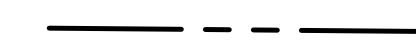
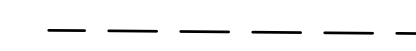
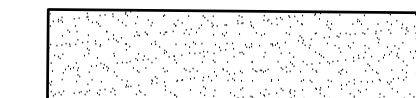
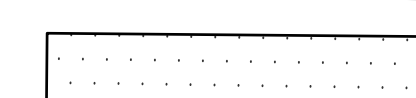
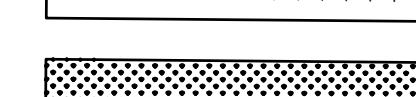





ID No. 69

SHEET NOTES

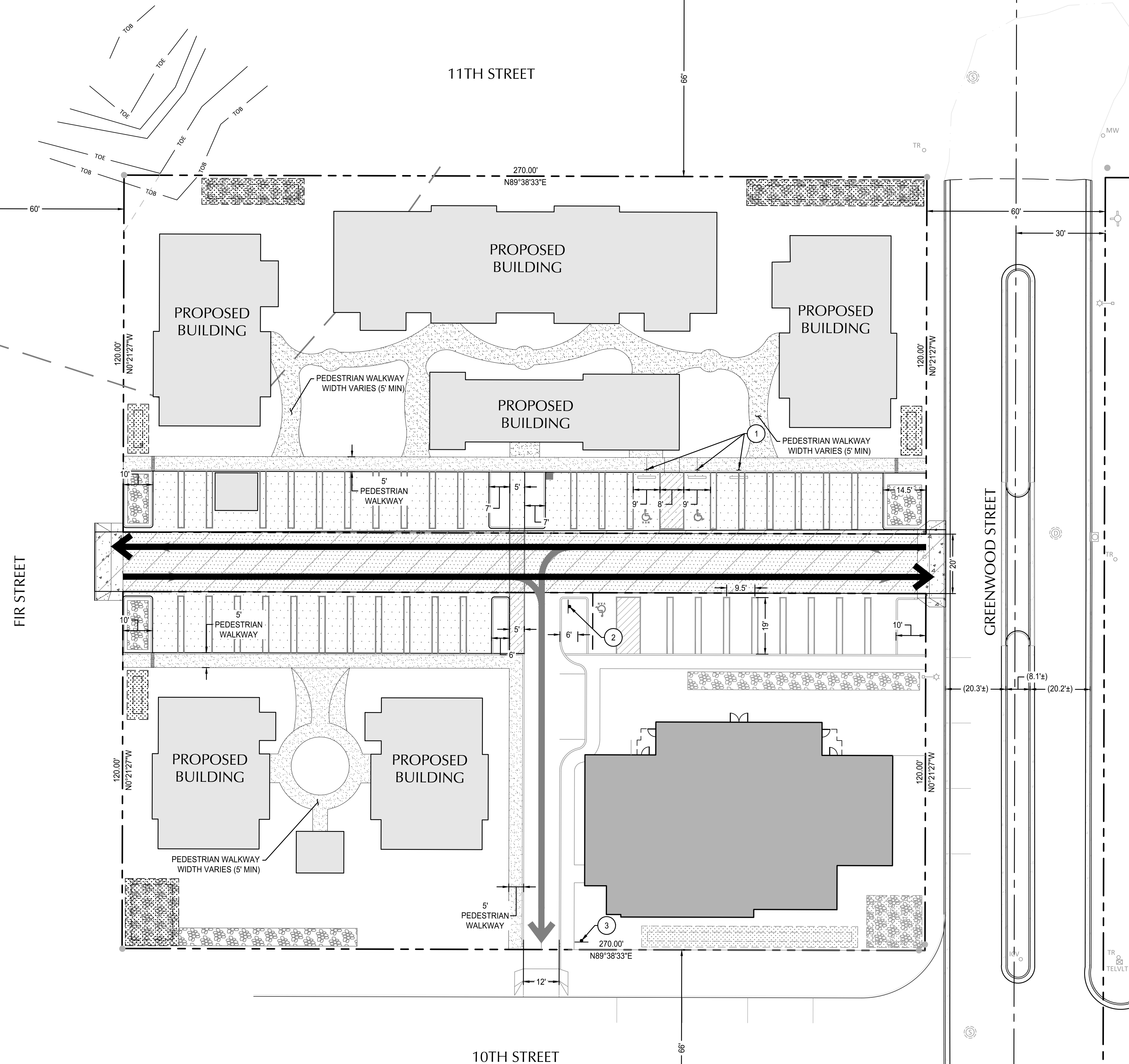
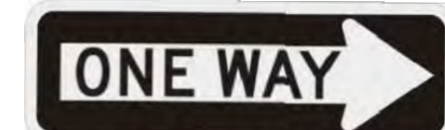
1. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF WALL.
2. ALL SIDEWALKS FOR PEDESTRIAN CIRCULATION ARE CONCEPTUAL ONLY.
3. ALL PUBLIC STREETS ARE CLASSIFIED AS LOCAL STREETS.

SHEET LEGEND

-  PROPERTY LINE
-  SAWCUT LINE
-  CONCRETE SIDEWALK
-  STANDARD ASPHALT PAVEMENT
-  STORMWATER MANAGEMENT FACILITY
-  PROPOSED FIRE ACCESS PATH
-  PROPOSED PUBLIC ALLEY
-  PROPOSED PRIVATE ALLEY

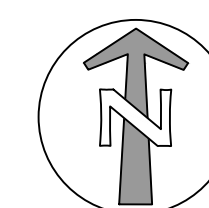
SIGN LEGEND

- # SIGN
- 1 ADA PARKING SIGN. SEE DETAIL 10/C4.0
 - 2 ONE WAY SIGN PER MUTCD R6-1. 36"x12". SEE BELOW
 - 3 DO NOT ENTER SIGN PER MUTCD R5-1. 30"x30". SEE BELOW



File: C:\c\p\2024\04\00153-Coastal-Village\CAD\PLOT\HOUSING\PLD-INFO\2400153-02PV.dwg TAB.C1.0
24x36 Plotted: 11/11/24 at 2:32pm By: ABackus

REVISION	DATE	DESCRIPTION	BY



FOR INFORMATION ONLY

JOB No.:	2400153
DESIGNED BY:	JBP
DRAWN BY:	MB
CHECKED BY:	AB
PLOT DATE:	11/11/24 2:32pm
PLOTTED BY:	ABackus
DWG NAME:	2400153-02PV.dwg
TAB NAME:	C1.0

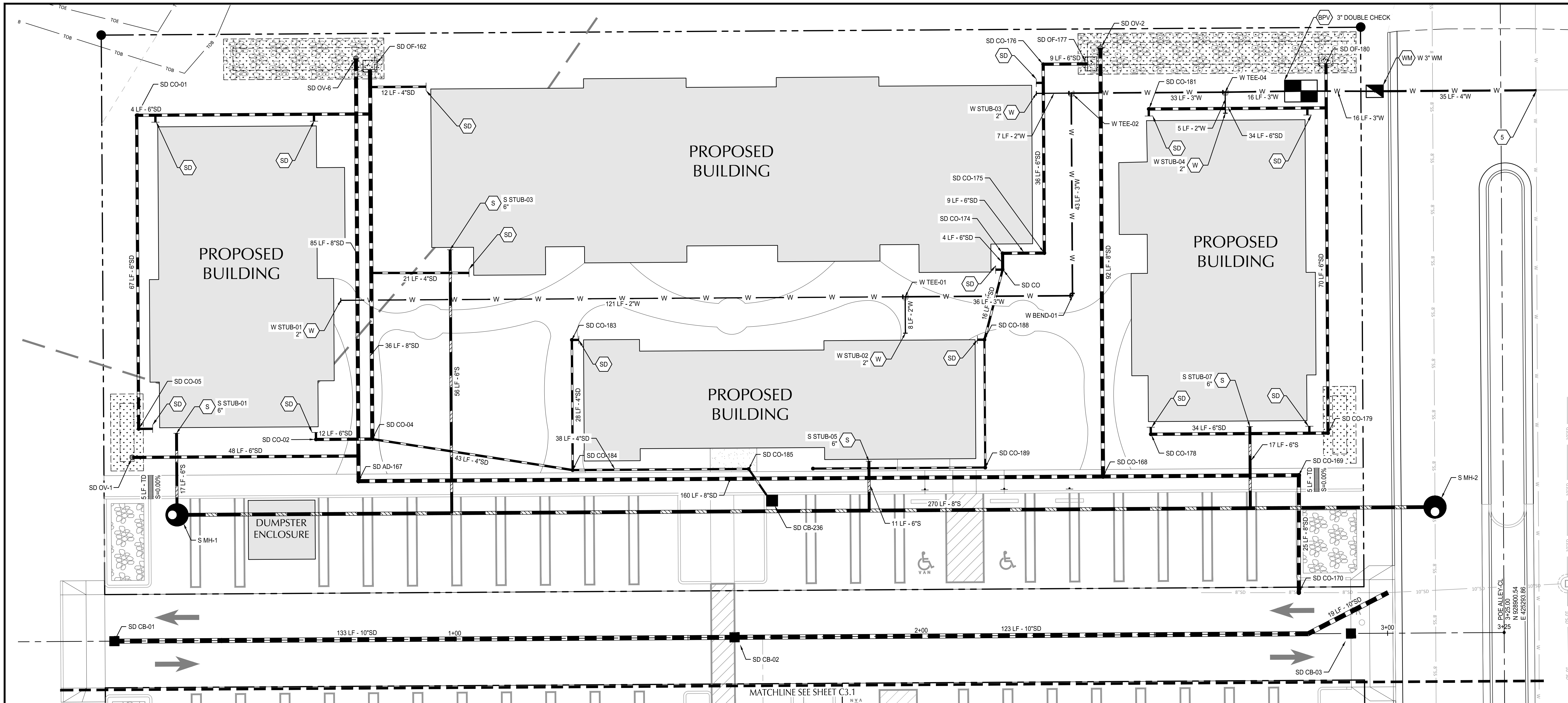
628 RADAR RD, YACHTS, OR 97498

OUR COASTAL VILLAGE FLORENCE
ELM PARK APARTMENTS

ACCESS AND CIRCULATION PLAN

C1.0

SHEET NO.



SHEET NOTES

- NO PUBLIC UTILITY EASEMENTS ARE PROPOSED.
- PUBLIC IMPROVEMENTS FOR 10TH STREET AND FIR STREET ARE PROPOSED UNDER A SEPARATE CITY-LED PROJECT. DESIGN TO BE COMPLETE IN JANUARY 2025.
- PUBLIC IMPROVEMENTS PROPOSED FOR THIS PROJECT ARE REFLECTED ON THIS PLAN. NO OTHER PUBLIC IMPROVEMENTS ARE PROPOSED AS PART OF THIS PROJECT.

UTILITY KEY NOTES

NOTE	DESCRIPTION	DETAIL REF.
1	FILTRATION RAIN GARDEN.	
2	INFILTRATION RAIN GARDEN.	
3	CONNECT TO EXISTING 10" STORM MAIN.	
4	CONNECT TO EXISTING 8" SANITARY MAIN.	
5	CONNECT TO EXISTING WATER MAIN.	
6	CONNECT TO FUTURE UTILITY MAIN	
7	SOAKAGE TRENCH	
WM	INSTALL WATER METER.	
BPV	BACKFLOW PREVENTION VAULT	
SD	CONNECT TO STORM DRAIN/ROOF DRAIN. SLOPE CONNECTING TO LEADER PIPE AT 2% MIN.	
S	CONNECT TO BUILDING WASTE LINE.	
W	CONNECT TO BUILDING COLD WATER SYSTEM.	

