPSUM--TO-STUD AT SIDEWALL</p> <p>PANEL SIDING OVER 3/8" EXT.</p> <p>GYPSUM--TO-STUD AT ENDWALL</p> <p>THREE STUD CORNER CONNECTION</p> | <p>FLOOR:</p> <p>2 x 8 FLOOR JOIST--TO-RIM</p> <p>CLASS "A" BOTTOM BOARD--TO-JOIST</p> <p>FLOOR DECKING--TO-2x JOIST</p> <p>ROOF:</p> <p>RIM--TO-RAFTERS</p> <p>FURRING--TO-RAFTERS</p> <p>ROOF RIM--TO-TOP PLATE</p> <p>LEDGER--TO-RIDGEBEAM</p> <p>RAFTER--TO-RIDGEBEAM</p> <p>SHEATHING--TO-ROOF MEMBERS</p> | <p>MIN. OF 4 - 0.131 x 3" NAILS (3 PER 2x4, 2 PER 2x4)</p> <p>0.091 x 2x SHEETROCK NAILS @ 16" OC EDGE AND CONSTRUCTION ADHESIVE IN FIELD</p> <p>18 ga. x 2" WIDECROWN STAPLES (SENCO P21) @ 6" OC TOP & BOTTOM AND GLUE IN FIELD</p> <p>0.131 x 3" NAILS @ 8" OC (SENCO KC27 OR EQUAL)</p> <p>6d COATED NAILS @ 7" OC EDGE AND 7" OC FIELD</p> <p>0.113x2 1/2" NAILS @ 6" OC, 12" IN FIELD (EXCEPT USE 4" OC @ TOP & BOTTOM). ALL EDGES SUPPORTED BY FRAMING OR BLOCKING. SEE ENDWALL FASTENING NOTES ON ELEVATIONS</p> <p>0.131 x 3" NAILS @ 12" (SENCO KC27 OR EQUAL)</p> | <p>MIN. OF 4 - 0.131 x 3" NAILS (SENCO KC27 OR EQUAL)</p> <p>MIN. 4 - M20 2 x 3 (MIN.) PLATES EACH SIDE</p> <p>0.131 x 3" NAILS @ 8" OC (SENCO KC27 OR EQUAL)</p> <p>0.131 x 3" NAILS @ 3" OC & 3 @ BUTT JOINTS (SENCO KC27 OR EQUAL)</p> <p>4 - 0.131 x 3" NAILS (SENCO KC27 OR EQUAL)</p> <p>16 ga. x 1 1/2" STAPLES @ 6" OC, 12" IN FIELD (SENCO N-19)</p> <p>NOTE: SHEATHING TO BE INSTALLED PERPENDICULAR TO RAFTERS. OFFSET SHEATHING 4 FT. BLOCK EDGES OF ANY PIECES LESS THAN 24".</p> | <p>AIR BARRIER NOTES:</p> <p>THESE KEY AREAS SHALL BE SEALED BY CAULKING, GASKETS, TAPE OR WEATHER-STRIPPING:</p> <ul style="list-style-type: none"> - JOINTS AROUND PENETRATION (WINDOWS AND DOOR FRAMES). USE APPROPRIATELY SIZED BACKER ROD WITH MINIMUM 2" LAP AT ENDS. - JOINTS BETWEEN WALLS - BUILDING CORNERS - STRUCTURAL FLOORS - ROOFS (AT RIM); USE SILL SEAL OR CAULKING - PENETRATION THROUGH WALLS - CITY SERVICES THROUGH THE AIR BARRIER @ ROOFS, WALLS, AND FLOORS. USE CAULKING, SPRAY FOAM OR AIR BARRIER TAPE. - BUILDING ASSEMBLIES USED AS DUCTS OR PLENUMS. USE BACKER ROD, CAULK, SPRAY FOAM OR AIR BARRIER TAPE. - JOINTS, SEAMS, AND PENETRATIONS OF VAPOR RETARDANTS. USE CAULK OR APPROVED TAPE. - RECESSED LIGHTING FIXTURES. USE CAULK OR SPRAY FOAM | <p>MARRIAGE LINE CONNECTION:</p> <p>NOTE: ALL MARRIAGE LINES (DEFINED AS THE SPACE BETWEEN ADJOINING MODULES) MUST BE INSULATED AT THE ROOF, FLOOR AND WALLS ON SITE.