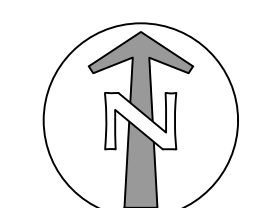
UTILITY LABEL LEGEND

STRUCTURE LABEL	
UTILITY TYPE (SD=STORM DRAINAGE, S=SANITARY SEWER, W=WATER, FP=FIRE PROTECTION)	
STRUCTURE TYPE CALLOUT	
ID NUMBER (WHERE APPLICABLE)	XX-XX-XX
LOCATION (WHERE APPLICABLE)	N=XXXX.XX E=XXXX.XX RIM= IE IN = XX.X IE OUT = XX.X
PIPE LABEL	
UTILITY LENGTH	XX LF - XX" XX
UTILITY SIZE	
UTILITY TYPE	
SLOPE (WHERE APPLICABLE)	S=X.XX%

STRUCTURE TYPE

CALLOUT	DESCRIPTION	DETAIL REF.
CB	CATCH BASIN	
CO	CLEANOUT TO GRADE	
MH	MANHOLE	
OF	OUTFALL	
PIV	POST INDICATOR VALVE	
PLUG	PLUG	
STUB	STUB	
TB	THRUST BLOCK	
TD	TRENCH DRAIN	
TEE	TEE CONNECTION	
VB	VERTICAL BEND	
WM	WATER METER	
WYE	WYE CONNECTION	

REVISION	DATE	DESCRIPTION	BY



FOR INFORMATION ONLY

JOB No.:	2400153
DESIGNED BY:	JBP
DRAWN BY:	MB
CHECKED BY:	AB
PLOT DATE:	11/1/24 2:35pm
PLOTTED BY:	ABackus
DWG NAME:	2400153-03UT.dwg
TAB NAME:	C2.0

628 RADAR RD, YACHTS, OR 97498

OUR COASTAL VILLAGE FLORENCE
ELM PARK APARTMENTS

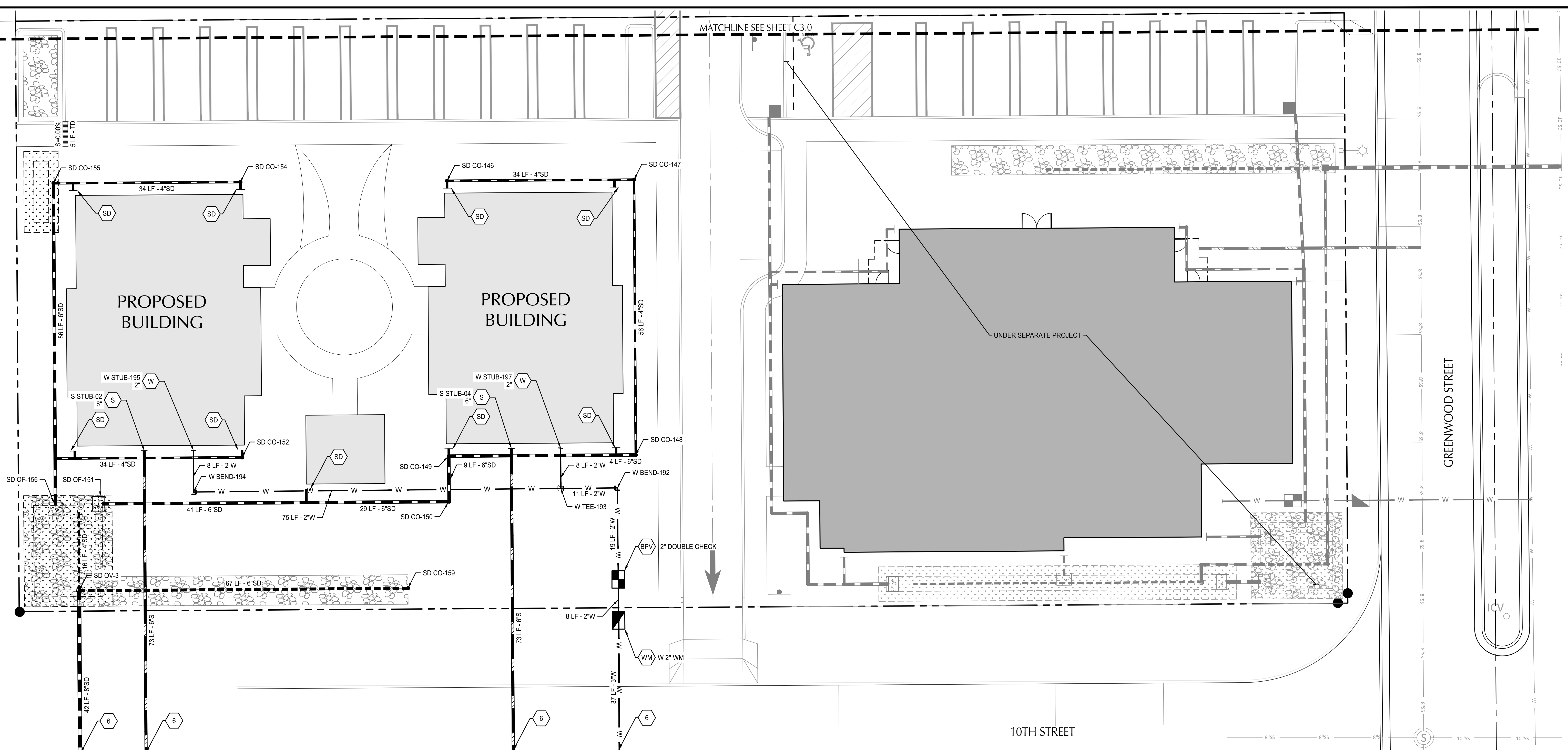
STORM AND UTILITY PLAN

SHEET NO.

C2.0

File: O:\epi\24\0153-Coastal-Village\CAD\PILOT\HOUSING\PIUD-INFO\2400153-03UT.dwg TAB: C2.0
Plotted: 11/1/24 at 2:35pm By: ABackus

MATCHLINE SEE SHEET C3.0



SHEET NOTES

- NO PUBLIC UTILITY EASEMENTS ARE PROPOSED.
- PUBLIC IMPROVEMENTS FOR 10TH STREET AND FIR STREET ARE PROPOSED UNDER A SEPARATE CITY-LED PROJECT. DESIGN TO BE COMPLETE IN JANUARY 2025.
- PUBLIC IMPROVEMENTS PROPOSED FOR THIS PROJECT ARE REFLECTED ON THIS PLAN. NO OTHER PUBLIC IMPROVEMENTS ARE PROPOSED AS PART OF THIS PROJECT.

UTILITY KEY NOTES

NOTE	DESCRIPTION	DETAIL REF.
1	FILTRATION RAN GARDEN.	
2	INFILTRATION RAN GARDEN.	
3	CONNECT TO EXISTING 10" STORM MAIN.	
4	CONNECT TO EXISTING 8" SANITARY MAIN.	
5	CONNECT TO EXISTING WATER MAIN.	
6	CONNECT TO FUTURE UTILITY MAIN	
7	SOAKAGE TRENCH	
WM	INSTALL WATER METER.	
BPV	BACKFLOW PREVENTION VAULT	
SD	CONNECT TO STORM DRAIN/ROOF DRAIN. SLOPE CONNECTING TO LEADER PIPE AT 2% MIN.	
S	CONNECT TO BUILDING WASTE LINE.	
W	CONNECT TO BUILDING COLD WATER SYSTEM.	

UTILITY LABEL LEGEND

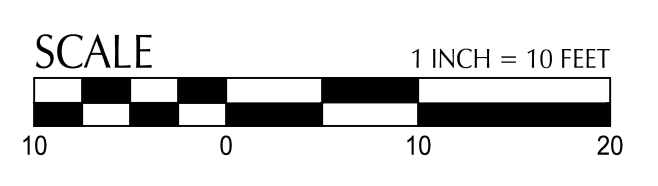
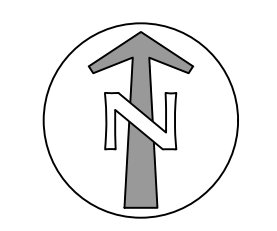
STRUCTURE LABEL	
UTILITY TYPE (SD=STORM DRAINAGE, S=SANITARY SEWER, W=WATER, FP=FIRE PROTECTION)	
STRUCTURE TYPE CALLOUT	
ID NUMBER (WHERE APPLICABLE)	XX-XX-XX
LOCATION (WHERE APPLICABLE)	N=XXXX.XX E=XXXX.XX
STRUCTURE INFO (WHERE APPLICABLE)	RIM= IE IN = XX.X IE OUT = XX.X
PIPE LABEL	
UTILITY LENGTH	XXLF - XX' XX
UTILITY SIZE	
UTILITY TYPE	
SLOPE (WHERE APPLICABLE)	S=X.XXX%

STRUCTURE TYPE

CALLOUT	DESCRIPTION	DETAIL REF.
CB	CATCH BASIN	
CO	CLEANOUT TO GRADE	
MH	MANHOLE	
OF	OUTFALL	
PIV	POST INDICATOR VALVE	
PLUG	PLUG	
STUB	STUB	
TB	THRUST BLOCK	
TD	TRENCH DRAIN	
TEE	TEE CONNECTION	
VB	VERTICAL BEND	
WM	WATER METER	
WYE	WYE CONNECTION	

File: O:\epc\2024\0153-Coastal-Village\CAD\PL\0153-03UT.dwg TABC2.1
Plotted: 11/1/24 at 2:35pm By: ABackus

REVISION	DATE	DESCRIPTION	BY



FOR INFORMATION ONLY

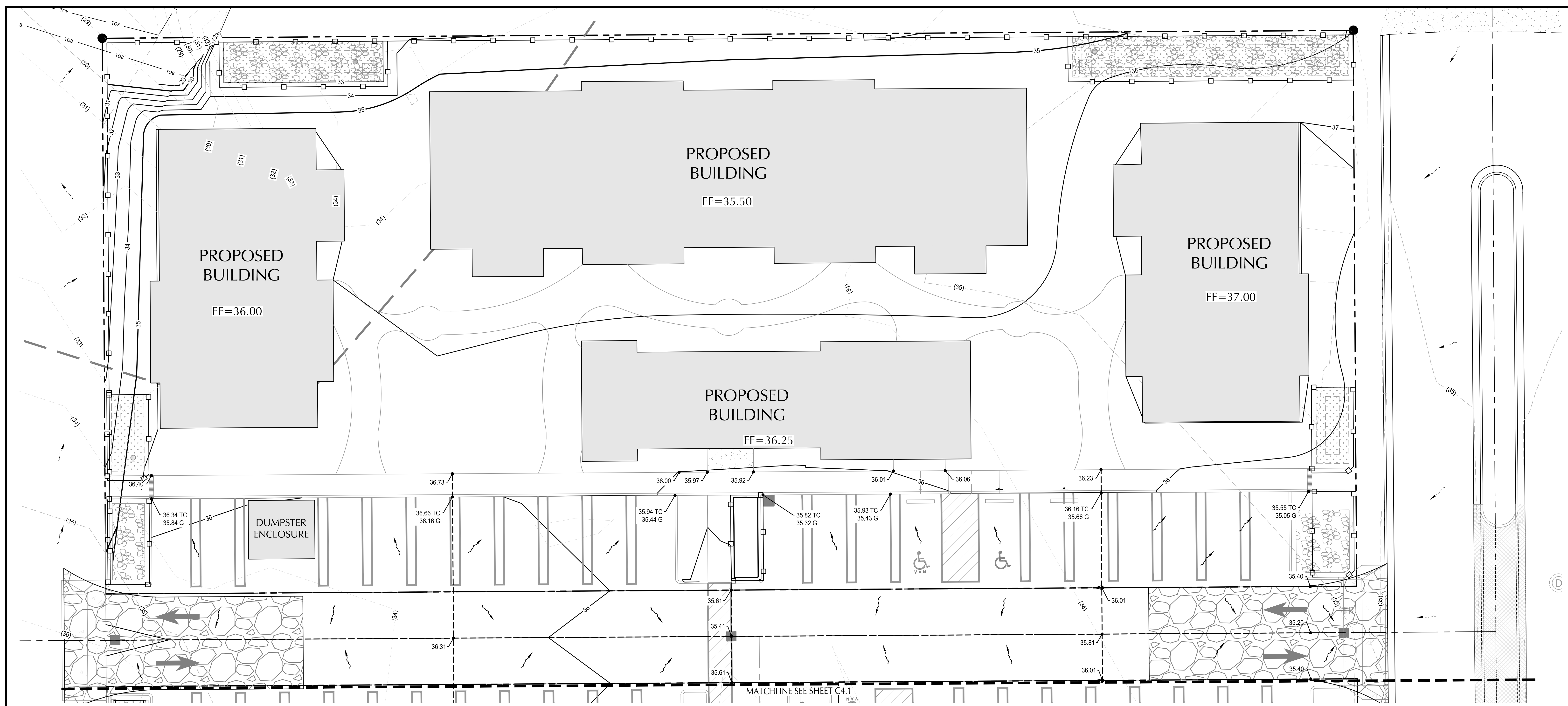
JOB No.:	2400153
DESIGNED BY:	JBP
DRAWN BY:	MB
CHECKED BY:	AB
PLOT DATE:	11/1/24 2:35pm
PLOTTED BY:	ABackus
DWG NAME:	2400153-03UT.dwg
TAB NAME:	C2.1

628 RADAR RD, YACHTS, OR 97498

OUR COASTAL VILLAGE FLORENCE
ELM PARK APARTMENTS

STORM AND UTILITY PLAN

SHEET NO.
C2.1



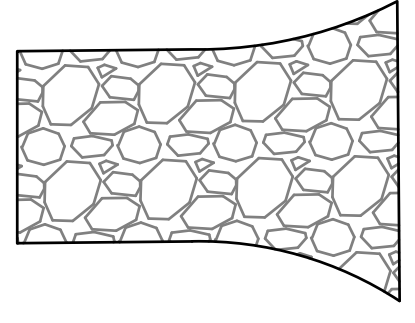
MATCHLINE SEE SHEET C4.1

GRADING LABEL LEGEND

CALLOUT	DESCRIPTION
X.X%	GRADING SLOPE AND DIRECTION (DOWNHILL)
[X.X%]	SLOPE ORIENTATION INDICATING DIRECTION OF MAXIMUM GRADE (DOWNHILL)
XX.XX XX	SPOT ELEVATION DESCRIPTION LISTED BELOW. NO DESCRIPTION MEANS TP OR TG
EG	EXISTING GRADE
FF	FINISHED FLOOR
FL	FLOW LINE
G	GUTTER
HP	HIGH POINT
LP	LOW POINT
RIM	RIM OF STRUCTURE
TC	TOP OF CURB
TG	TOP OF GROUND
TP	TOP OF PAVEMENT
(XXX.X±)	EXISTING GRADE (MATCH WHERE APPLICABLE)

SHEET LEGEND

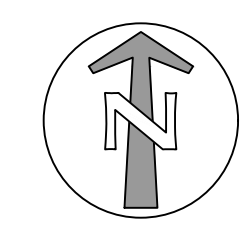
	PROPERTY LINE
	GRADE BREAK
	SAWCUT LINE
	EX. CONTOUR MINOR
	EX. CONTOUR MAJOR
	PROP. CONTOUR MINOR
	PROP. CONTOUR MAJOR
	EXTENT OF WORK
	SEDIMENT CONTROL FENCE. PLACE AT PROPERTY LINES, UNO (SHOWN OFFSET FOR CLARITY).
	DRAINAGE FLOW DIRECTION



ROCKED CONSTRUCTION ENTRANCE

File: O:\epc\240153-Coastal-Village\CAD\PILOT\HOUSING\IPUD-INFO\240153-04GD.dwg TAB C3.0
 Plotted: 11/1/24 at 2:36pm By: ABackus
 24-036

REVISION	DATE	DESCRIPTION	BY



FOR INFORMATION ONLY

JOB No.:	2400153
DESIGNED BY:	JBP
DRAWN BY:	MB
CHECKED BY:	AB
PLOT DATE:	11/1/24 2:36pm
PLOTTED BY:	ABackus
DWG NAME:	2400153-04GD.dwg
TAB NAME:	C3.0

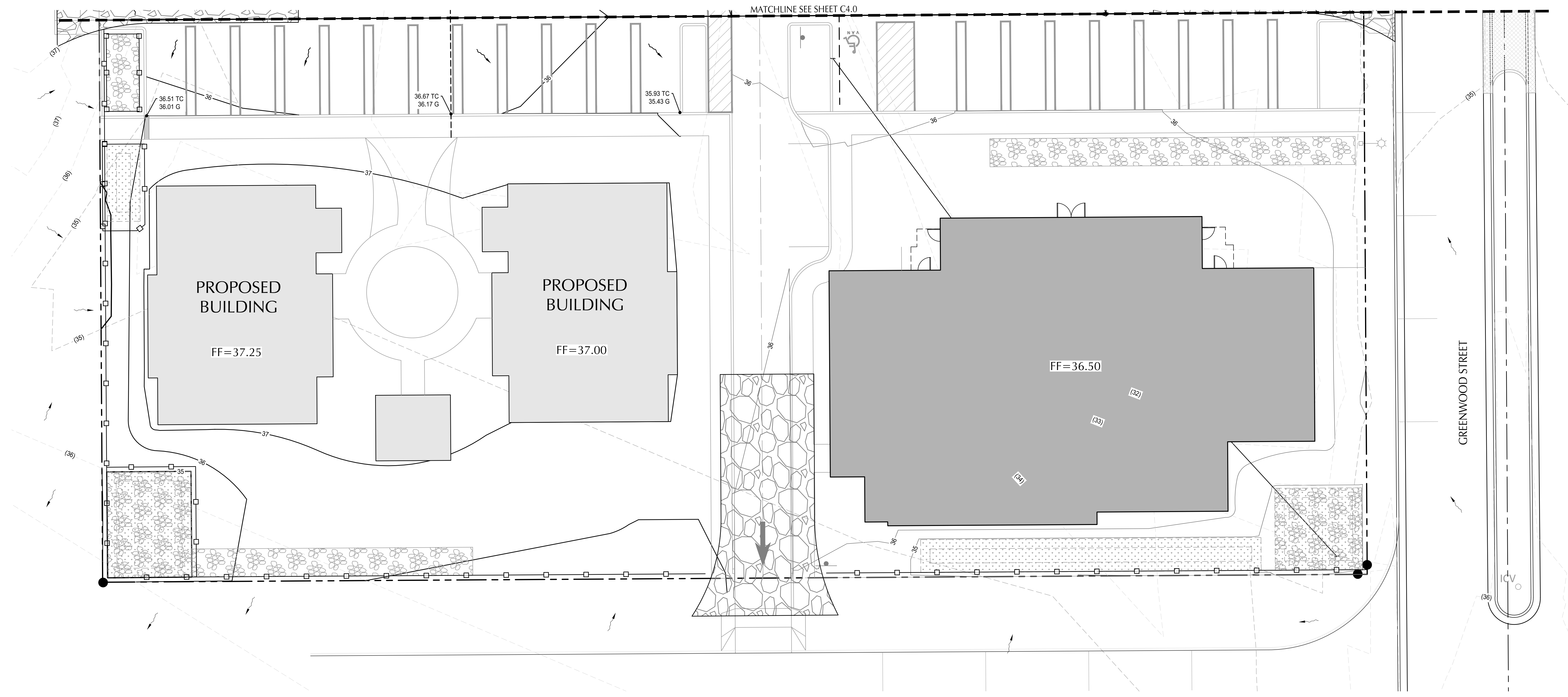
628 RADAR RD, YACHTS, OR 97498

 OUR COASTAL VILLAGE FLORENCE
 ELM PARK APARTMENTS

EROSION AND SEDIMENT CONTROL PLAN

SHEET NO.
C3.0

MATCHLINE SEE SHEET C4.0

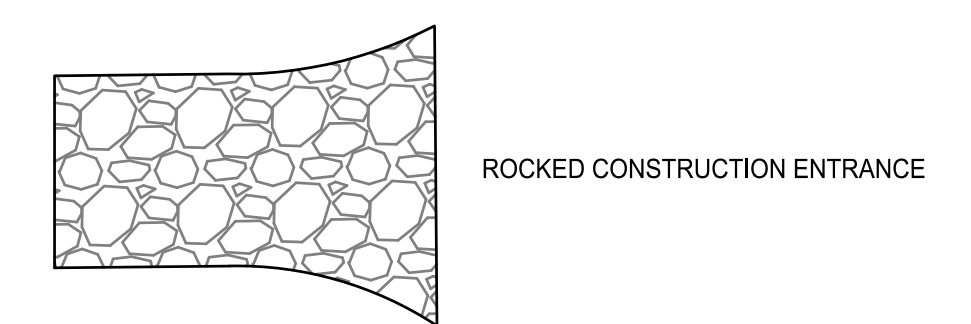


GRADING LABEL LEGEND

CALLOUT	DESCRIPTION
X.X%	GRADING SLOPE AND DIRECTION (DOWNHILL)
[X.X%]	SLOPE ORIENTATION INDICATING DIRECTION OF MAXIMUM GRADE (DOWNHILL)
XX.XX XX	SPOT ELEVATION DESCRIPTION LISTED BELOW. NO DESCRIPTION MEANS TP OR TG
EG	EXISTING GRADE
FF	FINISHED FLOOR
FL	FLOW LINE
G	GUTTER
HP	HIGH POINT
LP	LOW POINT
RIM	RIM OF STRUCTURE
TC	TOP OF CURB
TG	TOP OF GROUND
TP	TOP OF PAVEMENT
(XXX.X#)	EXISTING GRADE (MATCH WHERE APPLICABLE)

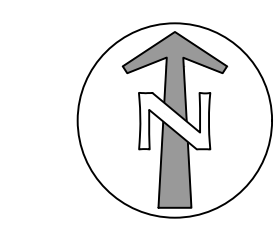
SHEET LEGEND

---	PROPERTY LINE
- - -	GRADE BREAK
- . - . -	SAWCUT LINE
(34)	EX. CONTOUR MINOR
(35)	EX. CONTOUR MAJOR
34	PROP. CONTOUR MINOR
35	PROP. CONTOUR MAJOR
---	EXTENT OF WORK
□	SEDIMENT CONTROL FENCE. PLACE AT PROPERTY LINES, UNO (SHOWN OFFSET FOR CLARITY).
→	DRAINAGE FLOW DIRECTION



File: O:\epc\2024\0153-CoastalVillage\CAD\PILOT\HOUSING\IPUD-INFO\240153-04GD.dwg TAB C3.1
 Plotted: 11/1/24 at 2:37pm By: ABackus
 24x36