</p> <p>1/2" BOLTS w/ 1 1/2" DIA. WASHERS @ 6' - 0" OC AND 8" FROM EACH END</p> <p>1/2" BOLTS w/ 1 1/2" DIA. WASHERS @ 4' - 0" OC AND 8" FROM EACH END (MINIMUM 2' EDGE DISTANCE)</p> | <p>ROOF:</p> <p>ARCHITECTURAL SHINGLES OVER 2 LAYERS</p> <p>HIGH WIND APPLICATION</p> <p>APPLIED SHINGLE STYLE</p> <p>NOTE: "HIGH TEMP" SELF-ADHERED ROOFING UNDERLAPMENT UNDER SHINGLES FOR 2'-0" FROM EACH EAVE TOWARD RIDGE, TYPICAL. @ BOTH EAVES -DRIP EDGE SHALL BE PROVIDED AT EAVES AND RAKE EDGES OF SHINGLE ROOFS (IBC 1507.2.9.3).</p> <p>SHEATHING..... 3/8" APA RATED (24/16)</p> <p>FRAMING..... 2 x 10 DF #2 RAFTERS @ 24" OC WITH 2x4 INSULATION FURRING BELOW</p> <p>RIDGEBEAM..... 1 1/2" x 24" LVL 2.0E (CONTINUOUS)</p> <p>LEDGERS..... 2 x 4 TAPER CUT</p> <p>RIMS..... 2 x 6 CONTINUOUS LVL 2.0E WITH 2 x 10 VENT BLOCKING</p> <p>INSULATION..... R13 CELLULOSE BLOW-IN OVER CLASS "A" SHEATHING (AIR BARRIER COMPONENT) WITH 2x4 INSULATION FURRING BELOW AT ROOF SHEATHING. USE BATTLES IF REQUIRED FOR VENT CLEARANCE.</p> <p>CEILING..... SUSPENDED T-BAR (PER IBC 908.1)</p> <p>VENTING..... GUTTERS & DOWNSPOUTS PROVIDED & INSTALLED ON-SITE BY OTHERS</p> <p>DRAINAGE.....</p> <p>WALLS:</p> <p>SIDING..... 190 SERIES LP SMARTSIDE PANEL WITH GROOVES @ 8" OC, USE 4x8 SHEETS (MINIMUM) BRICKS IN SIDING EXCEPT AT ENDWALLS</p> <p>NOTE: WRAP LOWER 1/2" OF BUILDING AND CORNERS WITH MOST/STOP - WRAP BUILDING w/ BUILDING WRAP</p> <p>MOISTURE PROTECTION..... 3/8" EXTERIOR GYPSUM WITH TREATED CORE</p> <p>SHEATHING..... 1 x 6</p> <p>FASCIA..... 1 x 4 AT CORNERS, WINDOWS, DOORS AND TRIM</p> <p>NOTE: 6x22 MODULAR FLASHING INSTALLED OVER SIDING AND UNDER CORNER TRIM</p> <p>FRAMING..... EXT: 2 x 6 DF#2 @ BETTER @ 16" OC INT: 2 x 4 5" @ 16" OC</p> <p>TOP PLATE..... 2x CONTINUOUS (DF#2 OR LVL 2.0E)</p> <p>BOTTOM PLATE..... 2x DF</p> <p>INSULATION..... EXTER-21 UNFACED FIBERGLASS BATTS</p> <p>INTERIOR FINISH..... INTER-11 INSULATION BATTS @ CROSSWALL MATERIAL INSTALLED FROM STUDS OUT LAYER 1: 3/8" TYPE 'X' SHEETROCK (AIR BARRIER) LAYER 2: 1/2" VINYLWRAP TACKBOARD (FINISH)</p> <p>NOTE: INSTALL GYPSUM ON GABLE ENDS ABOVE WALL COVER</p> <p>SHIRTING..... SHIP LOOSE</p> <p>FLOOR:</p> <p>COVERING..... ON-SITE BY OTHERS</p> <p>DECKING..... 3/8" APA RATED STURD--FLOOR (AIR BARRIER COMPONENT)</p> <p>FRAMING..... 2 x 8 DF#2 JOISTS @ 16" OC</p> <p>RIMS..... 2 x 8 LVL 2.0E (CONTINUOUS)</p> <p>JOIST HANGERS..... ON ALL RIMS</p> <p>INSULATION..... R-30 (USE TWO LAYERS R15 FIBERGLASS)</p> <p>BOTTOM COVER..... CLASS "A"</p> |
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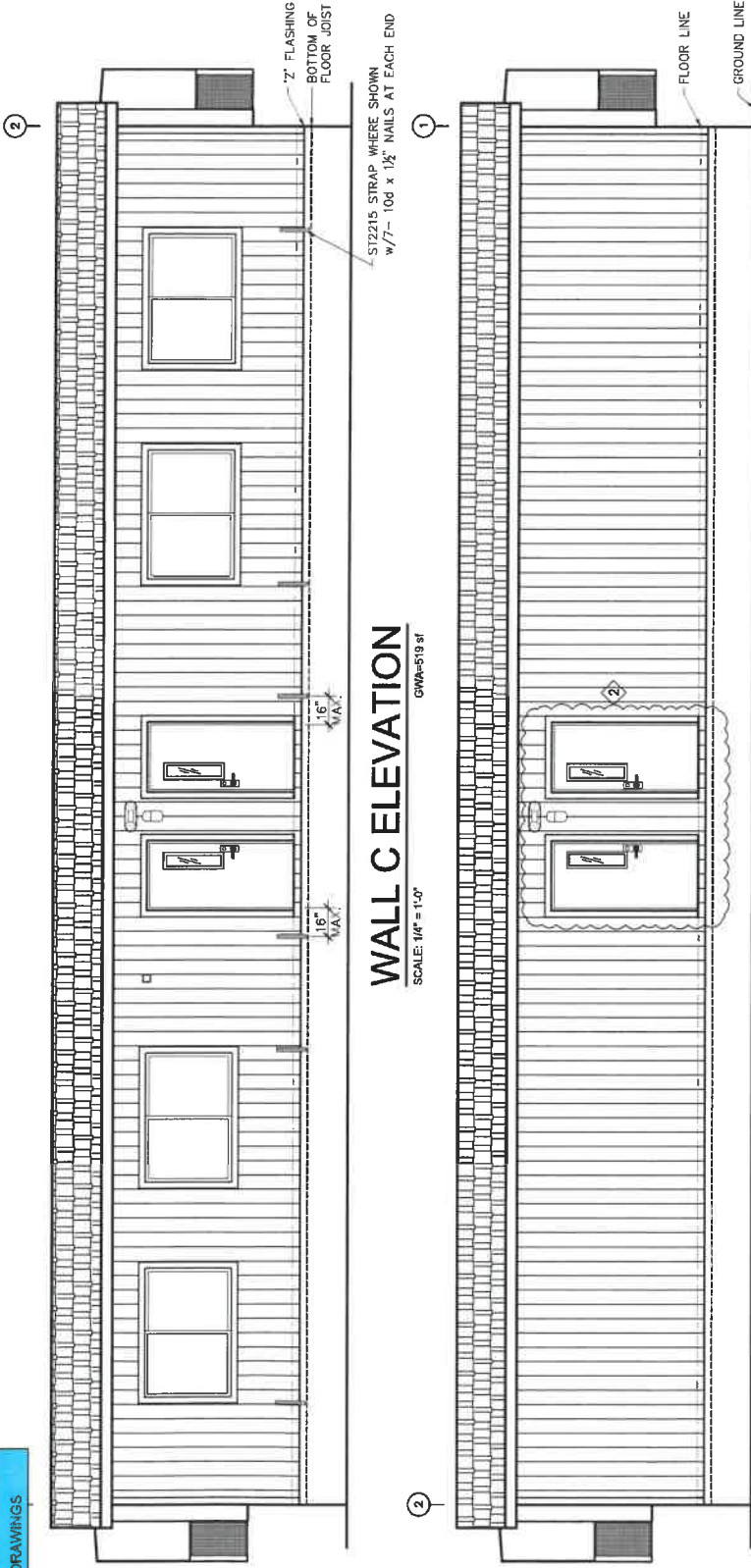