REVISION	DATE	DESCRIPTION	BY

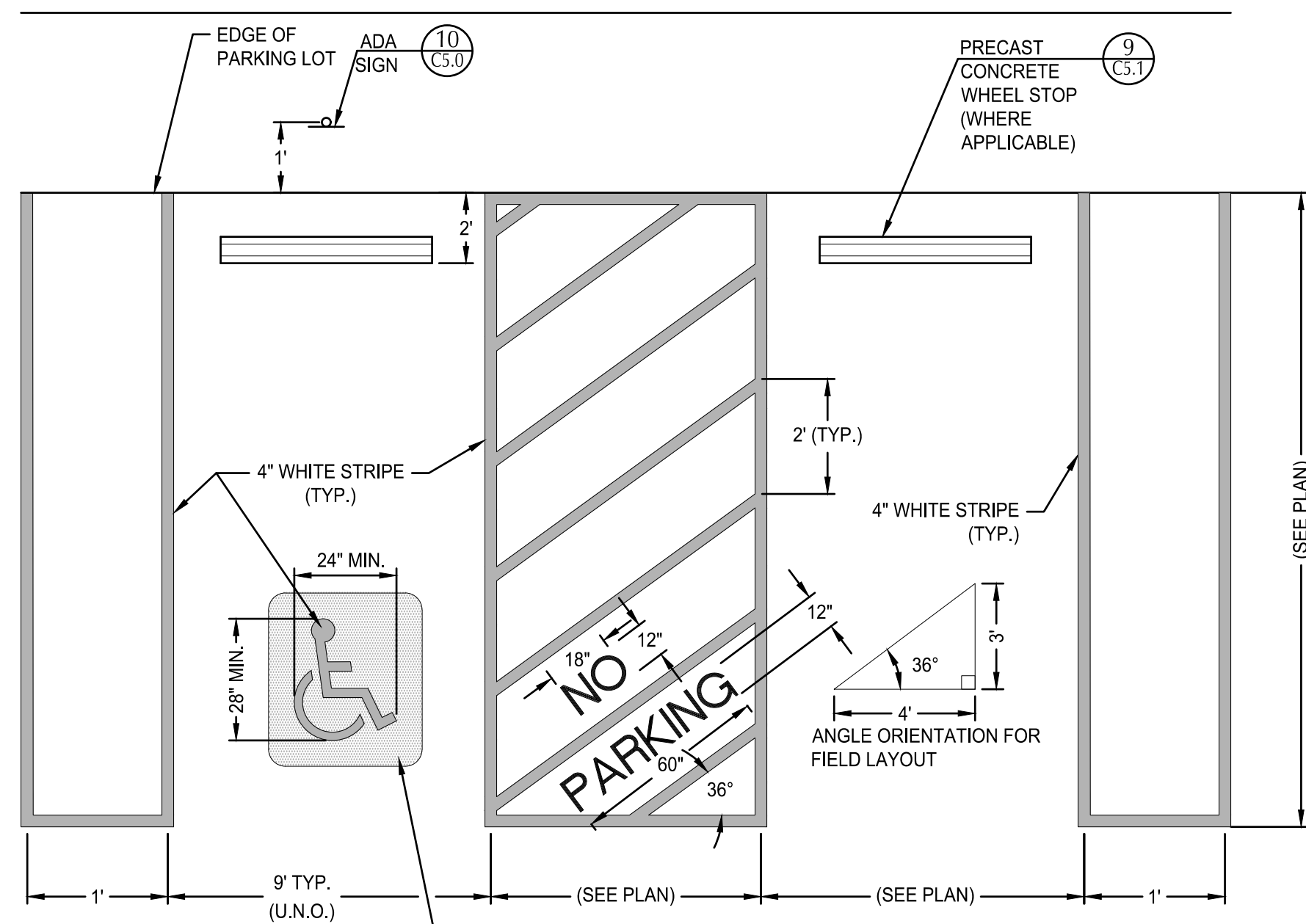


FOR
 INFORMATION
 ONLY

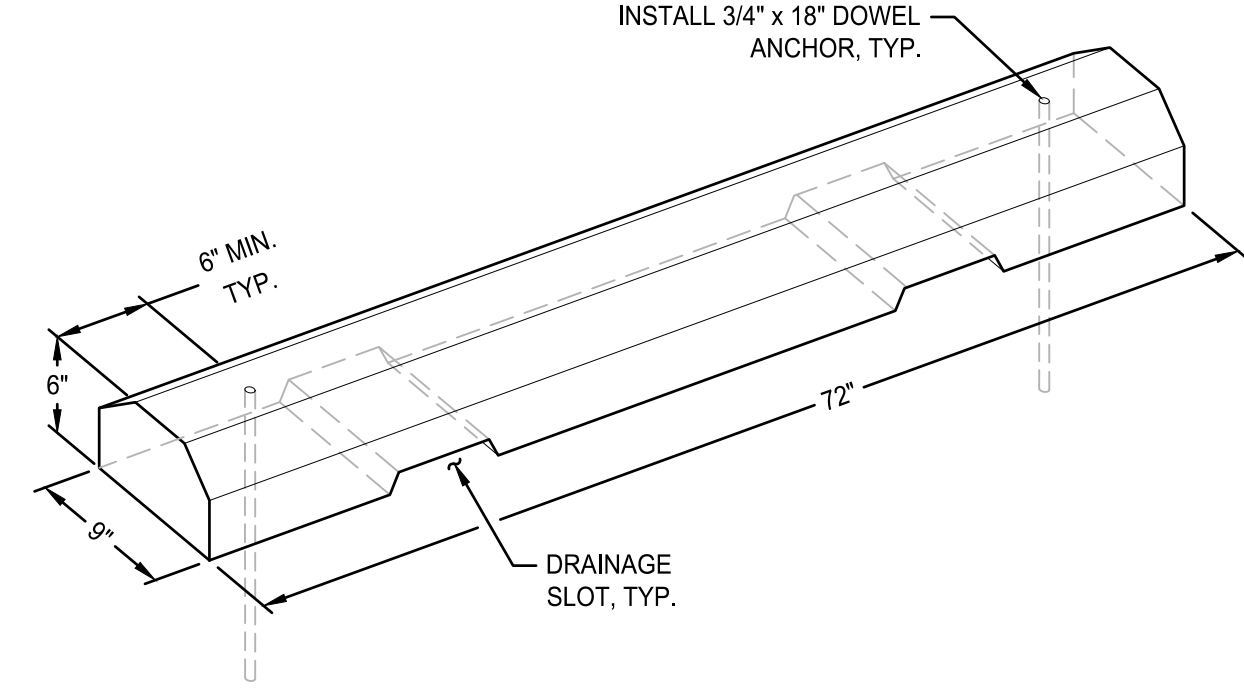
JOB No.:	2400153
DESIGNED BY:	JBP
DRAWN BY:	MB
CHECKED BY:	AB
PLOT DATE:	11/1/24 2:37pm
PLOTTED BY:	ABackus
DWG NAME:	2400153-04GD.dwg
TAB NAME:	C3.1

628 RADAR RD, YACHTS, OR 97498
 OUR COASTAL VILLAGE FLORENCE
 ELM PARK APARTMENTS
 EROSION AND SEDIMENT CONTROL

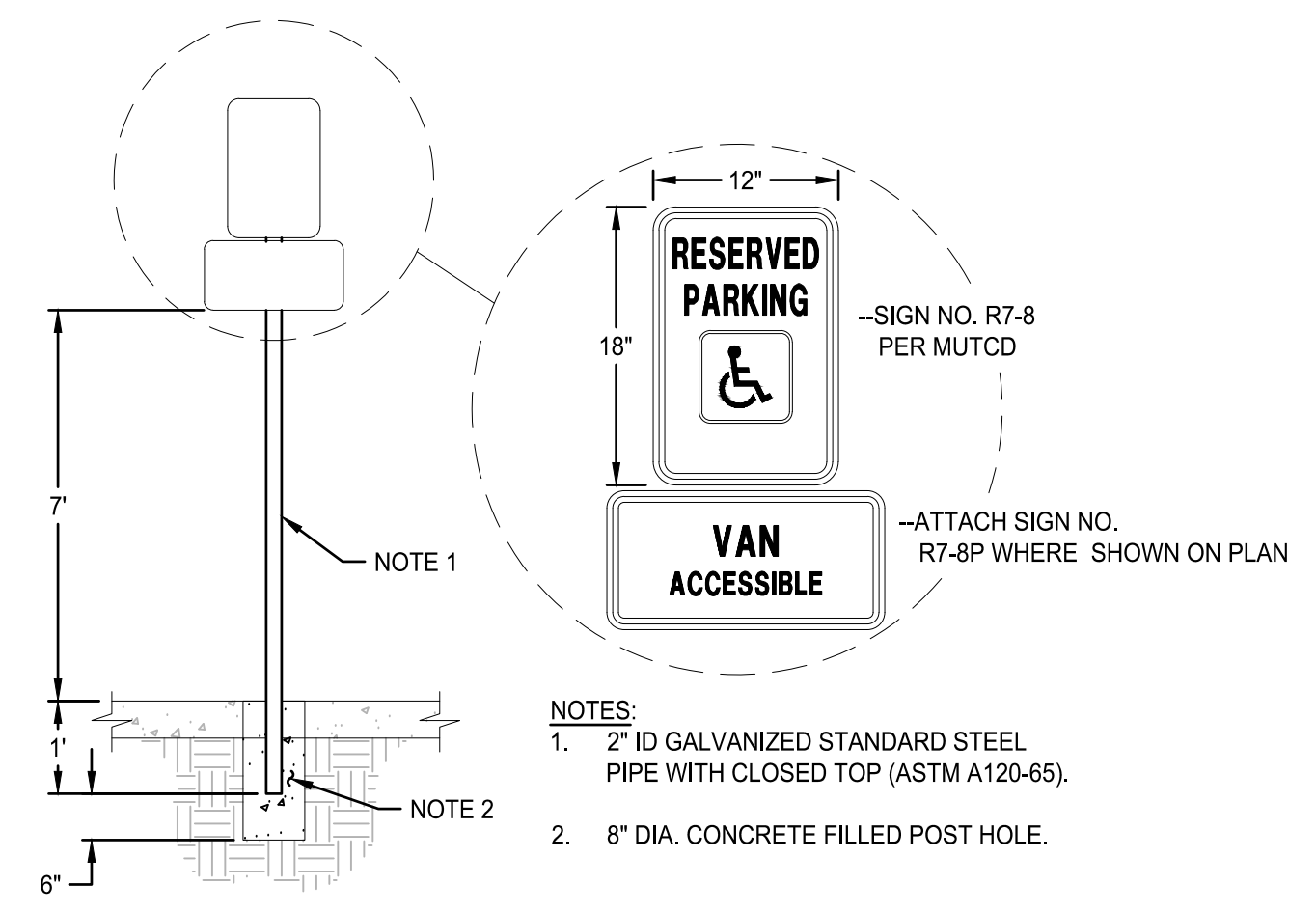
SHEET NO.
C3.1



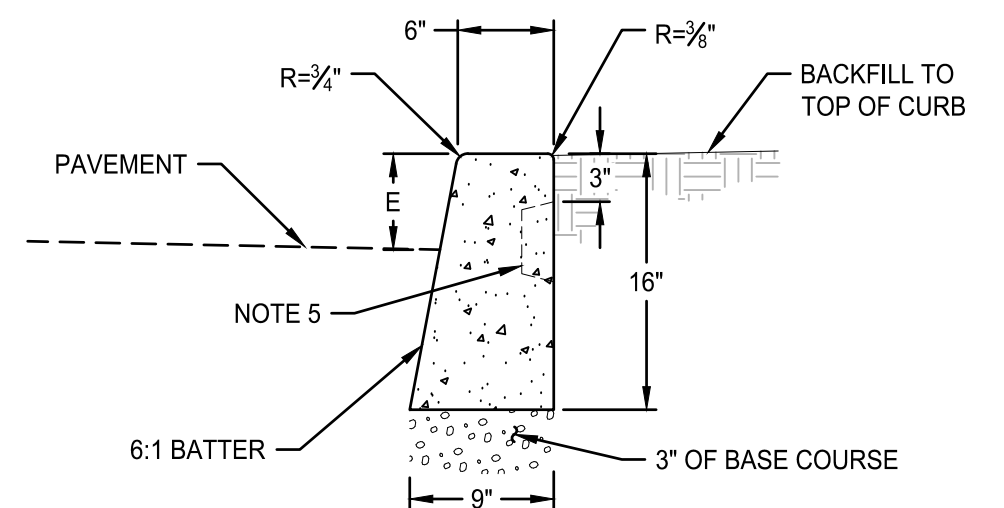
8 TYPICAL PARKING STRIPING AND LAYOUT
SCALE: NTS



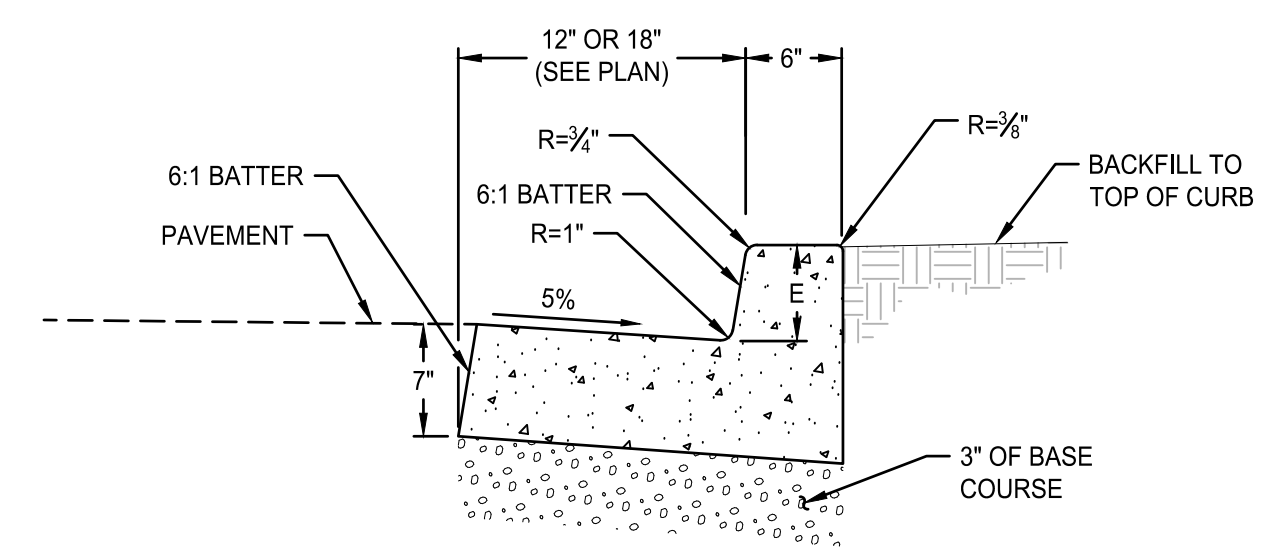
9 PRECAST CONCRETE WHEEL STOP
SCALE: NTS



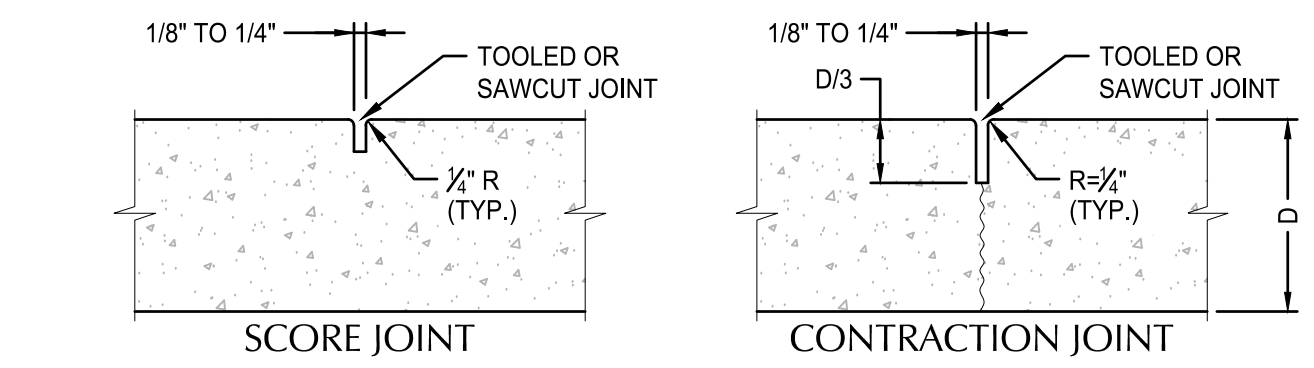
10 ADA PARKING SIGN
SCALE: NTS



5 CONCRETE CURB - STANDARD
SCALE: NTS



6 CONCRETE CURB AND GUTTER
SCALE: NTS



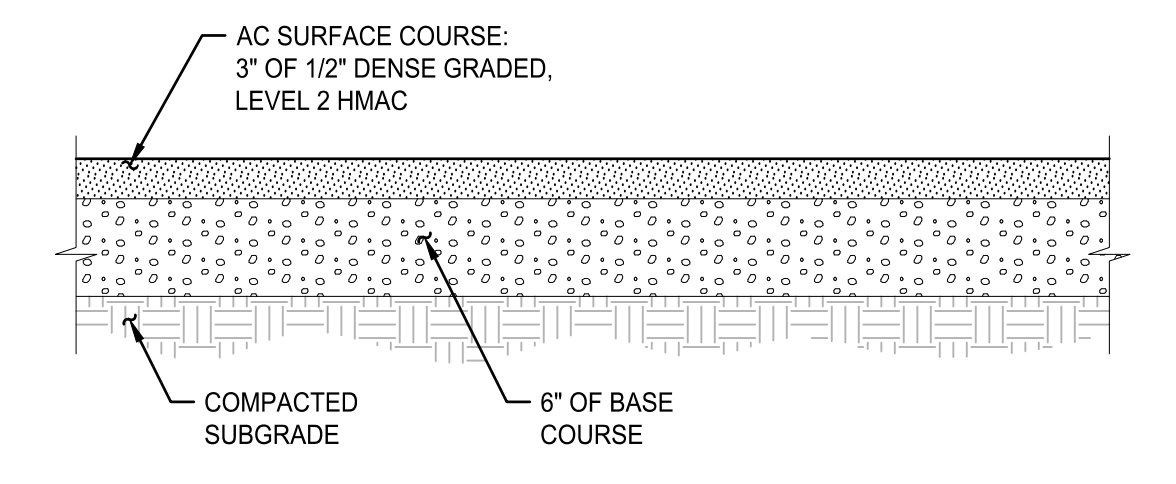
JOINT INTERVALS TABLE

TYPE	SPACING	OR AT...
SCORE	5' TYP.	LOCATIONS SHOWN ON PLANS
CONTRACTION	15' MAX.	END OF RAMPS AND DRIVEWAYS
EXPANSION/ISOLATION	200'	POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY OR OTHER FIXED OBJECTS

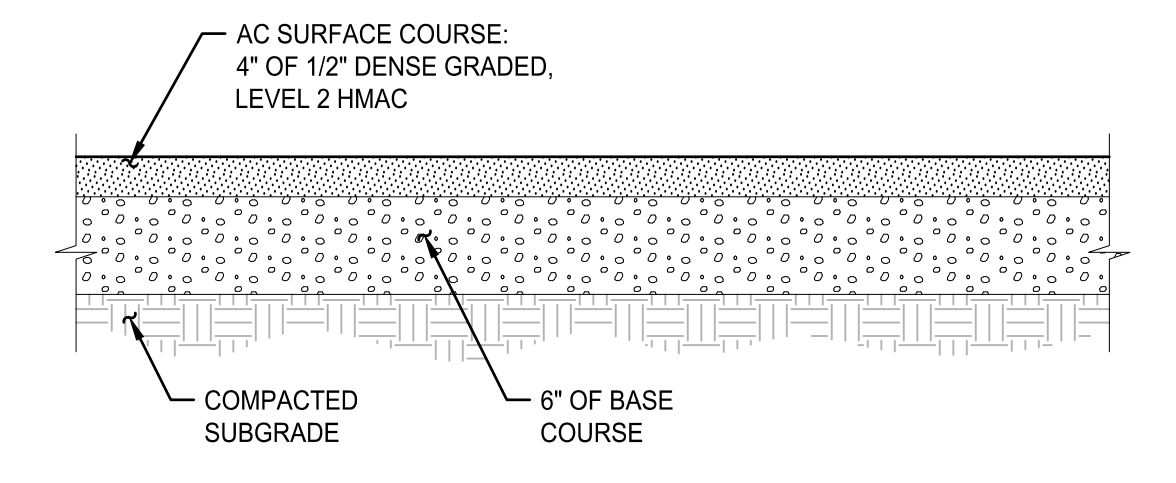
* MONOLITHIC CURB AND SIDEWALK SHALL BE 45' MAX.

- NOTES:**
- CONTRACTION JOINTS MAY BE USED IN PLACE OF SCORE JOINTS.
 - CONSTRUCTION COLD JOINTS MAY BE USED IN PLACE OF CONTRACTION JOINTS.
 - PROVIDE MEDIUM BROOM FINISH WITH NO TOOL MARKS.

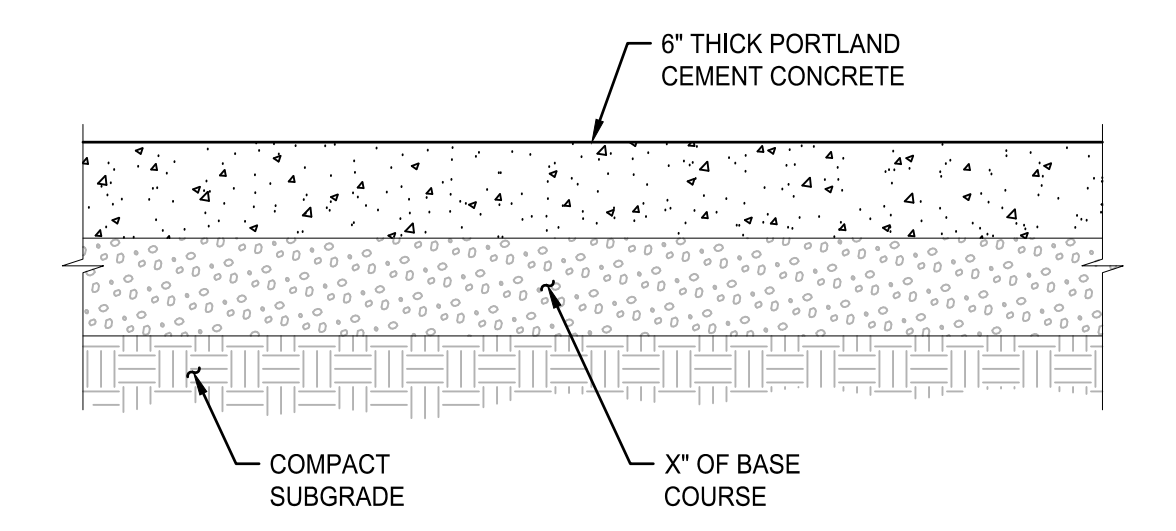
7 TYP. SIDEWALK JOINTS
SCALE: NTS



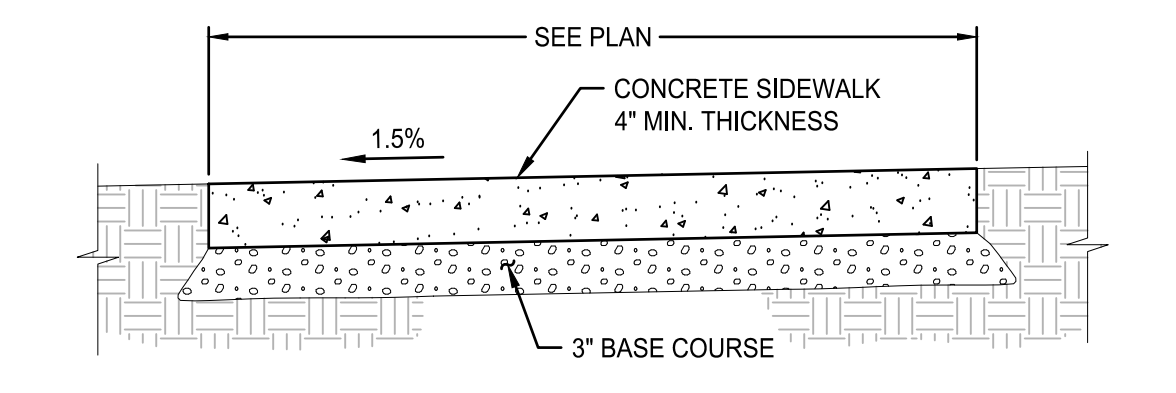
1 LIGHT ASPHALT PAVEMENT SECTION
SCALE: NTS



2 HEAVY ASPHALT PAVEMENT SECTION
SCALE: NTS



3 CONCRETE PAVEMENT SECTION
SCALE: NTS



- NOTES:**
- CONSTRUCT JOINTS PER SIDEWALK JOINTS DETAIL ON THIS SHEET.