SECTION - A-A

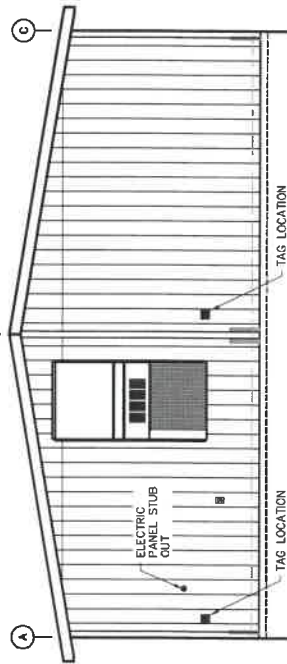
SCALE: 1/2" = 1'-0"

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| <p>21 BLMP-01 A4</p> | | <p>EXPIRES: 5/30/2022</p> | <p>APPROVED FOR CONSTRUCTION: [Signature]</p> |
| <p>FILE COPY: [Signature]</p> | | <p>DATE: 12-07-21</p> | <p>DATE: 2009-20102</p> |

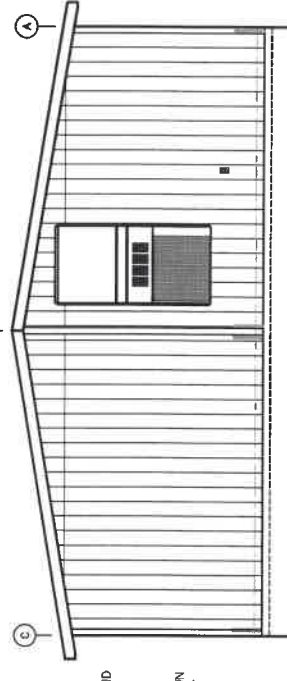




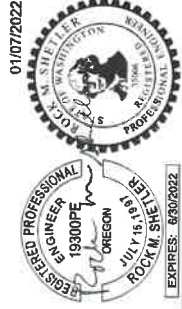
WALL A ELEVATION
SCALE: 1/4" = 1'-0"
GWA-519 sf



WALL 1 ELEVATION
SCALE: 1/4" = 1'-0"
GWA-250 sf



WALL 2 ELEVATION
SCALE: 1/4" = 1'-0"
GWA-250 sf



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| 11-23-21 | PLAN REVIEW - JH | TOM | DATE | REVISION |
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| <p>Job No. 20097-20102</p> | <p>A-3</p> |