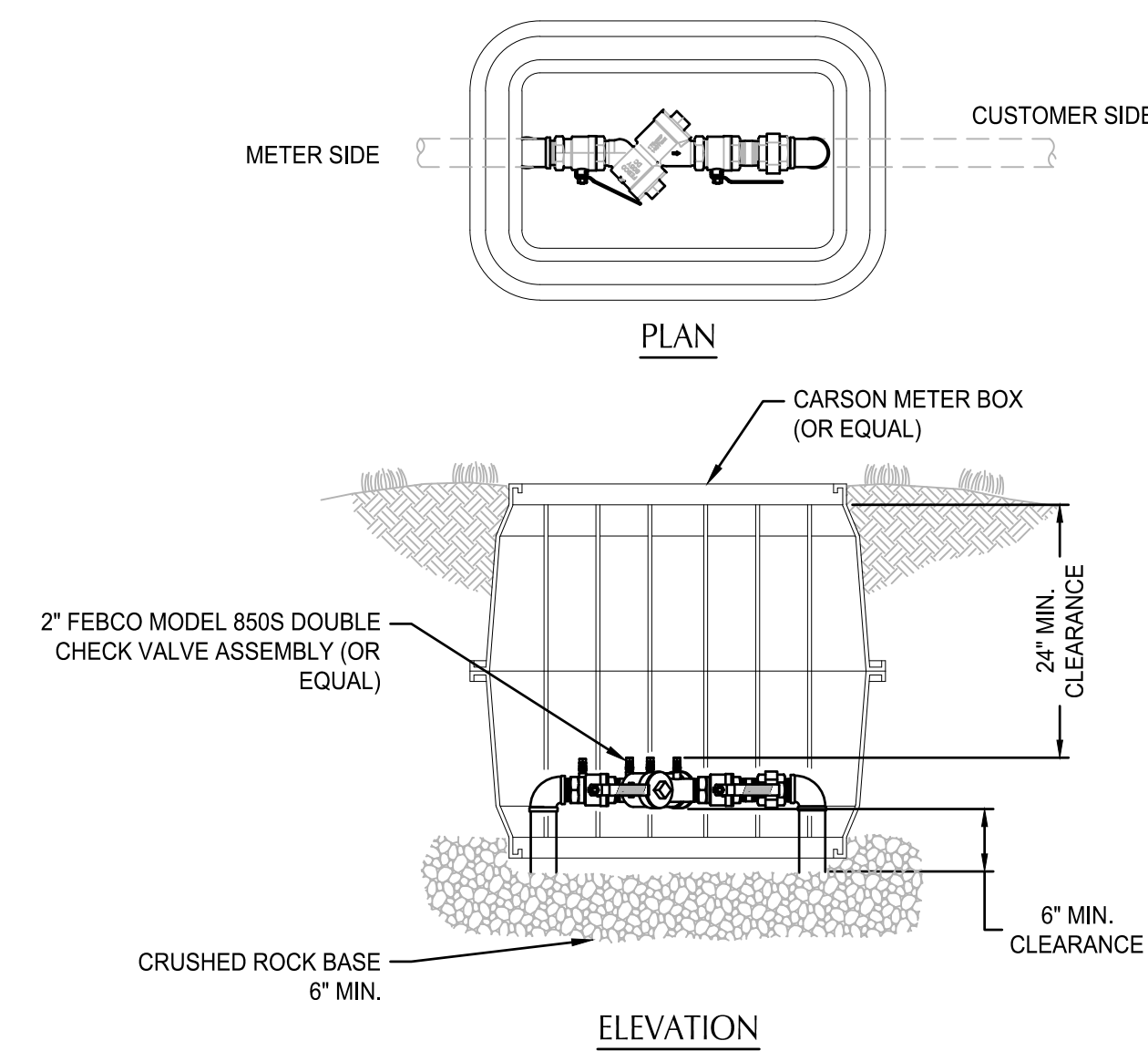
4 TYP. CONCRETE SIDEWALK
SCALE: NTS

File: O:\epc\2024\0153-Coastal-Village\CAD\PL\01\HOUSING\IPUD-INF\02400153-05DT.dwg TAECA4.0
Ploited: 10/31/24 at 2:07pm By: jpresent

REVISION	DATE	DESCRIPTION	BY

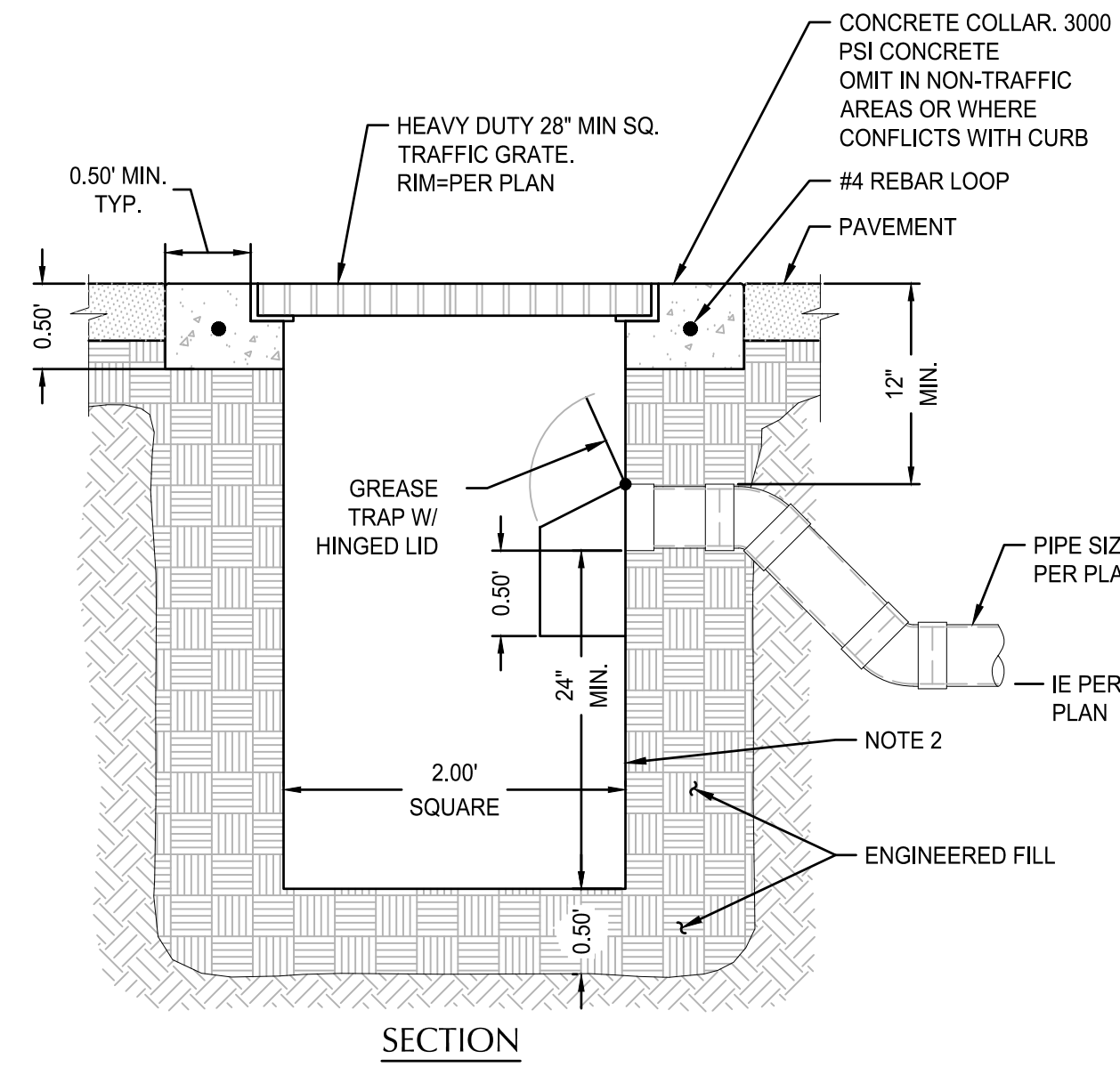
FOR
INFORMATION
ONLY

JOB No.:	2400153	628 RADAR RD, YACHTS, OR 97498
DESIGNED BY:	JBP	OUR COASTAL VILLAGE FLORENCE ELM PARK APARTMENTS
DRAWN BY:	MB	CIVIL DETAILS
CHECKED BY:	AB	
PLOT DATE:	10/31/24 2:07pm	
PLOTTED BY:	jpresent	
DWG NAME:	2400153-05DT.dwg	
TAB NAME:	C4.0	



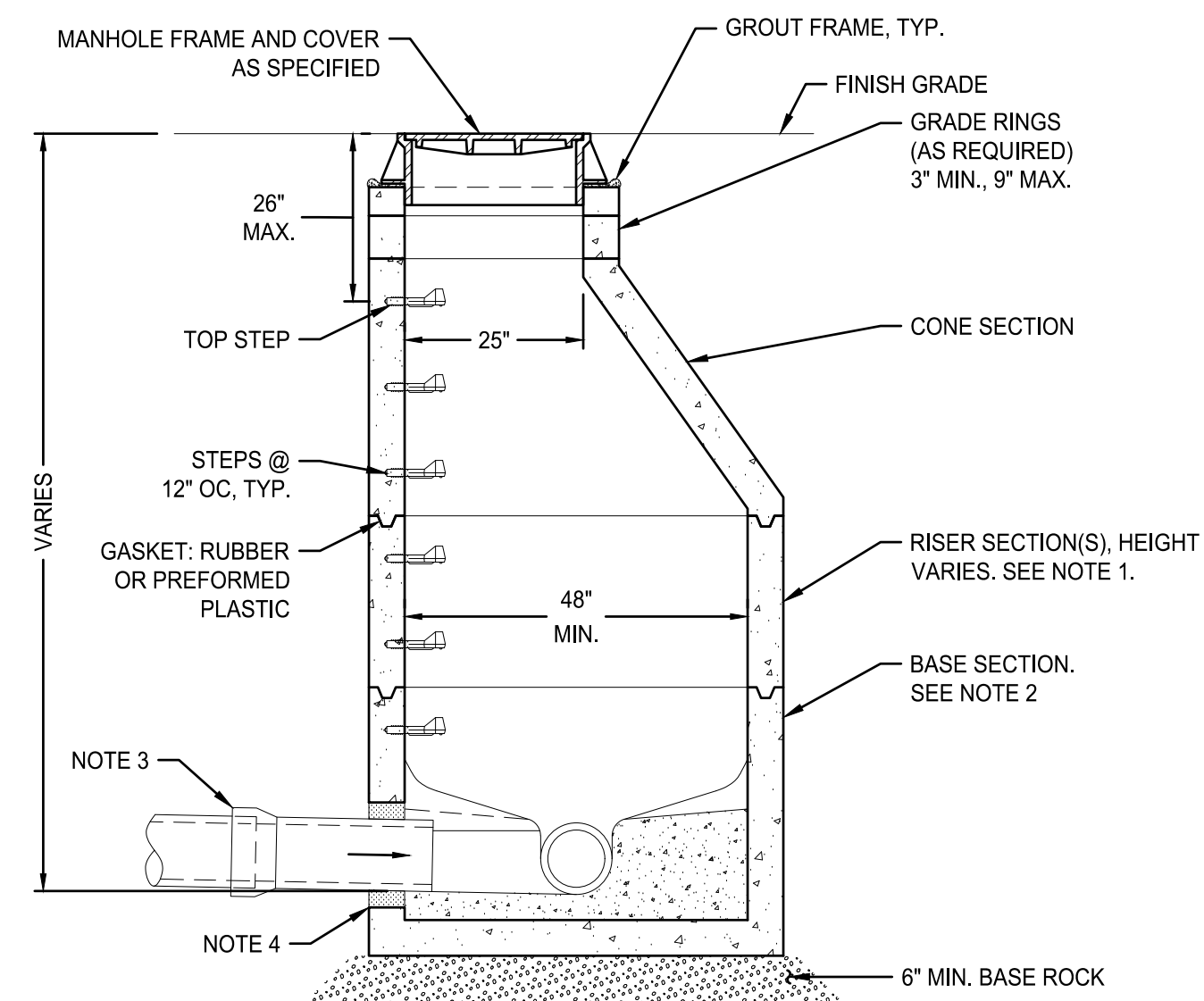
NOTE:
INSTALLATION SHOWN IS ONLY A SUGGESTION. THE DISTANCE FROM BOTTOM OF DEVICE TO FINISH GRADE, FREEZE PROTECTION, AND CLEARANCE FOR TESTING & REPAIR ARE THE MAJOR CONSIDERATIONS FOR INSTALLATION. PLUGS TO BE INSTALLED IN TEST COCKS OF BELOW GROUND INSTALLATIONS (NO DISSIMILAR METALS). IF FREEZE PROTECTION IS PROVIDED, THE 24\"/>

8 DOUBLE CHECK BACKFLOW ASSEMBLY
SCALE: NTS



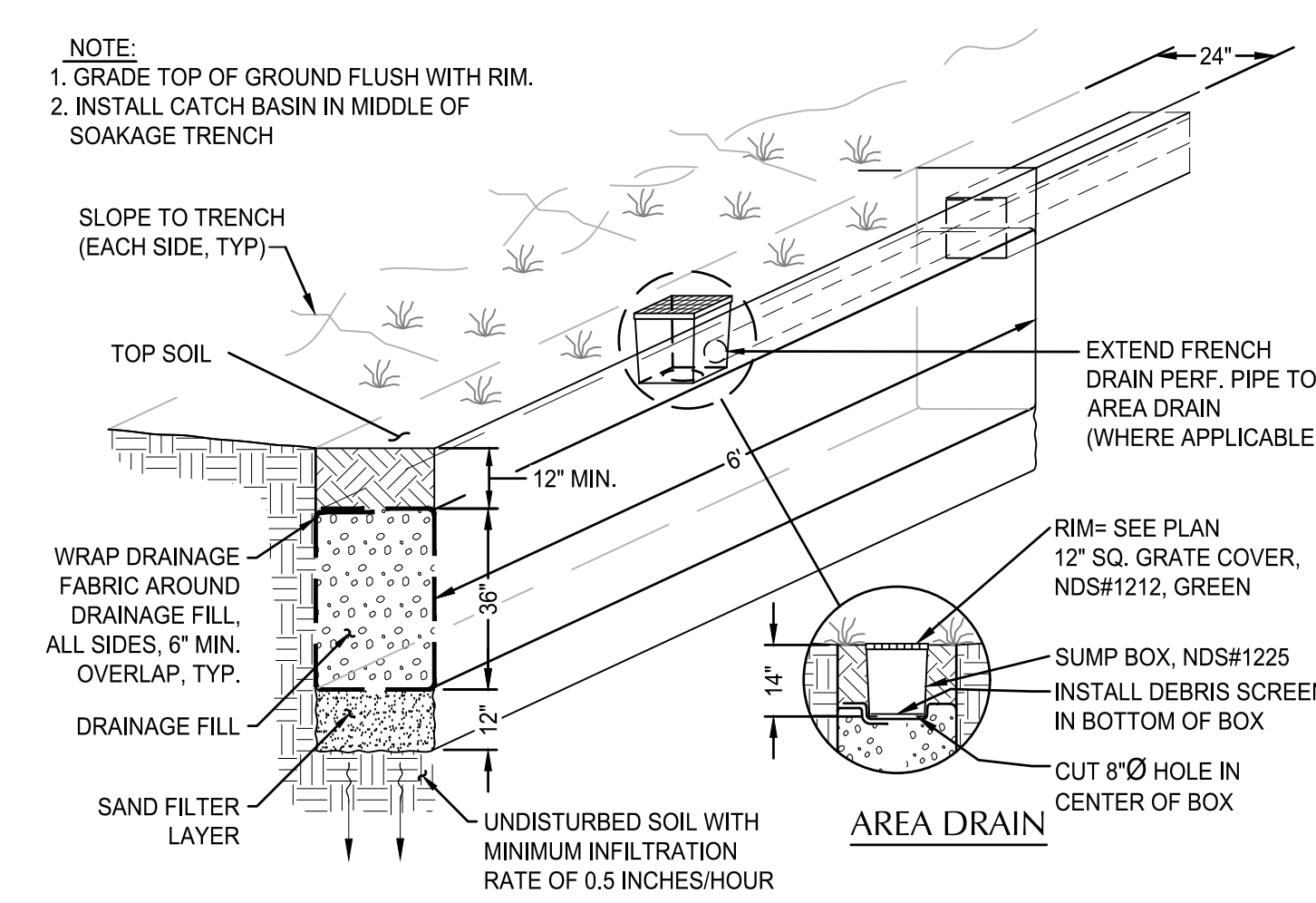
NOTES:
1. CONTRACTOR TO WIDEN EXCAVATION AS REQUIRED TO OBTAIN COMPACTION WITH CONTRACTORS COMPACTION EQUIPMENT.
2. 1/4\"/>

6 TRAPPED CATCH BASIN
SCALE: NTS

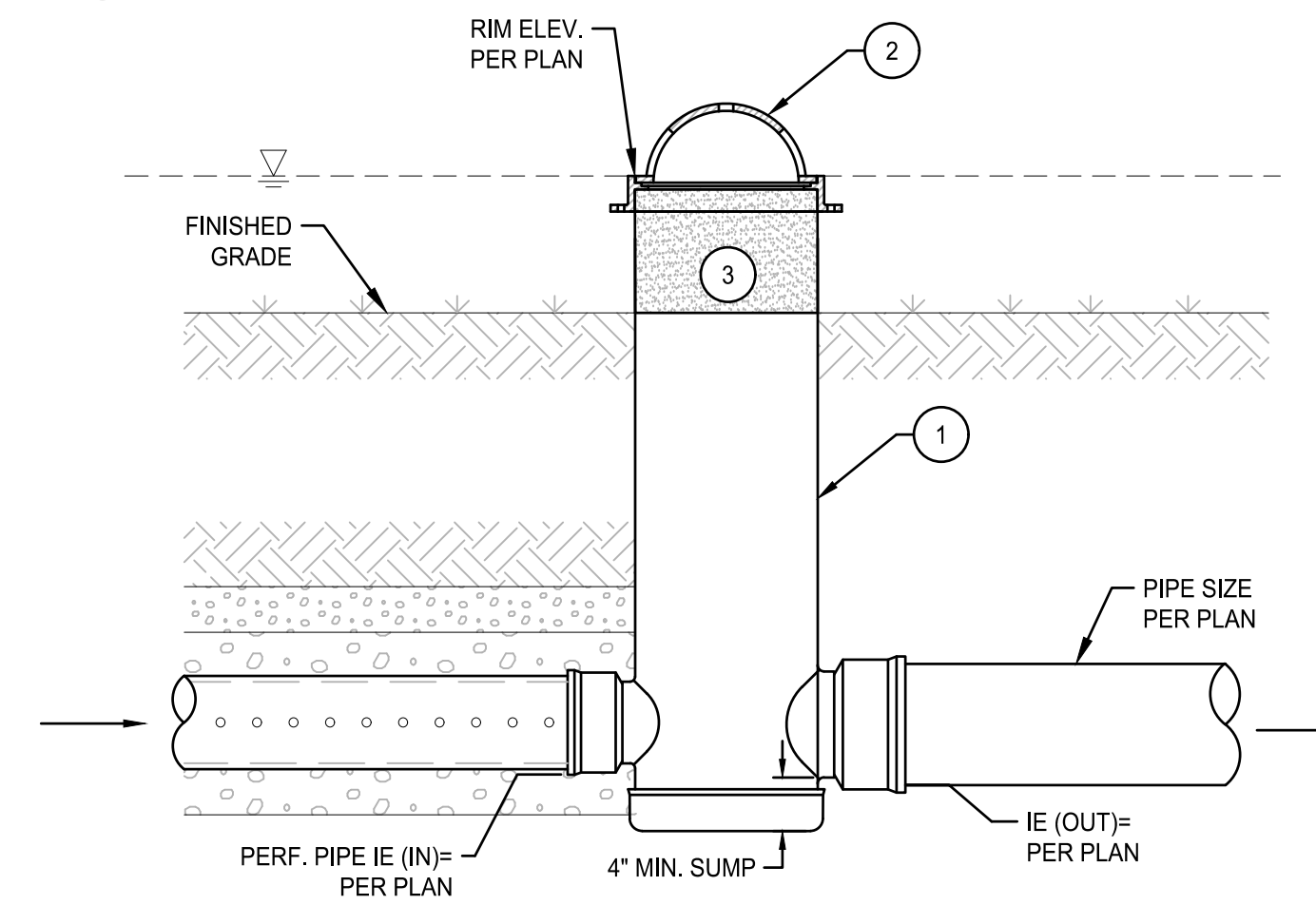


NOTES:
1. ALL PRECAST SECTIONS SHALL CONFORM TO REQUIREMENTS OF ASTM C-478.
2. MANHOLE BASE MAY BE PRECAST OR CAST IN PLACE.
3. ALL CONNECTING PIPES SHALL BE WATER TIGHT AND HAVE FLEXIBLE, GASKETED AND UNRESTRAINED JOINT WITHIN 18\"/>

7 STANDARD MANHOLE
SCALE: NTS



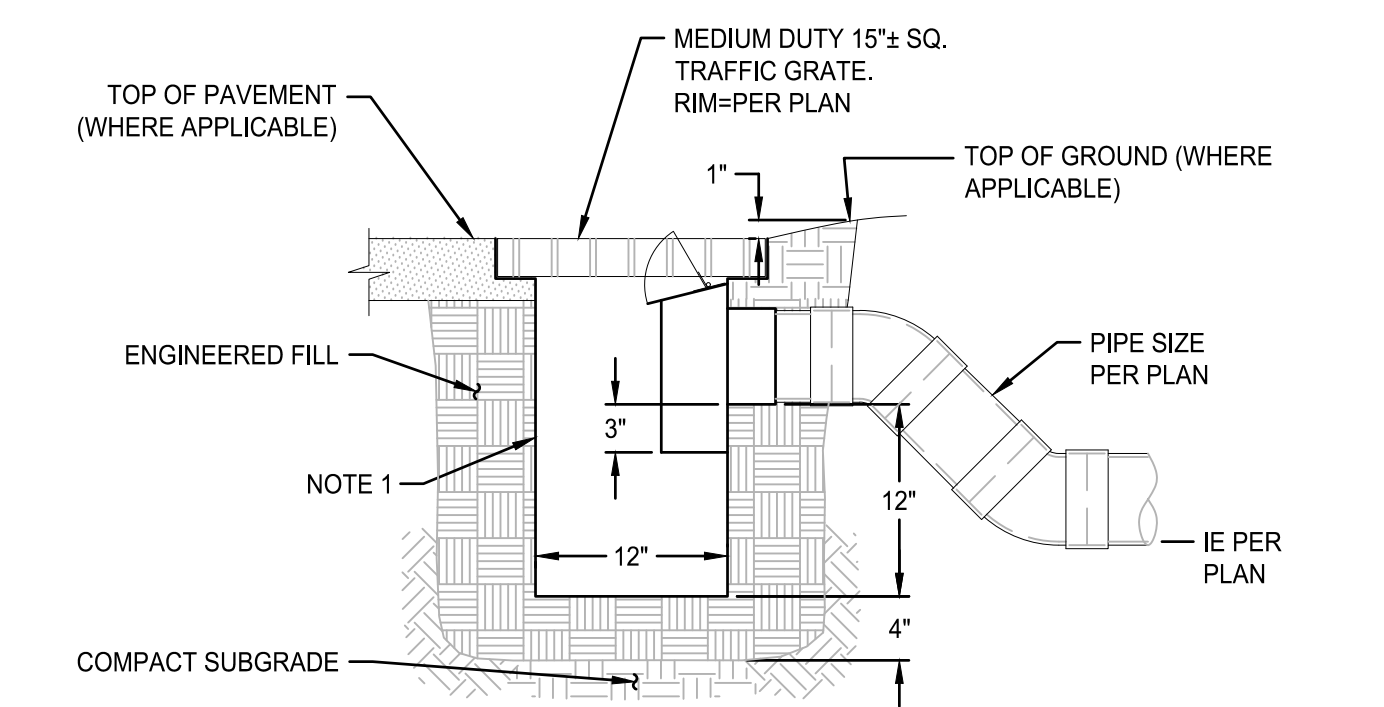
3 SOAKAGE TRENCH
SCALE: NTS



(X) KEY NOTES

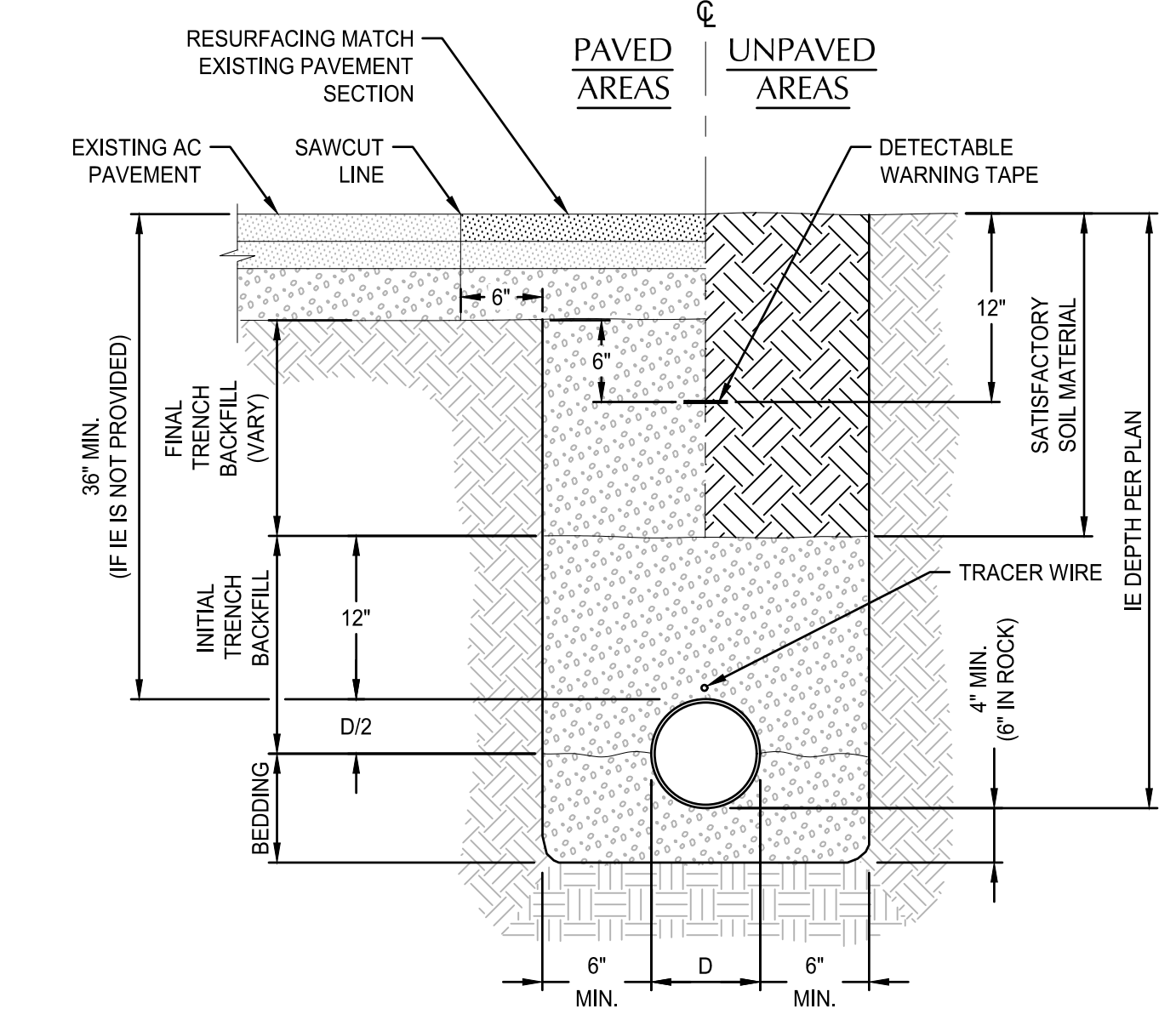
- 12\"/>

4 OVERFLOW INLET - TYPE D2
SCALE: NTS

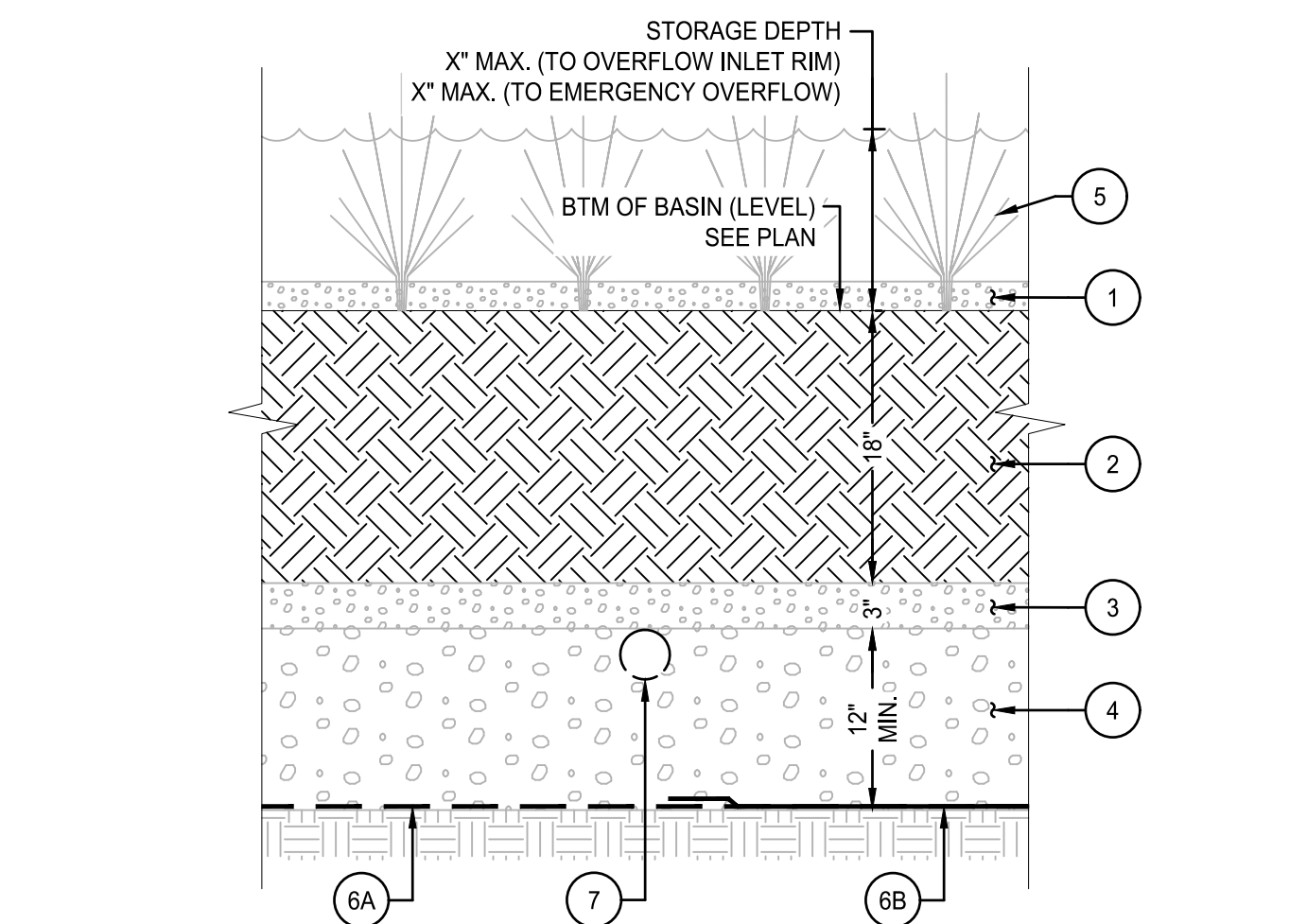


NOTE:
1. 10 GAGE STEEL PLATE, BITUMINOUS COATED, AS MANUFACTURED BY GIBSON STEEL BASINS OR APPROVED EQUAL.

5 TRAPPED AREA DRAIN
SCALE: NTS



1 TYPICAL PIPE BEDDING AND BACKFILL
SCALE: NTS



(X) KEY NOTES

- INSTALL 2\"/>

2 TYPICAL STORMWATER FACILITY SECTION
SCALE: NTS

File: O:\cpl\2024\01-53-Coastal-Village\CAD\PL\OTH\USING\IP\UD-INFO\2400153-05DT.dwg TAB C4.1
Plotted: 10/31/24 at 1:43pm By: jpresent

REVISION	DATE	DESCRIPTION	BY

FOR INFORMATION ONLY

JOB No.:	2400153
DESIGNED BY:	JBP
DRAWN BY:	MB
CHECKED BY:	AB
PLOT DATE:	10/31/24 1:43pm
PLOTTED BY:	jpresent
DWG NAME:	2400153-05DT.dwg
TAB NAME:	C4.1

628 RADAR RD, YACHTS, OR 97498

OUR COASTAL VILLAGE FLORENCE
ELM PARK APARTMENTS

CIVIL DETAILS

SHEET NO.

C4.1